



Development Permit Notice of Decision

Date of Decision: August 31, 2018

Proposed Development: Cannabis Retail Store
Legal Description: Lot 10 Block 5 Plan 042 0148
Municipal Address: Unit #138, 5802 50th St, Beaumont
Permit Number: 2018-459
Tax Roll: 002915

Development Permit Conditions

The proposed Cannabis Retail Store Development is considered a Discretionary Use within the C2 – Commercial District, and has been approved by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the Town of Beaumont Land Use Bylaw 796-12 shall be met.

1. This permit is valid for a period of one year from the date the decision was made, noted above. If the development does not commence within this time frame, a new permit will be required.
2. The development is 133.6 m². A total of 4 parking stalls are required for this use on the site. A total of 269 parking stalls are on the site. An adequate number of parking stalls shall be designated to this unit.
3. This facility is subject to inspection/issuance of permit by the Leduc Public Health Centre. This permit will be forwarded to Leduc Public Health Centre should they wish to conduct an inspection.
4. This application will be circulated to the Beaumont Fire Chief, who will determine if an inspection is required.
5. Compliance with the rules and regulations set out by the Alberta Gaming and Liquor Commission (AGLC) is required. NO OCCUPANCY shall be granted until AGLC approval.
6. A Due Diligence approval from the Alberta Gaming and Liquor Commission (AGLC) in relation to application for the proposed retail cannabis store licence MUST be provided to Beaumont within 14 days after August 31, 2018.
7. A separate permit and approval are required for fascia signage on the building and shall follow the regulations of the Land Use Bylaw.
8. A Building Permit for Tenant Improvements is required prior to any work commencing on the site. Three copies of the detailed drawings and schedules are required to be submitted with the permit. A building permit will not be issued until the base building is complete.
9. Electrical, plumbing, and gas permits, as required for the tenant improvement, shall be the responsibility of the owner. Please contact Superior Safety Codes at 780-489-4777 for the permits and the required inspections.
10. A valid Business License is required by the General Contractor prior to work commencing on the site and includes all sub-trades used on the project.



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11. A valid Commercial Business License is required by the operator prior to opening the business. Failure to comply with any of the preceding conditions will render this permit null and void.

Additional Information

1. This Notice of Decision is NOT a building permit. Work or construction shall not commence until a Building Permit has been issued under the *Alberta Safety Codes Act* and any other applicable bylaws or regulations.
2. This Development Permit is issued under the Town of Beaumont Land Use Bylaw 796-12. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
3. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction.

Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) if the permit was:

- a) issued for a Variance and/or a Discretionary Use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

Notice of Decision:	August 31, 2018
Appeal deadline:	September 21, 2018
Permit active (if no appeals filed):	September 22, 2018

If you wish to file an appeal, appeals must be filed with the Secretary of the SDAB (contact information below) no later than 4:30 p.m. on the date indicated above. The appeal fee is \$57.00.



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To contact the Secretary of the SDAB or to file an appeal,

- a) by mail: Attention: Secretary
Subdivision and Development Appeal Board
5600 – 49 Street
Beaumont, AB T4X 1A1
- b) by phone: 780-929-1356
- c) by email: legislative@beaumont.ab.ca

Permit Notification Information

In accordance with the Town of Beaumont Land Use Bylaw 796-12, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:

