

Planning & Development  
5600 - 49 Street  
Beaumont, AB T4X 1A1  
780-929-8782  
development@beaumont.ab.ca

**Received**  
**July 13 2023**  
DATE RECEIVED  
OFFICE USE ONLY

**Paid**  
**July 26 2023**  
DATE PAID  
OFFICE USE ONLY

**Note:**  
Building, Electrical, Plumbing, and Gas Permits each have their own application forms.

Property Information		
Street Address: <u>4901 30th avenue</u>		
Plan: <u>1920554</u>	Block: <u>5</u>	Lot: <u>1</u>

Applicant and Property Owner Information	
Applicant/Contractor Name: <u>Claroscuro Architecture Inc</u>	
Mailing Address: <u>10158 103 street, unit 502</u>	
Town: <u>Edmonton</u>	Postal Code: <u>T5J 0X6</u>
Phone: <u>(780)924-0405-0504 Ext: 2</u>	Cell Phone: _____
Email (required): <u>tara@claroscuro.ca</u>	

Is the Applicant also the Registered Owner?	
<input type="checkbox"/> Yes (Do not fill out below)	<input checked="" type="checkbox"/> No <small>(Fill out below - written authorization from registered owner required)</small>
Owner Name: <u>Leduc Co-op, co; Rick Polasek</u>	
Mailing Address: <u>5403 50 street</u>	
Town: <u>Leduc AB</u>	Postal Code: <u>t9e 6z7</u>
Phone: <u>(780)986-3000</u>	Cell Phone: _____
Email (required): <u>rickp@leduccoop.ca</u>	

Proposed Development	Square Footage (m <sup>2</sup> ): <b>178.37</b>
<i>Check one of the following:</i>	
<input checked="" type="checkbox"/> Commercial	
<input type="checkbox"/> Industrial	
<input type="checkbox"/> Institutional	
<input checked="" type="checkbox"/> Other Non-Residential Use: <u>gas bar island</u>	
<input type="checkbox"/> Signage → Provide Construction Value: (approx. cost of material and labor)	

Has work on the above indicated item already commenced?  Yes  No

Description of Work and Land Usage:
<b>the gas bar island to go with the overall site plan</b>

OFFICE USE ONLY
Permit Number: <b>2023-279</b>
Building Permit Number: _____
Mail <input type="checkbox"/> Pick-up <input type="checkbox"/>
<input type="checkbox"/> Authorization or ID Received
Land Use District: <b>C</b>
Subdivision: <b>BEAU VAL PH5</b>
Tax Roll: <b>009284</b>
<input type="checkbox"/> Permitted Use
<input type="checkbox"/> Permitted Use w/ Variance
<input checked="" type="checkbox"/> Discretionary Use

Fees	Receipt #: <b>308031</b>
Development Permit: <b>588.62</b>	_____
Variance: _____	_____
Notification Fee: <b>110.00</b>	_____
Other: _____	_____
<b>Total Fees: 698.62</b>	

Applicant Authorization
1. I am the owner/agent with the consent and authority of the owner that is the subject matter of this permit application.
2. I hereby give my consent to allow any authorized person pursuant to the Municipal Government Act Section 542 the right to enter the land and/or building(s) with respect to this application only.
3. I understand this is only an application and does not constitute approval to commence construction.
4. I declare that the information contained in this application is correct and true to the best of my knowledge. <span style="float: right;">I agree <input checked="" type="checkbox"/></span>
5. I declare that I will notify the Development Authority of any proposed changes to the plans submitted with this application.
6. I consent to receiving notifications & correspondence regarding this application via email to the address provided on this application.
Applicant Signature:  _____ Date: <u>July 12, 2023</u>

OFFICE USE ONLY	
Development Permit	
Date Deemed Complete: _____	Date of Decision: <b>December 14, 2023</b> <small>(See attached Notice of Decision)</small>

The personal information requested on this form is being collected under the authority of Section 33(c) of the Freedom of Information and Protection of Privacy (FOIP) Act. The information collected will be used for the purpose of permit review and inspection processes and may be communicated to relevant City Business Units, utility providers, and Alberta Health Services. It may also be used to conduct ongoing evaluations of services received from City Business Units. The name of the applicant and the nature of the permit will be available to the public. If you have any questions about the collection or use of your personal information, contact the City of Beaumont's FOIP Coordinator at 5600-49th Street, Beaumont, Alberta, T4X 1A1 or 780.929.8782..



