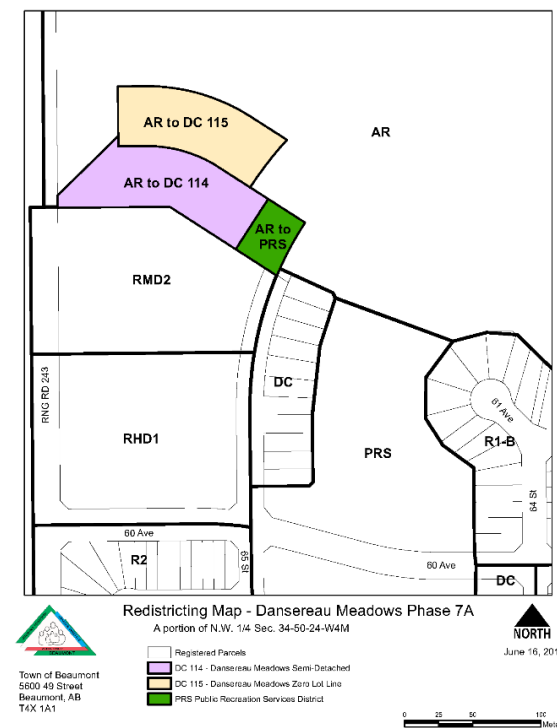


**TOWN OF BEAUMONT
BYLAW NO. 872-16**

**A Bylaw amending Bylaw No. 872-16, the Town of Beaumont
Land Use Bylaw, in the Province of Alberta**

PURSUANT to the Municipal Government Act 2000 and Amendments thereto, the Council of the Town of Beaumont, duly assembled, enacts as follows:

That the Land Use Bylaw No. 796-12 of the Town of Beaumont, and in particular Schedule A - Land Use Districts Map, be amended by redistricting a portion of NW ¼ Sec. 34-50-24-4 from AR-Agriculture Reserve to PRS - Public Recreation Services District, DC 114 - Dansereau Meadows Semi-detached District attached as Attachment 1, and DC 115 - Dansereau Meadows Zero Lot line District attached as Attachment 2.



Read a first time in Council this ____ day of ____, 2017.

Statutory Public Hearing held this ____ day of ____, 2017.

Read a second time in Council this ____ day of ____, 2017.

Read a third time in Council and finally passed this ____ day of ____, 2017.

Mayor

Chief Administrative Officer

8.34 DC-114 Dansereau Meadows Semi-detached District

8.34.1 **Purpose:** The purpose of this District is to provide for Semi-detached Housing in a suburban setting that provides smaller Lot sizes with reduced Site Widths, allowing for more efficient utilization of land through increased Density.

8.34.2 Permitted Uses:

- a) Accessory Building
- b) Duplex Dwelling
- c) Semi-Detached Dwelling

8.34.3 Discretionary Uses:

- a) Group Care Facility
- b) Home Based Business
- c) Secondary Suites
- d) Show Home
- e) Single Detached Dwelling
- f) Temporary Sales Centre
- g) Utility Buildings, Structures or Installations

8.34.4 Development Regulations:

- a) Except as expressly modified in Subsection 4(b) herein, the development regulations specified in the R2 District of this Bylaw shall regulate development of Single Detached Dwellings, Duplex Dwellings, and Semi-Detached Dwellings in this District.
- b) The following development regulations shall apply to the development of Semi-Detached Dwellings:
 - i) The minimum Lot Width shall be 7.3 m.
 - ii) The maximum total Lot Coverage shall not exceed 50%, inclusive of the attached Garage and any other Accessory Buildings.
 - iii) The Side Yard Setback shall be 1.2 m, except:
 - 1. Where there is no Lane Abutting the Lot, one Side Yard shall be at least 3.5 m for vehicular access, unless there is an attached Garage;
 - 2. On a Corner Lot where the Building fronts onto the Front Yard, the minimum Side Yard abutting the flanking Public Roadway (other than a Lane) shall be a minimum of 3.5 m; and
 - 3. On a Corner Lot where the Building fronts on a flanking Public Roadway (other than a Lane), the minimum Side Yard abutting the flanking Public Roadway shall be 6.5 m.
 - iv) Dwellings shall be designed such that the front entrance door is directly visible from the abutting Public Roadway.