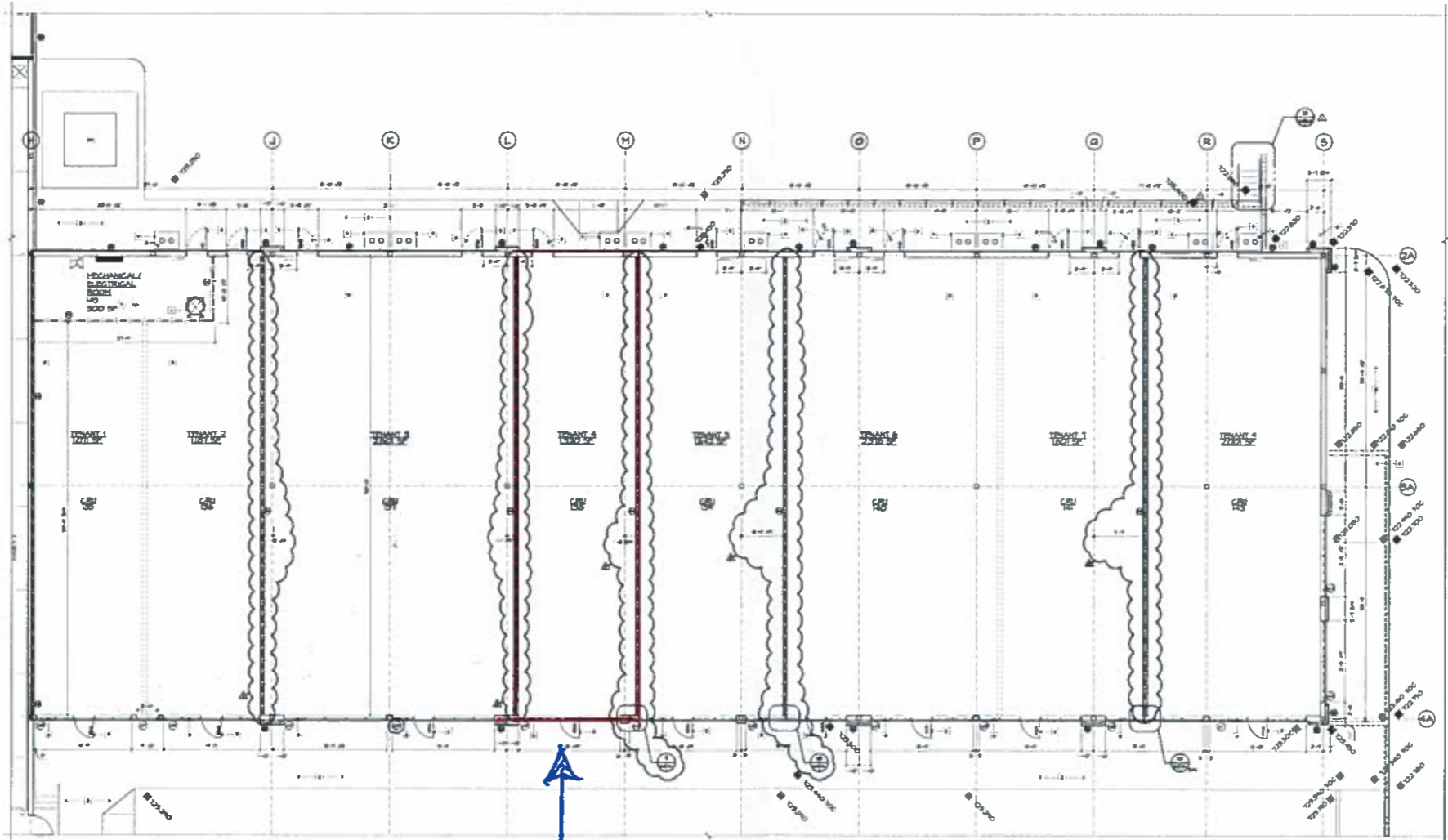
Joanne Dargis
Manager, Current Planning
780-929-3328
joanne.dargis@beaumont.ab.ca

APPROVED Aug 31/18
 DEVELOPMENT OFFICER sd
 For location

- GENERAL NOTES**
1. ALL WORK IS TO BE ACCORDING TO THE CANADIAN NATIONAL BUILDING CODE.
 2. ALL WORK IS TO BE ACCORDING TO THE CANADIAN NATIONAL ELECTRICAL CODE.
 3. ALL WORK IS TO BE ACCORDING TO THE CANADIAN NATIONAL MECHANICAL CODE.
 4. ALL WORK IS TO BE ACCORDING TO THE CANADIAN NATIONAL PLUMBING CODE.
 5. ALL WORK IS TO BE ACCORDING TO THE CANADIAN NATIONAL FIRE CODE.
 6. ALL WORK IS TO BE ACCORDING TO THE CANADIAN NATIONAL SAFETY CODE.