5600 - 49 Street  
Beaumont, Alberta T4X 1A1  
Phone: (780) 929-8782  
Fax: (780) 929-3300  
Email: development@beaumont.ab.ca

**DEVELOPMENT / BUILDING PERMIT AUTHORIZATION FORM**

**OWNER INFORMATION**

I (We), Leduc Co-op

(name(s) of Registered Land Owner(s))

being the registered land owners of:

Municipal Address: 4901 30 avenue Postal code

Legal Description: lot 1, block 5, plan 1920554

Owner Phone number: (780)986-3000

Owner Email: rickp@leducoop.ca

Do hereby authorize:

**APPLICANT INFORMATION**

Company: Claruscuro Architecture Inc

Contact Name: Tara McCashin

Address: 10158 103 street unit 502, Edmonton AB Postal code T5J 0X6

Phone: (780)924-0405

Email: tara@claruscuro.ca

to make application for the necessary building / development permits required to complete the following project: Beau Val Commercial

**For Commercial Only:**

**Owner is responsible for all costs associated with water metering changes, including all piping, and removal and/or replacement of water meter(s). Changes are required to water meter (please circle)    Yes                      No**

**If yes, please contact Public Works at 780-929-4300.**

**ALL REPORTS WILL BE PROVIDED TO OWNER AND APPLICANT**

Leduc Co-op LTD  
(Print name of Registered Land Owner)

(Print name of Registered Land Owner)

[Signature]  
(Signature of Registered Land Owner)

(Signature of Registered Land Owner)

July 12, 2023

Date

Date

The personal information requested on this form is being collected under the authority of Section 33(c) of the Freedom of Information and Protection of Privacy (FOIP) Act. The information collected will be used for the purpose of permit review and inspection processes and may be communicated to relevant City Business Units, utility providers, and Alberta Health Services. It may also be used to conduct ongoing evaluations of services received from City Business Units. The name of the applicant and the nature of the permit will be available to the public. If you have any questions about the collection or use of your personal information, contact the City of Beaumont's FOIP Coordinator at 5600-49th Street, Beaumont, Alberta, T4X 1A1 or 780.929.8782.



City of Beaumont  
5600 - 49 Street  
Beaumont, Alberta T4X 1A1  
Phone: (780) 929-8782  
Fax: (780) 929-3300  
Email: development@beaumont.ab.ca

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**DECLARATION - ABSENCE OF ABANDONED WELLS ON PARCEL**

I, Tara McCashin c/o Claroscuro Architecture Inc, have reviewed information from the Energy Resource and Conservation Board ("ERCB") and can advise that the information shows the absence of any abandoned wells on the parcel that is the subject of the attached application for Development Permit.

Subject Parcel:

Lot: 1 Block: 5 Plan: 1920554

Municipal Address: 4901 30 ave Beaumont AB T4X 1T9

  
\_\_\_\_\_  
Signature

2023-05-23

Date

Tara McCashin  
\_\_\_\_\_  
Printed Name

SEE REVERSE FOR INFORMATION

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## Development Permit Notice of Decision

Date of Decision: December 14, 2023

Claruscuro Architecture Inc  
10158 103 Street Unit 502  
Edmonton, AB T6J 0X6

**Proposed Development:** Commercial: Gas Bar  
**Legal Description:** Plan 192 0554, Block 5, Lot 1  
**Municipal Address:** 4901 30 Avenue, Beaumont, AB  
**Land Use District:** Commercial  
**Permit Application No:** 2023-279  
**Tax Roll:** 009284

