
Development Permit Notice of Decision

Date of Decision: December 5, 2023

Kulwinder Singh
4203 54 Street
Beaumont, AB T4X 1L8

Proposed Development: Change of Use: Residential to Institutional – Education
Legal Description: Plan 922 0552, Block 13, Lot 2
Municipal Address: 4203 54 Street, Beaumont, AB
Land Use District: Conventional Neighbourhood
Permit Application No: 2023-271
Tax Roll: 001756

Development Permit Status: Approved with conditions

Development Permit Conditions

The development noted above is considered a Discretionary Use within the Conventional Neighbourhood District and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

- 1. As this permit has been issued for a discretionary use with variances, this permit shall not come into force and effect until the appeal period has expired.**
2. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
3. Location of the Business/Use is approved as shown on the attached site plan.
4. Location of the loading zone is approved as shown on attached parking plan.
5. The building has a floor area of 193.5m² and shall require four (4) parking stalls, approved as shown on attached parking plan.
6. A variance has been granted to allow parking within the frontage of the property.
7. A variance has been granted to allow the required loading zone to be located within the frontage of the property.
8. A variance has been granted to relax the requirement for plantings/screening around the perimeter of the parking area.

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9. A separate permit shall be required for signage, which shall conform with the requirements of the City of Beaumont *Land Use Bylaw 944-19*.
10. A City of Beaumont *General Contractor's License* shall be required by the Contractor/Builder prior to any work commencing on the Site.
11. A current and valid City of Beaumont Commercial Business License shall be required by the business Owner/Operator prior to the opening of the business.
12. The Applicant shall comply with all requirements and regulations of the *Child Care Licensing Act* (Alberta Child and Family Services Authority).

Additional Information

1. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the *Alberta Safety Codes Act* and any other applicable bylaws or regulations.
2. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
3. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
4. All applications for development and all development, construction, or installations contemplated, shall comply with the provisions of the National Building Code – Alberta Edition 2019, and the regulations made thereunder.
5. A Building Permit for Tenant Improvements is required **prior** to any work commencing on the Site.
Note: A Building Permit for Tenant Improvements will not be issued until the base building has been completed and occupancy granted.
6. Electrical, plumbing, and gas permits, as required, shall be the responsibility of the Owner/Applicant. Please, contact Superior Safety Codes regarding permits and inspections for these disciplines.
7. This permit will be circulated to Beaumont Fire Services, who will determine if a fire inspection shall be required.
8. This permit is subject to approval or exemption by Leduc Public Health. Failure to comply can result in cancellation of this development permit and the associated business license. Contact Leduc Public Health at 780-980-4678 to book an inspection.

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Permit Notification Information

In accordance with the City of Beaumont Land Use Bylaw 944-19, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Patricia Lauzé
Development Officer
780-235-8786
patricia.lauze@beaumont.ab.ca

Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) or the Land and Property Rights Tribunal if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

