
Development Permit Notice of Decision

Date of Decision: March 3, 2023

Dalpreet Virdi / P. Virdi Holdings Ltd.
80-50452 Range Road 245
Leduc County, T4X 0P5

Proposed Development: **Mixed Use Residential/ Institutional: Education – Daycare**
Legal Description: Plan 182 3366, Block 25, Lot 201
Municipal Address: 6302 Dansereau Way, Beaumont, AB
Land Use District: Integrated Neighbourhood
Permit Application No: 2022-286
Tax Roll: 009244

Development Permit Status: Approved with conditions

Development Permit Conditions

The development noted above is considered a Permitted Use within the Integrated Neighbourhood District, and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

1. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
2. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met.
3. The Land Use Bylaw 944-19 ("LUB"), IN – Integrated Neighbourhood District applies with respect to this development.
4. The site shall be developed in accordance with the attached plans issued for development dated March 3, 2023. Any changes to the attached plans require prior written approval by the City.

Building Placement Standards

5. The principal frontage, secondary frontage, side and rear setbacks are acceptable and meet the LUB regulations.
6. The proposed site coverage is 35% and is within the maximum allowed under the LUB.
7. Lighting for the building shall be provided as shown on the attached approved plans. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.
8. The molok solid waste three stream system at the rear of the site is acceptable.

Development Permit Notice of Decision

Date of Decision: March 3, 2023

Permit Number: 2022-286

Building Profile Standards

9. The building height to eave is 3-storeys and meets the LUB regulations.
10. The approved drawings do not show any rooftop mechanical equipment. Should rooftop mechanical equipment be required, revised drawings shall be submitted. Rooftop mechanical equipment shall be screened from view or incorporated into the roof envelope.

Frontage Type Standards

11. The Shopfront Frontage Standard applies to this development as the entrance feature is at sidewalk grade.
12. Ground floor uses are limited to lodging, commercial, and institutional uses. This development complies as it proposes institutional.
13. Hard landscaping shall be contiguous and seamlessly integrated with the public sidewalk with no grade adjustments.

Landscaping & Screening Standards

14. The site area is less than 2500m² and has a minimum requirement of 3 trees. The development includes 10 trees, 60% (six) of which are coniferous.

Parking, Access & Loading Standards

15. The LUB requires twelve (12) parking stalls based on the intended uses for this development, and seventeen (17) parking stalls have been provided.
16. Barrier free parking stall details will be approved under the building permit.
17. The LUB requires parking for a minimum of 6 bicycles within 10m of a public entrance. The number and location of bicycle parking meets the LUB requirements.

General

18. All sites must be kept clean of all construction waste and all other waste (the "debris") by removing or containing the debris in a manner satisfactory to the Development Authority.
19. Failure to keep the sites clean of debris is an offence under Our Zoning Blueprint. The Peace Officers may issue offence tickets to any person who has committed or is committing an offence respecting this infraction and may be subject to the following penalties:
 - a. First Offence – a written warning or a stop work order shall be issued, and a bin will be required onsite;
 - b. Second Offence (on same lot) – a minimum fine of \$1,000.00 and a stop work order shall be issued;

Development Permit Notice of Decision

Date of Decision: March 3, 2023

Permit Number: 2022-286

- c. Third (and Subsequent) offence(s) (on same lot) – a minimum fine of \$5,000.00 and a stop work order shall be issued.
20. The owner shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.
21. The Applicant shall ensure that consideration be given to controlling noise, dust and traffic on the site in addition to establishing reasonable hours of operation. Bylaw 642-05 states that between 2300 hours of one day and 0700 hours of the next day Monday through Friday, 2200 hours of one day and 0800 hours on Saturdays, and 2200 hours of one day and 0900 hours on Sundays and statutory holidays, operate an engine or motor-powered machine used for snow removal, gardening, landscaping or on lawns, in such a manner as to create undue noise.
22. The Applicant agrees to clean the roads where care and attention has not been taken by the contractor, at the direction of the Director of Infrastructure.
23. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to waterandwastewater@beaumont.ab.ca. This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
24. The owner shall obtain all Federal, Provincial and local permits as they apply to this project.
25. The owner shall be responsible for any engineering and legal costs incurred by the City related to this project.
26. Civil Drawing *6302 Dansereau Way Re-issue for Dev. Permit Rev 2 2023.02.24* meets the City of Beaumont requirements and is accepted by the engineering department.

Fire Department

27. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.
28. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.

PRIOR TO ANY WORK COMMENCING ON THE SITE:

Construction Permit and Letter of Credit:

29. A Letter of Credit in the amount of 100% of the construction costs for landscaping shall be provided prior to building permit issuance, with such costs to include hard landscaping features such as brick pavers,

Development Permit Notice of Decision

Date of Decision: March 3, 2023

Permit Number: 2022-286

shale, concrete curbing, sidewalks, patios, paved approaches including culvert and rip rap, fencing and painted lines for parking stalls.

50% of the landscaping security shall be released after planting and the remaining balance to be released once an inspection of the site has demonstrated to the satisfaction of the Development Authority that the landscaping has been well maintained and is in healthy condition two growing seasons after the issuance of the Construction Completion Certification.