**Development Permit Status:** Approved with conditions

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### Development Permit Conditions

The development noted above is considered a Discretionary Use within the Commercial District, and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

1. All conditions related to previously issued Development Permit No. 2023-223 shall remain in effect and compliance shall be required.
2. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
3. **As this permit has been issued discretionary use, this permit shall not come into force and effect until the appeal period has expired, December 29, 2023**
4. The site shall be developed in accordance with the attached plans issued for development dated November 24, 2023 **Any changes to the attached plans require prior written approval by the City.**
5. The owner/applicant shall obtain all federal, provincial and local permits as they apply to this project.

### Additional Information

1. **Prior to any work commencing on the site**, a Letter of Credit in the amount of 100% of the construction costs for hard and soft landscaping shall be provided prior to building permit issuance, with such costs to include hard landscaping features such as brick pavers, shale, concrete curbing, sidewalks, patios, paved approaches including culvert and rip rap, fencing and painted lines for parking stalls.

50% of the landscaping security shall be released after planting and the remaining balance shall be released once an inspection of the site has demonstrated to the satisfaction of the Development Authority that the

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## Development Permit Notice of Decision

Date of Decision: December 14, 2023

**Permit Number: 2023-289**

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landscaping has been well maintained and is in healthy condition two growing seasons after approved inspection.

2. **Prior to any construction commencing on the site**, a Development Agreement and a Letter of Credit equal to 25% of the construction costs shall be submitted to the City of Beaumont for the following:
  - a. any pre-grading of the site including stripping, grubbing, etc.
  - b. the cost of work to be undertaken on municipal property, including but not limited to underground servicing and access.

All but \$7,000 of the above noted securities will be returned upon completion, with no deficiencies as confirmed by Engineering (the municipality will not take less than \$7,000 security). The remainder shall be released upon completion and receipt of as-built record drawings that are received and deemed acceptable by the municipality.

3. Prior to securing the Letters of Credit for this project, the Applicant shall provide cost estimates for approval by the Manager, Engineering & Environment.

The Letter of Credit shall have an initial term of one (1) year, shall be renewed by the owner 30 days prior to expiry, and shall:

- a. contain an automatic renewal clause; and
  - b. allow for partial draws by the City of Beaumont.
4. The Applicant shall maintain comprehensive liability insurance in the amount of \$5 million as it relates to this project, for the duration of both phases of the project. A copy of the Certificate of Insurance must be provided, and Beaumont shall be named on same.
5. Engineering Advisements
  - a. The owner shall be responsible for any engineering and legal costs incurred by the City related to this project.
6. Fire Advisements
  - a. A Fire Safety Plan must be posted in a visible area on the construction site.
  - b. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.
  - c. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.

7. Infrastructure Advisements

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## **Development Permit Notice of Decision**

Date of Decision: December 14, 2023

**Permit Number: 2023-289**

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- a. The owner shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.
  - b. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to [waterandwastewater@beaumont.ab.ca](mailto:waterandwastewater@beaumont.ab.ca). This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
8. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
  9. The Applicant shall provide the Development Authority with AutoCAD drawings to the satisfaction of the Development Authority with the Building Permit application.
  10. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the Alberta Safety Codes Act and any other applicable bylaws or regulations.
  11. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
  12. The site shall be kept clear of all construction garbage and debris; an on-site garbage container/bin shall be required.
  13. Failure to keep the sites clean of debris is an offence under Our Zoning Blueprint. The Peace Officers may issue offence tickets to any person who has committed or is committing an offence respecting this infraction and may be subject to the following penalties:
    - a. First Offence – a written warning or a stop work order shall be issued, and a bin will be required onsite;
    - b. Second Offence (on same lot) – a minimum fine of \$1,000.00 and a stop work order shall be issued;
    - c. Third (and Subsequent) offence(s) (on same lot) – a minimum fine of \$5,000.00 and a stop work order shall be issued.
  14. Separate sign permit applications will be required for any on-site signage.
  15. It is the responsibility of the Applicant to ensure they have reviewed and understand all Instruments registered against the Title of the subject property. This includes all easements, caveats, and restrictive