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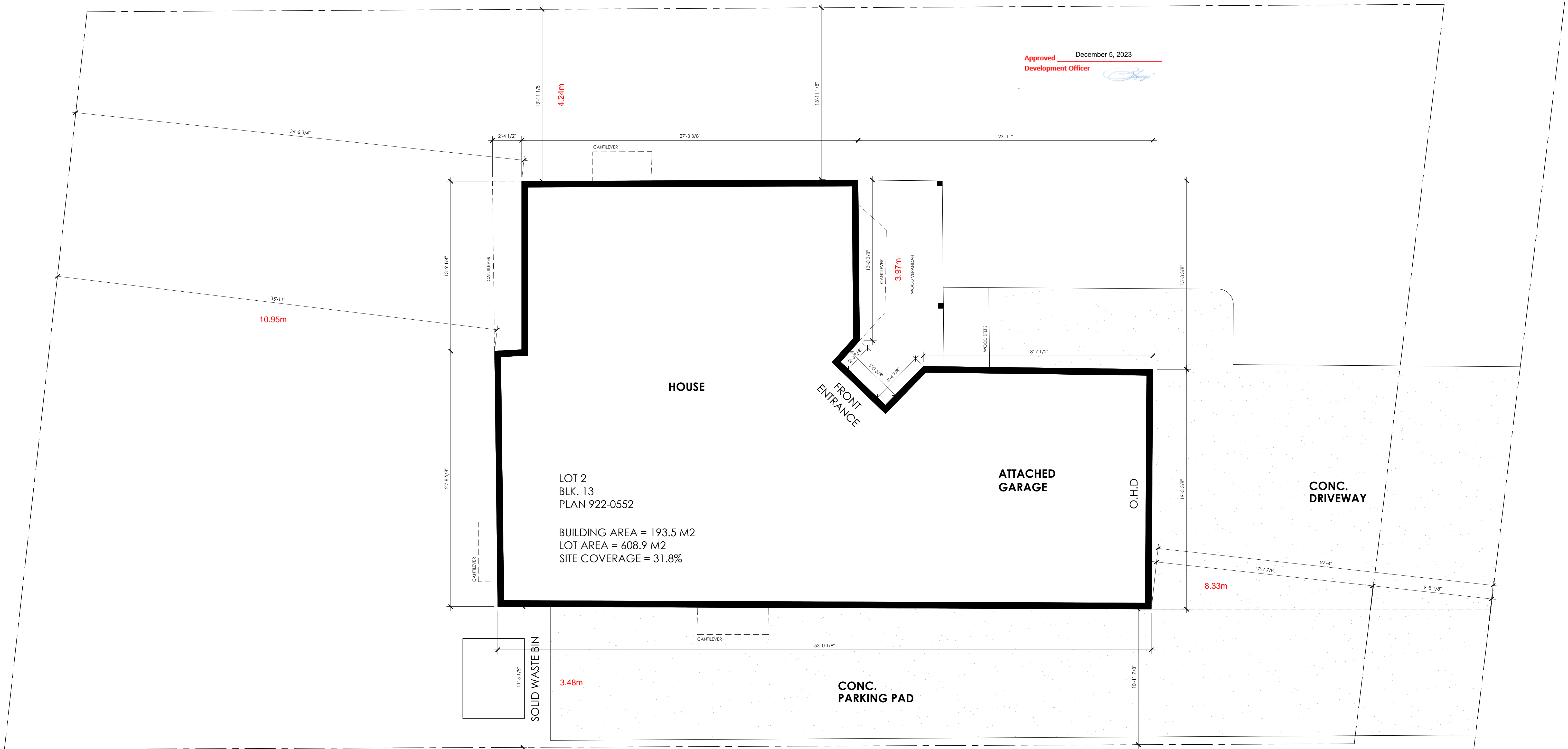
Permit Number: 2023-271

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit, or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

Notice of Decision:	December 5, 2023
Appeal deadline:	December 26, 2023
Permit active (if no appeals filed):	December 27, 2023