- WALL SYMBOLS**
1. WALL
 2. PARTITION WALL
 3. GLASS WALL
 4. GLASS PARTITION WALL
 5. GLASS CURTAIN WALL
 6. GLASS PARTITION CURTAIN WALL
 7. GLASS CURTAIN PARTITION WALL
 8. GLASS CURTAIN WALL PARTITION WALL
 9. GLASS CURTAIN WALL PARTITION CURTAIN WALL
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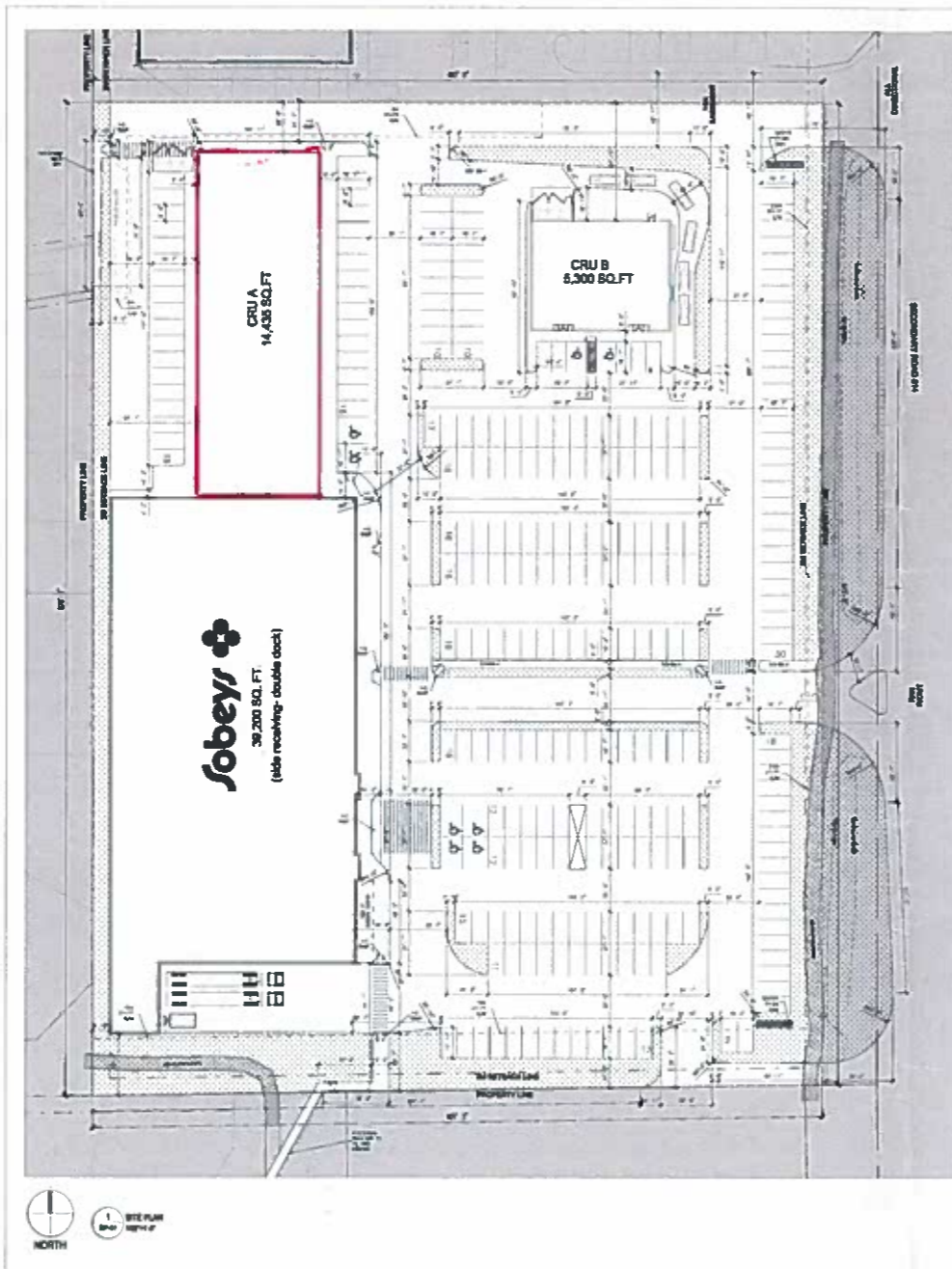
1. G-11 FLOOR PLAN
 SCALE 3/8" = 1'-0"