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## **Development Permit Notice of Decision**

Date of Decision: December 14, 2023

**Permit Number: 2023-289**

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covenants. The City shall not address, nor enforce, any Instruments of which we have no interest in and/or are not a party to.

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### **Permit Notification Information**

In accordance with the City of Beaumont Land Use Bylaw 944-19, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

### **Appeal Information**

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) or the Land and Property Rights Tribunal if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

<b>Notice of Decision:</b>	December 14, 2023
<b>Appeal deadline:</b>	January 4, 2024
<b>Permit active</b> (if no appeals filed):	January 5, 2024

Please be advised that an appeal may be submitted in accordance with Section 685 of the Municipal Government Act with the Land and Property Rights Tribunal of the Province of Alberta within 21 days of the written decision. Please visit the Government of Alberta website for more details at <https://www.alberta.ca/subdivision-appeals.aspx>



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## **Development Permit Notice of Decision**

Date of Decision: December 14, 2023

**Permit Number: 2023-289**

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For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Sara Boulos  
Development Planner  
780-340-1784  
[Sara.boulos@beaumont.ab.ca](mailto:Sara.boulos@beaumont.ab.ca)

cc: Curtis Doblanko, Director, Finance  
Kendra Raymond, Director, Planning & Development  
Jennifer Niesink, Director, Economic Development  
Jay Melvin, Director, Protective Services & Fire Chief  
Punam Grewal, Manager, Engineering & Environment  
Joannes Wong, Manager, Long Range Planning  
Shawn Hipkiss, Manager, Development Services  
Aleshia Ingram, Senior Development Planner  
Charles Conroy, Development & Engineering Coordinator  
Carley Krahn, Fire Prevention Officer  
Ellen Feron, Operations Facility Administrative Assistant  
Troy Birtles, Accurate Assessment  
Kate Alexander, Leduc Public Health



December 14, 2023

## DEVELOPMENT PERMIT NOTICE

**A Development Permit has been approved for a property located near you.** The development permit is for a Gas Station

**Location:** 4901 30 Avenue, Beaumont

**Legal description of this address:** Plan 192 0554 Block 5 Lot 1

**Permit Number:** 2023-279

**Land Use Bylaw:** Commercial District

### Permit and Conditions

For more information regarding this Development Permit, permit conditions, or the Land Use Bylaw, contact the **Development Authority** who made the decision on this permit.

### Discretionary Use

Section numbers below refer to Land Use Bylaw 944-19

1. A Gas Station Use has been approved, which is a discretionary use in the Commercial District.

### Land Use Bylaw 944-19

The Land Use Bylaw contains the rules and regulations for the development of land in Beaumont. For the purpose of land development, Beaumont is divided into districts. For further clarification visit [www.beaumont.ab.ca/landusebylaw](http://www.beaumont.ab.ca/landusebylaw).

Sara Boulos  
Development Planner  
780-340-1784  
[Sara.boulos@beaumont.ab.ca](mailto:Sara.boulos@beaumont.ab.ca)

### Appeals

You are being informed of this approved Development Permit that includes variance(s) and/or a discretionary use as listed below. You may appeal the decision to the **Subdivision and Development Appeal Board (SDAB) within 21 days of being notified. Development will continue if no appeals have been filed.** The SDAB is an independent body established by City Council. Its decisions are final and can only be overturned by the Courts if the Board makes an error of law or jurisdiction.