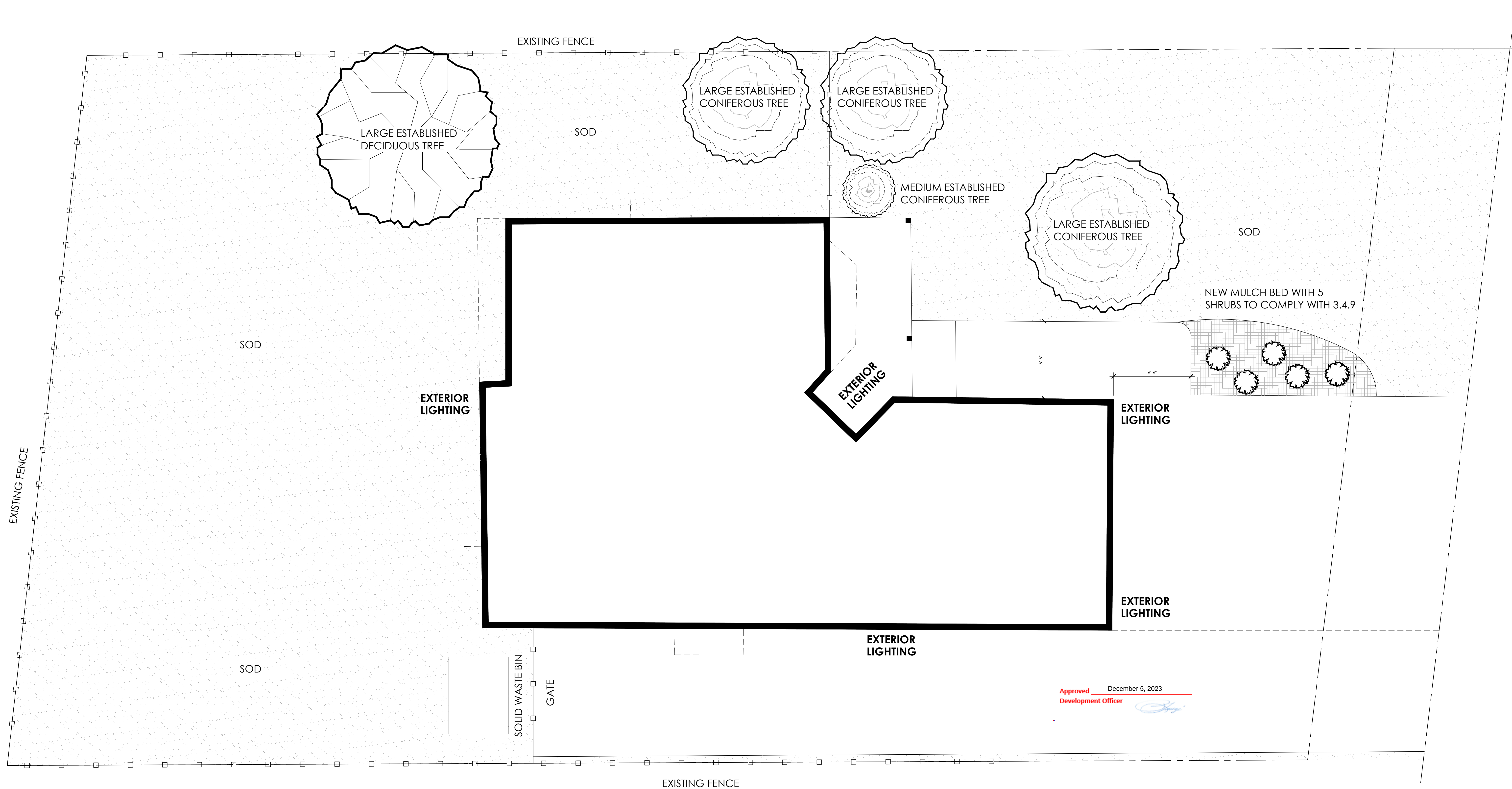
Please be advised that an appeal may be submitted in accordance with Section 685 of the Municipal Government Act with the Land and Property Rights Tribunal of the Province of Alberta within 21 days of the written decision. Please visit the Government of Alberta website for more details at <https://www.alberta.ca/subdivision-appeals.aspx>