8.35 DC-115 Dansereau Meadows Zero Lot Line District

8.35.1 **Purpose:** The purpose of this District is to provide for Single Detached Dwellings in a suburban setting that provides smaller Lot sizes with reduced Site Widths with front attached Garages, allowing for more efficient utilization of land through increased Density.

8.35.2 **Area of Application:** This provision shall apply to the area indicated in the attached Area of Application map.

8.35.3 **Permitted Uses:**

- a) Accessory Building
- b) Single Detached Dwelling

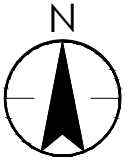
8.35.4 **Discretionary Uses:**

- a) Bed and Breakfast Establishment
- b) Home Based Business
- c) Secondary Suites
- d) Show Home
- e) Temporary Sales Centre
- f) Utility Buildings, Structures or Installations

8.35.5 **Development Regulations**

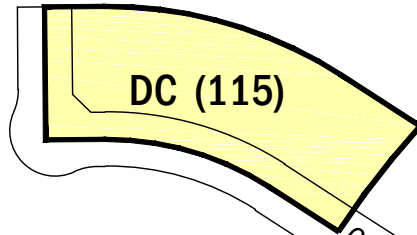
- a) Except as expressly modified in Subsection 5(b) herein, the development regulations specified in the R1-B District of this Bylaw shall regulate development of Single Detached Dwellings in this District.
- b) The following development regulations shall apply to the development of Single Detached Dwellings:
 - i. The minimum Lot Width shall be 8.8 m. The Lot Width for an irregular or pie shaped Lot shall be measured 6 m into the Site from the Front Lot Line.
 - ii. The maximum total Lot Coverage shall not exceed 50%, inclusive of the attached Garage and any other Accessory Buildings.
 - iii. The minimum Front Yard Setback shall be 6.5 m.
 - iv. The minimum Side Yard Setback shall be 1.5 m.
 - v. On a Corner Lot, the minimum Side Setback Abutting the flanking public roadway other than a Lane shall be 2.4 m.
 - vi. One Side Setback may be reduced to zero metres where:
 - 1. the other Side Setback is a minimum of 1.5 m;
 - 2. the owner of the Site proposed for development and the owner of the Abutting Site register, against both titles, a minimum 1.5 m private maintenance easement that provides:
 - a. a 0.30 m eave encroachment easement with the requirement that the eaves shall not be closer than 0.90 m to the eaves on the adjacent building;
 - b. a 0.60 m footing encroachment easement; and
 - c. contemplates sufficient access for maintenance.

- vii. The design of dwellings must ensure individuality and a variety of dwellings within the District. This will require consideration of the exterior treatment of materials, textures, rooflines and wall openings on the same side of the Public Roadway as well as directly across the Public Roadway from one another. Therefore, designs shall only be allowed to be repeated after every fourth Principal Building as illustrated by the sequence A B C D A.
 - viii. Dwellings shall be designed such that the front entrance door is directly visible from the abutting Public Roadway.
- c) Notwithstanding Section 4.2.4 or the Land Use Bylaw, the following development regulations shall apply to the development of Secondary Suites:
- i. Secondary Suites shall be limited to one bedroom only.
 - ii. Driveway space may be counted as required parking for a Secondary Suite in a tandem parking configuration, provided that the identified driveway parking space is a minimum of 2.8 m in width and 6.0 m in depth, is fully contained within the lot, and is not used to satisfy parking requirements for any other use.
- d) The following development regulations shall apply to the development of Garages:
- i. The maximum width of a Garage shall be 6.1 m.



Range Rd 243

Leduc
County



DC (115)

AR

62 Ave

RMD2

DC
(109)

RHD1

PRS

R1-B

65 St

60 Ave

R2

59 Ave

DC
(106)

RMD-1

PRS

64 St

R2

Area of Application

Dansereau Meadows Direct Control District

 DC (115) - Dansereau Meadows Zero Lot Line