**Notification Appeal Period:** December 14, 2023 to January 4, 2024

To file an appeal or get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at [legislative@beaumont.ab.ca](mailto:legislative@beaumont.ab.ca). Appeals must be filed no later than 4:30 pm, January 4, 2024



**SITE & TOPOGRAPHIC SURVEY**  
 OF  
**LOT 1, BLK. 5, PLAN 192 0554**  
 IN THE  
**S.W. 1/4 SEC. 26 TWP. 50 RGE. 24 W. 4 M.**  
**BEAUMONT, ALBERTA**

SCALE 1:300  
 2022 ALEX SPYNA, A.L.S.

- LEGEND**
- ELEVATIONS ARE IN METERS AND DECIMALS THEREOF.
  - STATIONARY HIGH POINTS FOUND SHOWN THIS
  - CORNER MARKERS SHOWN THIS
  - FIRE HYDRANT SHOWN THIS
  - MANHOLE SHOWN THIS
  - CATCH BASIN SHOWN THIS
  - GUY ANCHOR SHOWN THIS
  - UTILITY FEDERAL SHOWN THIS
  - UTILITY LOCAL SHOWN THIS
  - ELEVATION LOC REMOTES BACK OF CORNER
  - ELEVATION LOC REMOTES LINE OF GUTTER
  - DATE OF SURVEY JUNE 29, 2022
  - ELEVATIONS ARE ELECTRIC AND ARE DERIVED FROM AEGN 937646 (BLM-V-76.3249)

**DISCLAIMER**

REGISTERED PROFESSIONAL ENGINEER AND UTILITY LOCATOR OF A.M.A. AFFECTING TITLE OF PROPERTY HAVE BEEN SHOWN ON THE PLAN. REGISTERED DOCUMENTS FOR DETAILS.

CALL ALBERTA 111 CALL PRIOR TO ANY EXCAVATION FOR ACCURATE LOCATION OF UNDERGROUND UTILITIES.

- LOCATED UNDERGROUND UTILITIES
- GUY LINE SHOWN THIS
- UTILITIES IN DOTTED VIBES LOCATED BY A THIRD PARTY AND NOT THE ACCURACY OR COMPLETENESS OF THESE RECORDS OR OF THIS CORPORATION.