Approved December 5, 2023
 Development Officer



SITE PLAN

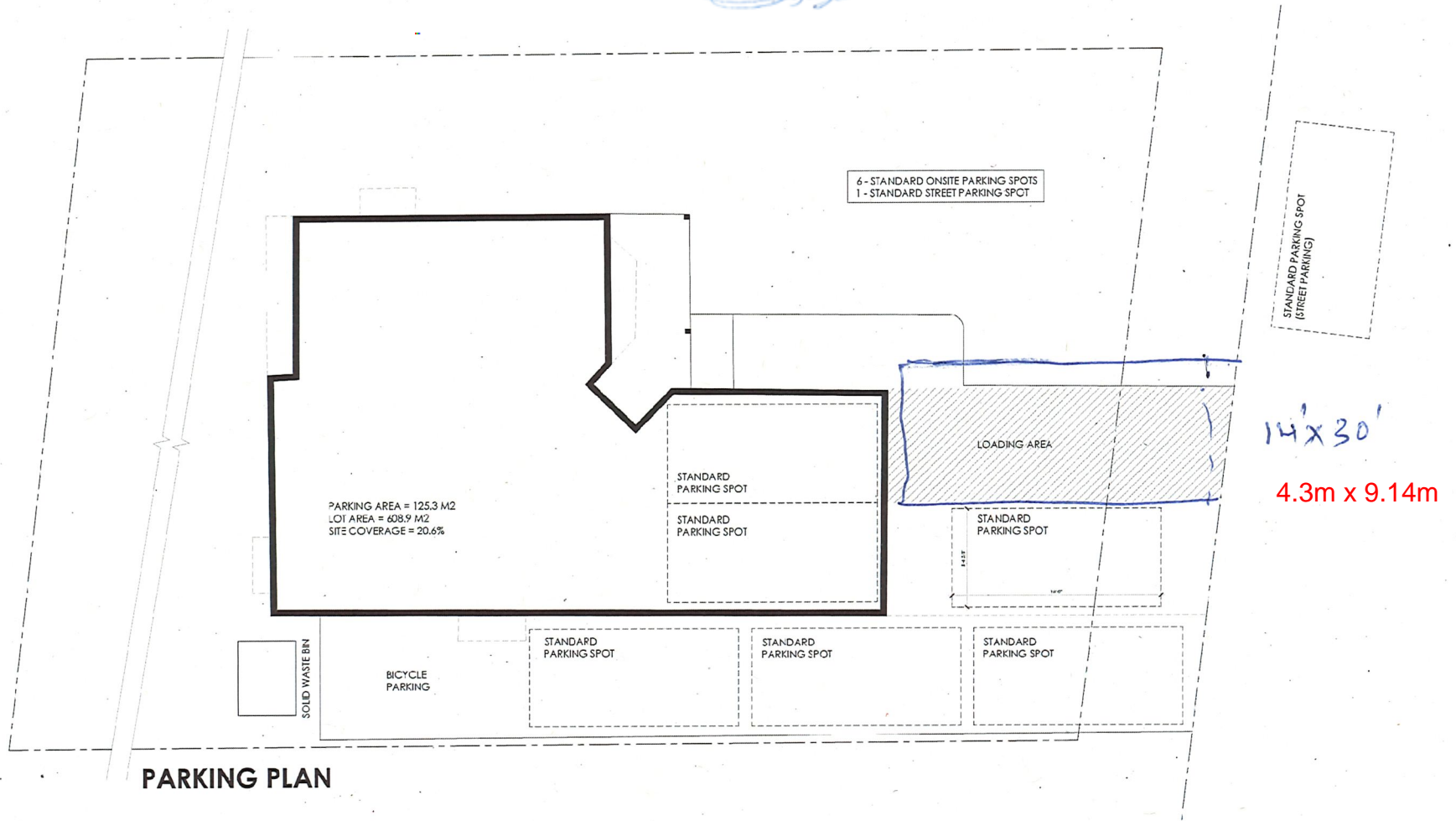
FIRST DRAW DATE: OCT. 11, 2023 REVISIONS: OCT. 28, 2023	SITE PLAN	CUSTOMER NAME: SUKHJINDER SIDHU ADDRESS: 4203 54 STREET, BEAUMONT, ALBERTA LOT: 2 BLOCK: 13 PLAN NUMBER: 922-0552 SUBDIVISION: SCALE: 1/4" = 1'-0"	1 3
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LANDSCAPING & LIGHTING PLAN

FIRST DRAW DATE: OCT. 11, 2023 REVISIONS: OCT. 28, 2023	LANDSCAPING & LIGHTING PLAN	CUSTOMER NAME: SUKHJINDER SIKHU ADDRESS: 4033 54 STREET, BEAUMONT, ALBERTA LOT: 2 BLOCK: 13 PLAN NUMBER: 922 0552 SUBDIVISION: SCALE: 1/4" = 1'-0"	2 3
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Approved December 5, 2023
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PREPARED BY: GCL 1. 2023		PARKING PLAN	CLIENT NAME: SUNSHINE/2023	DATE: 05/11/23	SCALE: 1/4" = 1'-0"	3/3
REVISION: GCL 2. 2023			PROJECT: 2023-00000000000000000000	DATE: 05/11/23	SCALE: 1/4" = 1'-0"	
			DATE: 05/11/23	DATE: 05/11/23	SCALE: 1/4" = 1'-0"	

