

OUR ZONING BLUEPRINT

JANUARY TO DECEMBER 2021 MONITORING RESULTS

In April 2019, Beaumont implemented its new [Land Use Bylaw](#), titled *Our Zoning Blueprint*. The desired outcomes for the new Land Use Bylaw include improving customer service by making the bylaw easier to use, and simplifying review and approval processes. It is intended to translate planning policies into regulation, and to encourage flexibility in site design. The results from January 2021 to December 2021 are presented below.

Please note: In order to protect everyone’s health and safety during the COVID-19 pandemic, the City of Beaumont pivoted to primarily online applications, rather than receiving them in person.

GOAL

Be Easy to Use and Understand



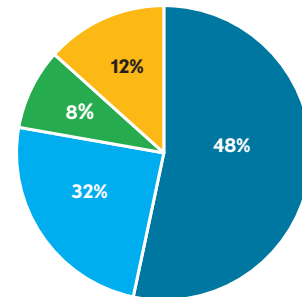
Signage

Due to the COVID-19 pandemic, the fast-track process for signage was stopped.

■ 0-3 days ■ 4-10 days ■ 11-14 days ■ 15+ days

Average: 8 days
Quickest: 0 days
Slowest: 59 days

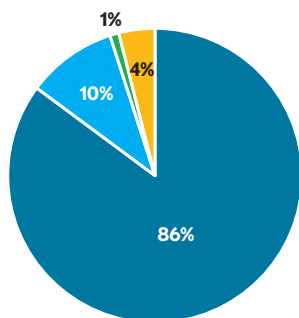
Signage Days to Decision



GOAL

Provide Clarity on Application Process & Decisions

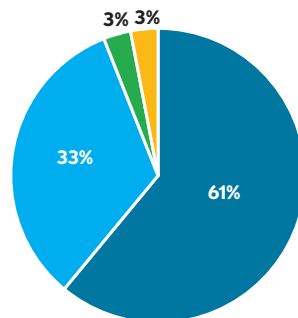
New Houses Days to Decision



Average: 2 days
Quickest: 0 days
Slowest: 49 days

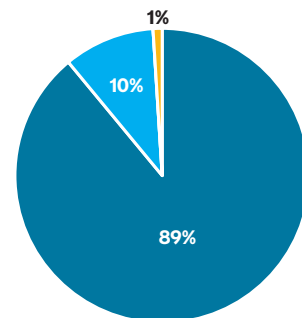
■ 0-3 days ■ 4-10 days ■ 11-14 days ■ 15+ days

Commercial Tenant Improvement Days to Decision



Average: 3 days
Quickest: 0 days
Slowest: 15 days

Residential Improvement** Days to Decision



Average: 1 days
Quickest: 0 days
Slowest: 42 days

**A residential improvement includes permit applications for home-based businesses, decks, hot tubs, accessory buildings, etc.

The target for issuing a permit is 3 business days from receipt of a complete application.*

*Note: The current metric does not allow calculation of business days. The reported time is based on total days (including weekends, holidays, etc.).

GOAL

Provide Clarity on Application Process & Decisions (cont.)



COMPLEX COMMERCIAL PERMITS

TARGET 20 business days from receipt of a complete application to make a decision.

COMPLEX COMMERCIAL APPLICATIONS RECEIVED:

- 2 complex commercial applications were received

One application for a permitted residential use (an apartment building and town house development) was approved in 70 days. This decision was appealed to the SDAB, and the SDAB upheld the decision. A variance was requested to increase the side yard setback.

One application for a discretionary residential use (an apartment building) was refused. This decision was appealed and the SDAB and the SDAB upheld the decision. Variances were requested to reduce the side yard setback, parking requirements and lot coverage.



SUBDIVISION APPLICATIONS

TARGET 60 business days from receipt of a complete application to make a decision.

SUBDIVISION APPLICATIONS RECEIVED:

- 6 new subdivisions
- 4 subdivision extensions

The time to issue a decision from receipt of a complete application was on average 113 days and a median of 102 days.

One subdivision variance was granted on subdivision block length.

GOAL

Provide Flexibility on Site Design

Our current target is to promote a diversity of frontage type standards and to ultimately reduce the dominant frontage type standard (front attached garage) over time. Review of results indicate:

- Residential permits have largely been in the Conventional Neighbourhood District and on pre-planned lands.
- Single family homes with front attached garages are still a predominant housing type, but there is a growing number of houses with rear attached garages on lanes in newer subdivisions.



Single Family (Dominant)



Semi-Detached



Multi-Attached

GOAL

Provide Flexibility on Site Design

The Land Use Bylaw aligning with Municipal Development Plan policy is a guiding principle of the document. Data will be reviewed for year-over-year trends, including increases in additional dwelling units, infill and vacant lots, home-based businesses, and new storefronts in Centre-Ville. Percentage of total dwelling units constructed during the review period will be examined for diversity in frontage types. Achievement of density targets will be monitored. Policy gaps and conflicts for correction in regulation will be identified.