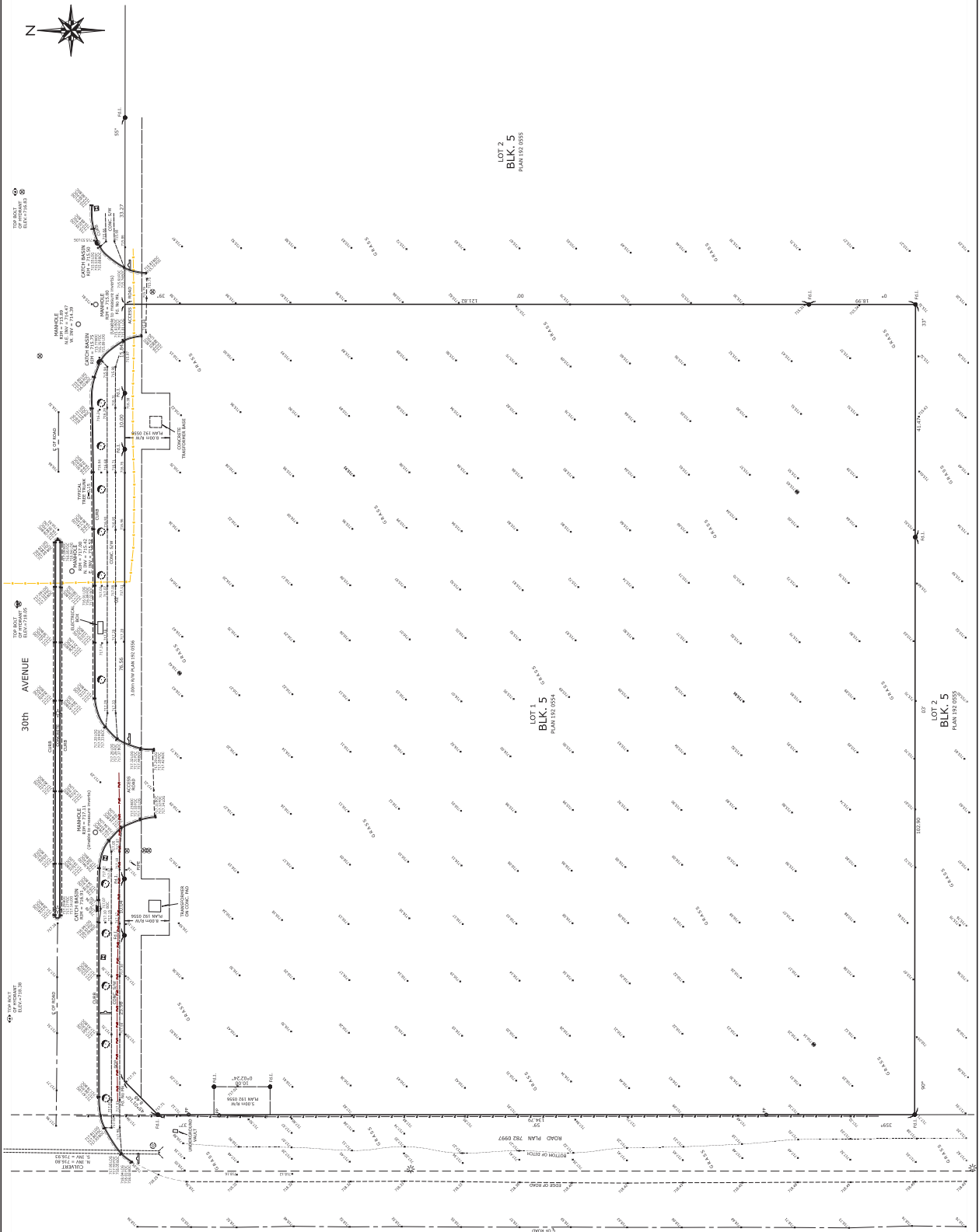
ISSUED TO:	RESUBMISSION SCHEDULE
ISSUED DATE:	DATE OF ISSUE:
SITE ADDRESS:	BEAUMONT
PROJECT:	BEAUMONT
ISSUED TO:	RESUBMISSION SCHEDULE
ISSUED DATE:	DATE OF ISSUE:
SITE ADDRESS:	BEAUMONT
PROJECT:	BEAUMONT

**HAGEN SURVEYS**

8500 - 20th Street, A.L.S. (1000) for comprehensive surveying services  
 403-291-1111  
 hagen@hagensurveys.com