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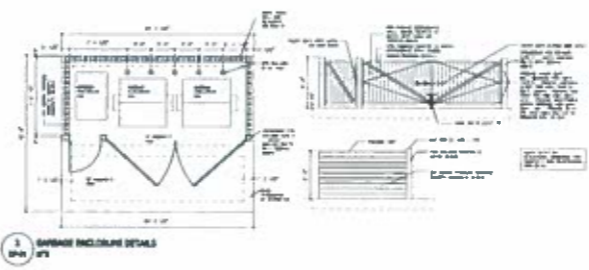
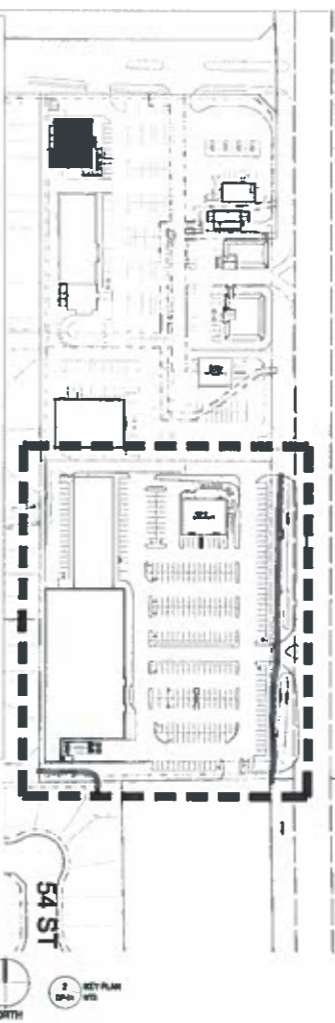


Sobey's
 SOBEYS BEAUMONT
 5402 50th STREET
 BEAUMONT ALBERTA
 T7X 1L4
 CONSTRUCTION - GRUBMAN FLOOR

APPROVED *Aug 31/12*
 DEVELOPMENT OFFICER *go*
For location



SITE INFORMATION:
 LEGAL: PLAN 0420148, BLOCK 5, LOT 10
 MUNICIPAL: 5802 - 50 STREET, BEAUMONT, ALBERTA
 ZONING: CTC (COMMERCIAL TOWN CENTRE)
 PROPOSED SITE AREA: 5.85 ACRE / 2.26 HA
 PROPOSED BUILDING AREA:
 CRU B: 6,300 SF / 682 SM
 CRU A: 14,438 SF / 1,543 SM
 SOBEYS: 39,200 SF / 4,214 SM
 TOTAL BUILDING AREA: 60,008 SF / 6,537 SM
 SITE COVERAGE: 60,008 SF / 5.85 AC (248,114 SF) = 24%
 PARKING SUMMARY
 PARKING REQUIRED = 1,548SM / 100SM = 66.48 X 4 STALLS = 222 STALLS
 HC REQUIRED = 1 PER 100 STALLS = 222 / 100 STALLS = 3 STALLS
 PARKING PROVIDED = 288 STALLS AND 8 HC STALLS
 LEGEND:
 - - - - - PROPERTY LINE
 - - - - - SET BACK LINE
 - - - - - UTILITY RAW
 [Pattern] LANDSCAPING
 [Pattern] AREA NOT IN CONTRACT
 [Pattern] PARKING/CURB
 [Pattern] EXISTING ASPHALT WALKWAY
 NOTE: REFER TO CIVIL DRAWINGS FOR LOCATIONS OF EXISTING SITE SERVICES, PROPERTY LINES, UTILITY RIGHT OF WAYS, ELEVATIONS, DITCHES, SIDEWALKS AND PATHWAYS AND ALL OTHER RELATED INFORMATION.



Kasian
 Commerce Place
 #231 - 10180 Jasper Ave
 Edmonton, AB T5J 1W4
 P 780 880 0800
 F 780 880 0809
 www.kasian.com

SOBEYS / CRU A / CRU B
 BEAUMONT, ALBERTA

For: SOBEYS WEST

Date	Issued For
APR 13, 2011	DESIGN REVIEW 1
APR 14, 2011	DESIGN REVIEW 2
APR 19, 2011	DESIGN REVIEW 3
APR 27, 2011	DESIGN REVIEW 4
APR 28, 2011	DEVELOPMENT PERMIT
Aug 28, 2012	DP REVISION

Scale: 3/32" = 1'-0"
 Drawn By: GP
 Approved By: BR
 Sheet No. 1 of 6

SITE PLAN
DP-1.1

REV 1