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6 - STANDARD ONSITE PARKING SPOTS
1 - STANDARD STREET PARKING SPOT

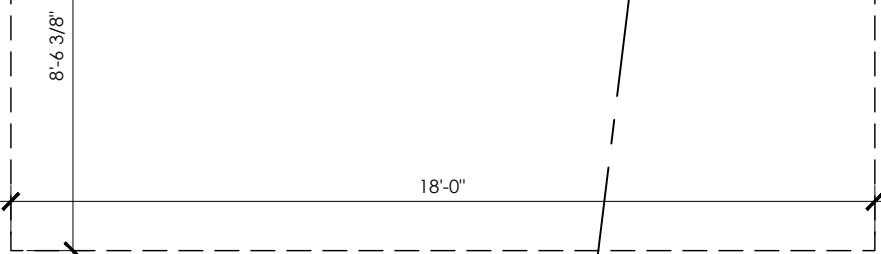
PARKING AREA = 125.3 M2
LOT AREA = 608.9 M2
SITE COVERAGE = 20.6%

STANDARD
PARKING SPOT

STANDARD
PARKING SPOT

LOADING AREA

STANDARD
PARKING SPOT



STANDARD
PARKING SPOT

STANDARD
PARKING SPOT

STANDARD
PARKING SPOT

SOLID WASTE BIN

BICYCLE
PARKING

STANDARD PARKING SPOT
(STREET PARKING)

PARKING PLAN

FIRST DRAW DATE: OCT. 11, 2023				CUSTOMER NAME: SUKHJINDER SIDHU					
REVISIONS: OCT. 28, 2023				ADDRESS: 4203 54 STREET, BEAUMONT, ALBERTA				JOB NUMBER:	
				LOT: 2	BLOCK: 13			PLAN NUMBER: 922 0552	
				SUBDIVISION:		SCALE: 1/4" = 1'-0"			