30. A Construction Permit and a Letter of Credit equal to 25% of the construction costs shall be submitted to the City of Beaumont PRIOR TO ANY construction commencing on the site for the following:
- any pre-grading of the site including stripping, grubbing, etc.
 - the cost of the work to be undertaken on municipal property, including but not limited to underground servicing and accesses.

The above noted securities will be returned upon completion, with no deficiencies as confirmed by Engineering and upon completion and receipt of as-built record drawings.

31. Prior to securing the Letters of Credit for this project, the Applicant shall provide cost estimates for approval by the Manager, Engineering Services.
32. The initial term of the Letter of Credit shall be one year. The Letter of Credit shall be renewed by the owner 30 days prior to expiry; must contain an automatic renewal clause; and, allow for partial draws by Beaumont.
33. The Applicant shall maintain comprehensive liability insurance in the amount of \$5 million as it relates to this project, for the duration of both phases of the project. A copy of the Certificate of Insurance must be provided, and Beaumont shall be named on same.

Failure to comply with any of the preceding conditions will render this permit null and void.

Additional Information

- This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the *Alberta Safety Codes Act* and any other applicable bylaws or regulations.
- Applicable Plumbing, Electrical and Gas permits can be applied for through Superior Safety Codes.
- This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed

Development Permit Notice of Decision

Date of Decision: March 3, 2023

Permit Number: 2022-286

Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.

4. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
5. The General Contractor will require a Contractor's License with the City and it allows all sub-trades to work on this site without requiring their own business license.

Permit Notification Information

In accordance with the City of Beaumont Land Use Bylaw 944-19, notice regarding this Development Permit has been published on our website, only.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:

Yasmin Sharp
Senior Development Planner
780-243-0552
Yasmin.sharp@beaumont.ab.ca

Appeal Information

Permitted Uses may not be appealed unless the provisions of the Land Use Bylaw were relaxed, varied, or misinterpreted. If you have reason to appeal this Development Permit or any of the above conditions on these grounds, you may submit an appeal to the Secretary of the Subdivision Development and Appeal Board (SDAB) within 21 days of the date the decision was made, noted above.

To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at legislative@beaumont.ab.ca. Appeals must be filed no later than 4:30 p.m. on the date indicated above.

DANSEREAU MEADOWS MIXED-USE

6302 DANSEREAU WAY, BEAUMONT, AB
 PLAN 182 3366, BLOCK 25, LOT 201



ARCHITECTURAL DRAWING LIST

SHEET NO:	SHEET NAME:
DP-0.00	COVER SHEET
DP-1.00	OVERALL SITE PLAN
DP-2.00	OVERALL MAIN FLOOR PLAN
DP-2.01	OVERALL 2ND FLOOR PLAN
DP-2.02	OVERALL 3RD FLOOR PLAN
DP-2.03	OVERALL ROOF PLAN
DP-3.00	OVERALL BUILDING ELEVATIONS
DP-4.00	BUILDING SECTIONS
DP-4.01	BUILDING SECTIONS

Approved: March 3, 2023
Permit No: 2022-286

City of Beaumont
Development Officer:
Yasmin Sharp

THIS DRAWING MUST NOT BE SCALED.

THE CONTRACTOR SHALL VERIFY ALL LEVELS, DATUMS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL NON-COMFORMANCE MUST BE REPORTED TO RIDDELL KURCZABA ARCHITECTURE ENGINEERING INTERIOR DESIGN LTD. IMMEDIATELY.

ANY REVISIONS TO THE DOCUMENTS OR CHANGES PRIOR TO, DURING, OR AFTER CONSTRUCTION THAT ARE DONE WITHOUT WRITTEN AUTHORIZATION FROM RIDDELL KURCZABA ARCHITECTURE ENGINEERING INTERIOR DESIGN LTD. WILL NOT BE THE RESPONSIBILITY OF RIDDELL KURCZABA ARCHITECTURE ENGINEERING INTERIOR DESIGN LTD.

THIS DRAWING, IN ALL FORMS, ELECTRONIC OR HARD COPY IS THE EXCLUSIVE PROPERTY OF RIDDELL KURCZABA ARCHITECTURE ENGINEERING INTERIOR DESIGN LTD. AND MUST NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

ALL ARCHITECTURAL COMPONENTS WILL BE ENGINEERED AND INSTALLED BY THE RESPECTIVE SUPPLIERS & TRADES SO AS TO CONFORM WITH REQUIRED ANCHORAGE AND SEISMIC RESTRAINT AS PER ALL LOCAL CODES.