ISSUED TO: RESUBMISSION SCHEDULE  
 ISSUED DATE: DATE OF ISSUE  
 SITE ADDRESS: BEAUMONT  
 PROJECT: BEAUMONT

2022 ALEX SPYNA, A.L.S.



DRAWN BY: J.V. CHECKED BY: A.S.P. JOB NO. 22C0834 DATE: 2022



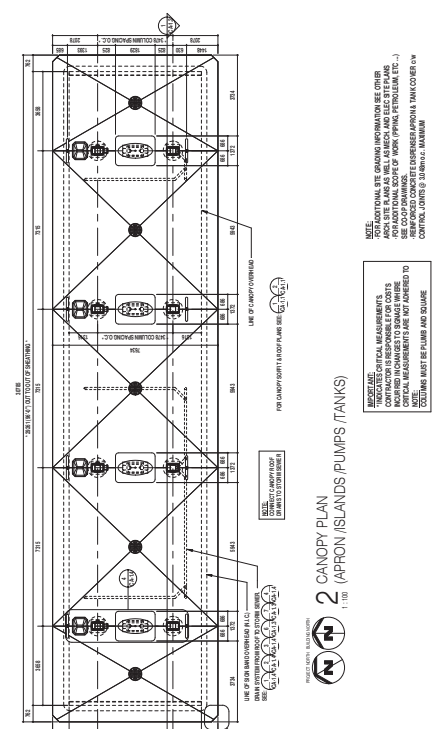
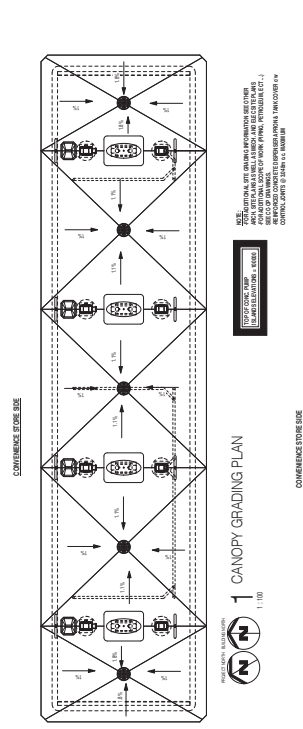


Civil  
 CONSULTANT STAMP 1  
 Landscape  
 CONSULTANT STAMP 2  
 Structural  
 CONSULTANT STAMP 3  
 Mechanical  
 CONSULTANT STAMP 4  
 Electrical  
 CONSULTANT STAMP 5  
 Owner  
 CONSULTANT STAMP 6

**NO. DESCRIPTION:** DATE  
**REVISIONS:** 1/1/2010  
**PROJECT NAME:**  
 CO-OP STANDARDS/  
 CANOPY 20X86'  
 (6110 x 28261)

**VARIOUS LOCATIONS:** 6728N11700  
**PROJECT NUMBER:**  
**DRAWING NAME:**  
 CANOPY PLANS  
**DRAWN:** Alobz  
**CHECKED:** Oshiro

CA-1.0



**NOTES:**  
 1. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.  
 2. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.  
 3. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.  
 4. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.





CONSULTANT STAMP 1	Civil
Landscaping	
CONSULTANT STAMP 2	
Structural	
CONSULTANT STAMP 3	
Mechanical	
CONSULTANT STAMP 4	
Electrical	
CONSULTANT STAMP 5	
Owner	
CONSULTANT STAMP 6	

THESE DRAWINGS ARE THE PROPERTY OF AODBT ARCHITECTURE + INTERIOR DESIGN. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AODBT ARCHITECTURE + INTERIOR DESIGN. CONSULTANTS AND OTHERS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NO. DESCRIPTION: DATE: 1/11/2010

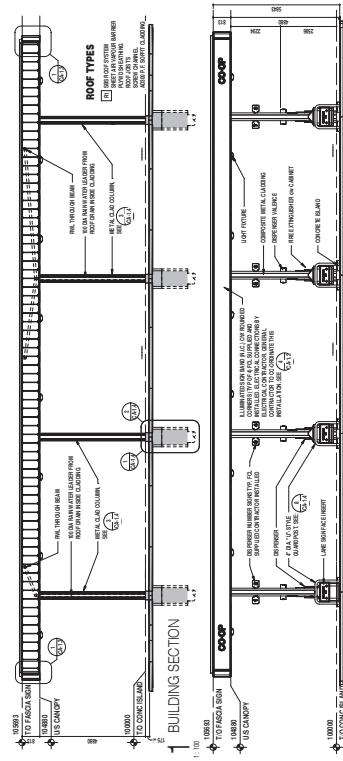
PROJECT NAME: CO-OP STANDARDS/ CANOPY 20'X86' (6110 x 26261)