PARKING PLAN

3
3

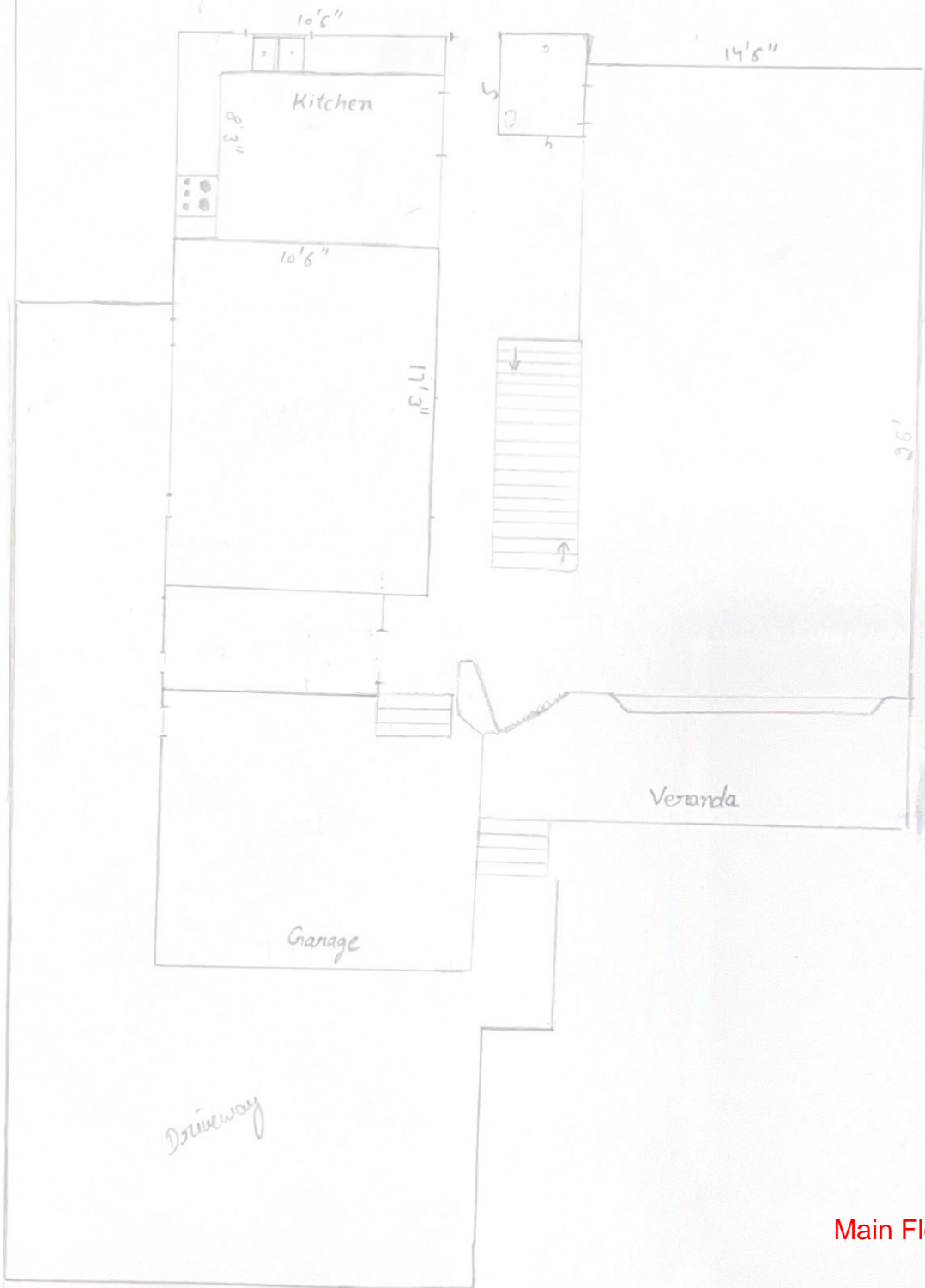
Below are the uses of each room:

Infant Room- For Care of CHildren below 12 months old.

Toddler Room- For Children aged between 12 months to 36 months

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Main Floor

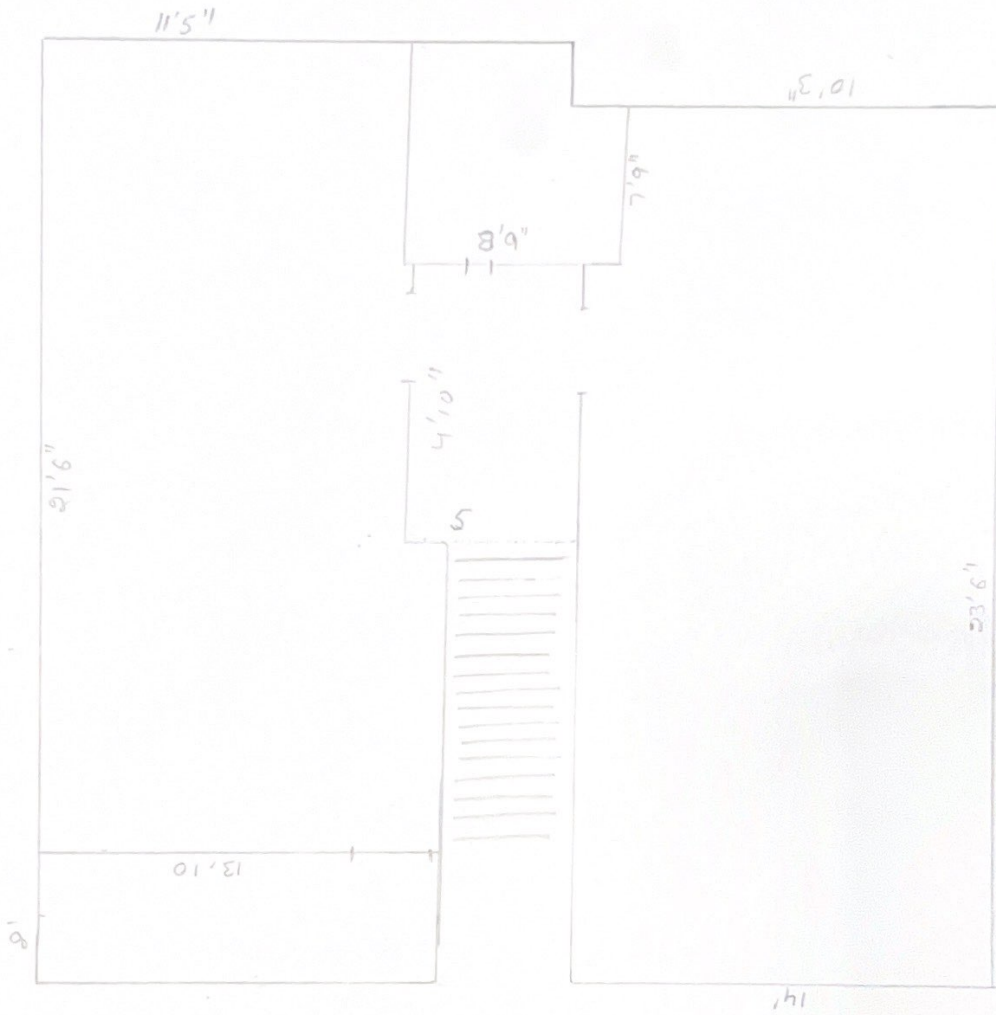
Below are the uses of each room:

