
Development Permit Notice of Decision

Date of Decision: June 25, 2019

Caliber Master Builder
9004 – 51 Avenue
Edmonton, AB T6E 5X4

Via e-mail: service@calibermasterbuilder.ca

Proposed Development: Mixed Use Commercial/Multifamily Building

Legal Description: Plan 182 3366, Block 25, Lot 200
Municipal Address: 6202 – 65 Street, Beaumont, AB
Land Use District: IN – Integrated Neighbourhood District
Permit Application No: 2019-117
Tax Roll: 009243

Development Permit Conditions

The above noted development permit application has been **conditionally approved** for a dwelling unit use and education use with a variance subject to the following conditions. **Be sure to review all the documentation included with this permit.**

General

1. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met.
2. The Land Use Bylaw 944-19 ("LUB"), IN – Integrated Neighbourhood District applies with respect to this development.
3. The site shall be developed in accordance with the attached plans issued for development dated June 25, 2019, with exceptions as noted herein. **Any changes to the attached plans require prior written approval by the City.**
4. **As this permit has been issued for a permitted use with a variance, this permit shall not come into force and effect until the appeal period has expired (July 16, 2019).**
5. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.

Variance

6. A variance has been approved to allow a reduction in the number of bike stalls from 6 to 5.
7. A variance has been approved to allow a reduction in the entrance feature width from a minimum of 30% to 22.5%
8. A variance has been approved to allow a reduction in the entrance feature depth from a minimum of 1.5m to 0.91m.

Development Permit Notice of Decision

Date of Decision: June 25, 2019

Permit Number: 2019-117

9. A variance has been approved to allow a reduction in the window glazing regulation from a minimum of 70% to 49%.

Building Placement Standards

10. The principal frontage, secondary frontage, side and rear setbacks are acceptable and meet the LUB regulations.
11. The proposed site coverage is 18% and is within the maximum allowed under the LUB.
12. Lighting for the building shall be provided as shown on the attached approved plans. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.
13. A lighting plan showing the finishing materials and range of each lighting fixture for the parking lot is outstanding.
- Outstanding Condition 1** – A lighting plan is required to be submitted with the building permit application.
14. The Molok solid waste 3-stream system at the rear of the site is acceptable.

Building Profile Standards

15. The building height to eave is 3-storeys and meets the LUB regulations.
16. The approved drawings do not show any rooftop mechanical equipment. Should rooftop mechanical equipment be required, revised drawings shall be submitted. Rooftop mechanical equipment shall be screened from view or incorporated into the roof envelope.

Frontage Type Standards

17. The Shopfront Frontage Standard applies to this development as the entrance feature is at sidewalk grade.
18. Ground floor uses are limited to lodging, commercial, and institutional uses. This development complies as it proposes institutional.
19. Hard landscaping shall be contiguous and seamlessly integrated with the public sidewalk with no grade adjustments.
20. Sidewalk cafés may be incorporated as per Beaumont's Sidewalk Café Guidelines.

Landscaping & Screening Standards

21. The site area is less than 2500m² and does not have a minimum tree requirement. The development includes 13 trees, 40% of those trees (six trees) are coniferous trees.

Parking, Access & Loading Standards

22. The LUB requires twelve (12) parking stalls based on the intended uses for this development, and nineteen (19) parking stalls have been provided.

Development Permit Notice of Decision

Date of Decision: June 25, 2019

Permit Number: 2019-117

23. Barrier free parking stall details will be approved under the building permit.
24. The LUB requires bicycle parking stalls. The locations on the site are close to doorways and in visible areas which meets the LUB requirements.
25. Loading zone will be located offsite, along the north side of 65 Street valid during weekdays from 9am – 11am. The City will install the signage for the loading zone; however, the applicant will be responsible for the costs associated with the signage.

Outstanding Condition 2 – Applicant to notify the City when installation for the loading zone sign is required.

26. Phase 2 of this development on the adjacent site shall provide a loading zone space to be used for both developments. At that time, the offsite loading zone shall be removed.
27. As-built and AutoCAD drawings are required to be submitted to the City.

Outstanding Condition 3 – Submission of AutoCAD drawings of the building and site are required to be submitted with the building permit application.

28. Signage shall be provided for each business. All signage shall be consistent and cohesive on the property. Signage has not been provided with this application. A development permit is required prior to installing any signage.

General

29. All sites must be kept clean of all construction waste and all other waste (the “debris”) by removing or containing the debris in a manner satisfactory to the Development Authority.
30. Failure to keep the sites clean of debris is an offence under *Our Zoning Blueprint*. The Peace Officers may issue offence tickets to any person who has committed or is committing an offence respecting this infraction and may be subject to the following penalties:
 - a. First Offence – a written warning or a stop work order shall be issued, and a bin will be required onsite;
 - b. Second Offence (on same lot) – a minimum fine of \$1,000.00 and a stop work order shall be issued;
 - c. Third (and Subsequent) offence(s) (on same lot) – a minimum fine of \$5,000.00 and a stop work order shall be issued.
31. The owner shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.
32. The Applicant shall ensure that consideration be given to controlling noise, dust and traffic on the site in addition to establishing reasonable hours of operation. Bylaw 642-05 states that between 2300 hours of

Development Permit Notice of Decision

Date of Decision: June 25, 2019

Permit Number: 2019-117

one day and 0700 hours of the next day Monday through Friday, 2200 hours of one day and 0800 hours on Saturdays, and 2200 hours of one day and 0900 hours on Sundays and statutory holidays, operate any engine or motor-powered machine used for snow removal, gardening, landscaping or on lawns, in such a manner as to create undue noise.