VARIOUS LOCATIONS PROJECT NUMBER: 07.0281.1100

DRAWING NAME: CANOPY BUILDING SECTION & ELEVATIONS

DRAWN: AJBR CHECKED: CHW

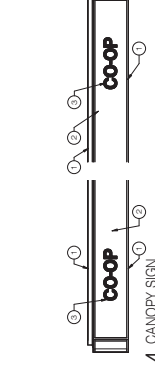
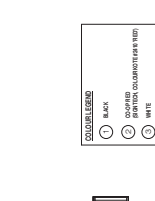
CA-1.2



1 BUILDING SECTION  
2 TYPICAL SIDE ELEVATION  
3 TYPICAL SIDE ELEVATION

NOTE: ALL UNFINISHED INTERIORS SHALL BE FINISHED TO MATCH THE FINISHES SHOWN ON THE INTERIOR FINISH SCHEDULE. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

1. TO CANOPY SIGN  
2. TO CANOPY SIGN  
3. TO CANOPY SIGN  
4. TO CANOPY SIGN



4 CANOPY SIGN  
1:10

CONSULTANT STAMP 1
Landscaping
CONSULTANT STAMP 2
Structural
CONSULTANT STAMP 3
Mechanical
CONSULTANT STAMP 4
Electrical
CONSULTANT STAMP 5
Owner
CONSULTANT STAMP 6

NO. ■ DESCRIPTION: ■ DATE: 1/11/2010

PROJECT NAME: CO-OP STANDARDS/  
CANOPY 20x86'  
(6110 x 28261)

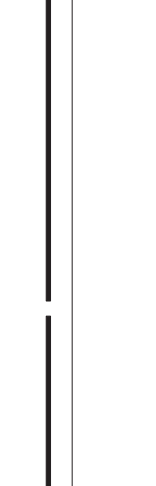
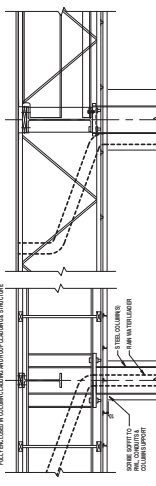
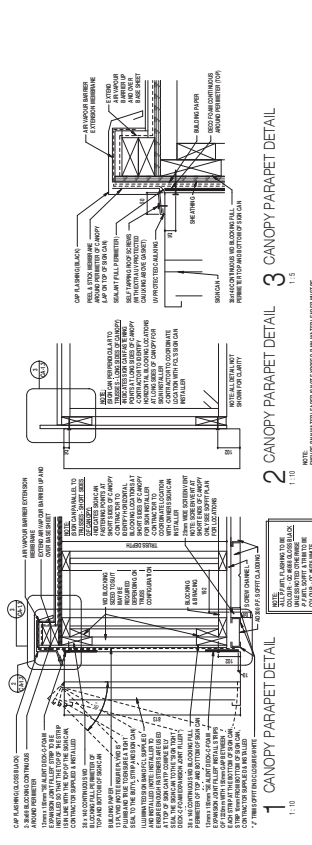
VARIOUS LOCATIONS

PROJECT NUMBER: 8720811700

DRAWING NAME: CANOPY DETAILS

DRAWN: AJacob

CHECKED: OChenier



Civil  
 CONSULTANT STAMP 1  
 Landscape  
 CONSULTANT STAMP 2  
 Structural  
 CONSULTANT STAMP 3  
 Mechanical  
 CONSULTANT STAMP 4  
 Electrical  
 CONSULTANT STAMP 5  
 Owner  
 CONSULTANT STAMP 6

NO. ■ DESCRIPTION: DATE:  
 1/1/2021

PROJECT NAME:  
 CO-OP STANDARDS/  
 CANOPY 20'X86'  
 (6110 x 26261)

VARIOUS LOCATIONS  
 PROJECT NUMBER: 8720811100

DRAWING NAME:  
 PUMP ISLAND/  
 CANOPY DETAILS

DRAWN: AJCOR  
 CHECKED: CHANAK

CA-1.4