Pre-School- From 3 years to 5 years of age

Out of School Care- for Children 5 years and older.

December 5, 2023

Approved
Development Officer



December 5, 2023

DEVELOPMENT PERMIT NOTICE

A Development Permit has been approved for a property located near you. The development permit is for a Commercial Daycare Use in a Residential District, with variances to allow the following: 1) parking within the frontage of the lot, 2) designated loading zone, and 3) perimeter plantings to screen parking area.

Location: 4203 54 Street, Beaumont

Legal description of this address: Plan 922 0552 Block 13 Lot 2

Permit Number: 2023-271

Land Use Bylaw: Conventional Neighbourhood District

Permit and Conditions

For more information regarding this Development Permit, permit conditions, or the Land Use Bylaw, contact the **Development Authority** who made the decision on this permit.

Variations and/or Discretionary Use

Section numbers below refer to Land Use Bylaw 944-19

1. The Use, Institutional – Education, is a Discretionary Use in the Conventional Neighbourhood District.
2. Section 3.3.10(b)(i) has been varied so that perimeter screening of the parking area is not required, which is a discretionary use in the Conventional Neighbourhood District.
3. Section 3.3.10(b)(ii) has been varied to allow parking in the frontage of the property, which is a discretionary use in the Conventional Neighbourhood District.
4. Section 3.3.10(e)(i) has been varied to allow the loading zone to be located within the frontage of the lot, which is a discretionary use in the Conventional Neighbourhood District.

Land Use Bylaw 944-19

The Land Use Bylaw contains the rules and regulations for the development of land in Beaumont. For the purpose of land development, Beaumont is divided into districts. For further clarification visit www.beaumont.ab.ca/landusebylaw.

Patricia Lauzé
Development Officer
780-235-8786
patricia.lauze@beaumont.ab.ca

Appeals

You are being informed of this approved Development Permit that includes variance(s) and/or a discretionary use as listed below. You may appeal the decision to the **Subdivision and Development Appeal Board (SDAB) within 21 days of being notified. Development will continue if no appeals have been filed.** The SDAB is an independent body established by City Council. Its decisions are final and can only be overturned by the Courts if the Board makes an error of law or jurisdiction.

Notification Appeal Period: December 5, 2023 to December 25, 2023

To file an appeal or get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at legislative@beaumont.ab.ca. Appeals must be filed no later than 4:30 pm, December 25, 2023