33. The Applicant agrees to clean the roads where care and attention has not been taken by the contractor, at the direction of the Director of Infrastructure.
34. A preliminary review of the site plan and underground services plan have been conducted by Engineering Services. The applicant shall ensure that the development is built in accordance with the Issued for Construction drawings that were approved with Dansereau Phase 7 subdivision.
35. The following are Engineering Services preliminary findings:
 - a. A storm drainage plan shall be prepared and submitted for approval by the Manager, Engineering Services. The storm water system should be designed to control storm water flow to a level that would be expected from a residential development of equivalent size.
 - b. Provide evidence of water flow requirements and provide design criteria for fire protection required by the size and construction type of the building proposed.
 - c. Sanitary and sewer connections for this development shall be made within the site boundaries unless otherwise approved by the Manager, Engineering Services in accordance with the General Design Standards of the City of Beaumont.
 - d. Submit a Lot Grading Plan and servicing plan in accordance with the General Design Standards of the City of Beaumont, for review and approval by the Engineering Services Division.
 - e. Submit a Surface plan.
 - f. For Engineering Services all measurements on the drawings must be in Metric System. All drawings shall be submitted in A1 size and digital copies.
 - g. Final approval of the engineering plans need to be completed prior to building permit issuance.
36. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to waterandwastewater@beaumont.ab.ca. This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
37. Bylaw 689-08 - Water and Sanitary Sewer Utility Sections 4.13 and 4.14 are to be followed and approved by the Director, Infrastructure Services with respect to grease traps in any proposed building or bay.
38. The owner shall obtain all Federal, Provincial and local permits as they apply to this project.
39. The owner shall be responsible for any engineering and legal costs incurred by the City related to this project.

Development Permit Notice of Decision

Date of Decision: June 25, 2019

Permit Number: 2019-117

40. Applicable Plumbing, Electrical and Gas permits can be applied for through Superior Safety Codes. Their office is located at 14613 – 134 Avenue, Edmonton, AB, T5L 4S9, phone 780-489-4777, fax 780-489-4711.
41. The owner shall obtain a Building Permit from the City of Beaumont. Three detailed sets of drawings stamped by an Engineer of the building floor plan and including Electrical, Plumbing, Gas and Mechanical. **All Schedules must be included.**
42. The General Contractor will require a Contractor's License with the City and it allows all sub-trades to work on this site without requiring their own business license.

Fire Department

43. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.
44. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.

PRIOR TO ANY WORK COMMENCING ON THE SITE:

Construction Permit and Letter of Credit:

1. A Construction Permit and a Letter of Credit equal to 25% of the construction costs shall be submitted to the City of Beaumont PRIOR TO ANY construction commencing on the site for the following:
 - a. any pre-grading of the site including stripping, grubbing, etc.
 - b. the cost of the work to be undertaken on municipal property, including but not limited to underground servicing and accesses.All but \$7,000 of the above noted securities will be returned upon completion, with no deficiencies as confirmed by Engineering. The remainder shall be released after as-builts and service plans are received and deemed acceptable by engineering.
2. A Letter of Credit in the amount of 100% of the construction costs for landscaping shall be provided prior to building permit issuance, with such costs to include hard landscaping features such as brick pavers, shale, concrete curbing, sidewalks, patios, paved approaches including culvert and rip rap, fencing and painted lines for parking stalls.

50% of the landscaping security shall be released after planting and the remaining balance to be released once an inspection of the site has demonstrated to the satisfaction of the Development Authority that the landscaping has been well maintained and is in healthy condition two growing seasons after the issuance of the Construction Completion Certification.
3. Prior to securing the Letters of Credit for this project, the Applicant shall provide cost estimates for approval by the Manager, Engineering Services.

Development Permit Notice of Decision

Date of Decision: June 25, 2019

Permit Number: 2019-117

4. The initial term of the Letter of Credit shall be one year. The Letter of Credit shall be renewed by the owner 30 days prior to expiry; must contain an automatic renewal clause; and, allow for partial draws by Beaumont.
5. The Applicant shall maintain comprehensive liability insurance in the amount of \$5 million as it relates to this project, for the duration of both phases of the project. A copy of the Certificate of Insurance must be provided, and Beaumont shall be named on same.

Additional Comments

1. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the *Alberta Safety Codes Act* and any other applicable bylaws or regulations.
2. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
3. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.

Failure to comply with any of the preceding conditions will render this permit null and void.

Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

Notice of Decision:	June 25, 2019
Appeal deadline:	July 16, 2019
Permit active (if no appeals filed):	July 17, 2019

Development Permit Notice of Decision

Date of Decision: June 25, 2019

Permit Number: 2019-117

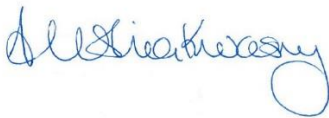
To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-1356 or at legislative@beaumont.ab.ca. Appeals must be filed no later than 4:30 p.m. on the date indicated above.

Permit Notification Information

In accordance with the City of Beaumont Land Use Bylaw 944-19, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Aleshia Kwasny
Current Planner
780-929-1360
aleshia.kwasny@beaumont.ab.ca

cc: Mike Schwirtz, CAO
Eleanor Mohammed, GM, Integrated Growth & Infrastructure
Alan Harris, GM, Corporate Services
Kendra Raymond, Director, Planning & Development
Rob Mackin, Director, Economic Development
Everett Cooke, Director, Protective Services & Fire Chief
Tyler Tymchyshyn, Manager, Engineering
Joannes Wong, Manager, Long Range Planning
Joanne Dargis, Manager, Current Planning
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Kate Alexander, Leduc Public Health