COPYRIGHT ©

NO.	DATE	BY
1	18 04 22	LS
2	08 07 22	LS
3	11 16 22	TF
4	01 11 23	TF

DEVELOPMENT PERMIT NO: _____ BUILDING PERMIT NO: _____

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**



CONNECT CREATE STAND-OUT



DEVELOPMENT PERMIT

DANSEREAU MEADOWS

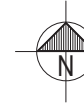
6302 DANSEREAU WAY
 BEAUMONT, ALBERTA

DRAWN BY: LISA S. REVISION BY: TRACY F.
 DATE: 16-NOV-22
 SCALE: 1/2" = 1'-0"

COVER SHEET

BOOK: 4 PROJECT NO: 22-521

DP-0.00



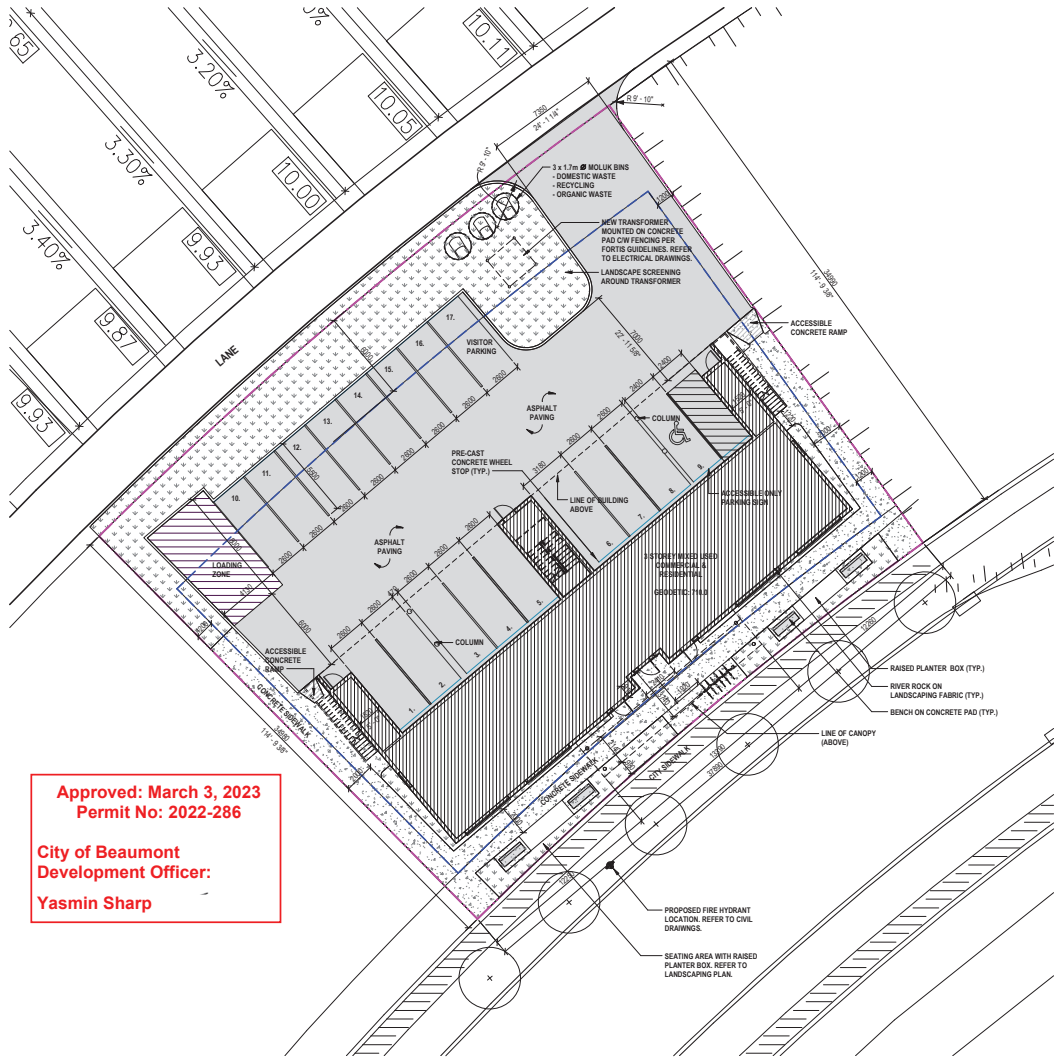
THIS DRAWING MUST NOT BE SCALED.

THE CONTRACTOR SHALL VERIFY ALL LEVELS, DATUMS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL NON-COMFORMANCE MUST BE REPORTED TO RIDDELL KURCZABA ARCHITECTURE ENGINEERING INTERIOR DESIGN LTD. IMMEDIATELY.

ANY REVISIONS TO THE DOCUMENTS OR CHANGES PRIOR TO, DURING OR AFTER CONSTRUCTION THAT ARE DONE WITHOUT WRITTEN AUTHORIZATION FROM RIDDELL KURCZABA ARCHITECTURE ENGINEERING INTERIOR DESIGN LTD. WILL NOT BE THE RESPONSIBILITY OF RIDDELL KURCZABA ARCHITECTURE ENGINEERING INTERIOR DESIGN LTD.

THIS DRAWING, IN ALL FORMS, ELECTRONIC OR HARD COPY IS THE EXCLUSIVE PROPERTY OF RIDDELL KURCZABA ARCHITECTURE ENGINEERING INTERIOR DESIGN LTD. AND MUST NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

ALL ARCHITECTURAL COMPONENTS WILL BE ENGINEERED AND INSTALLED BY THE RESPECTIVE SUPPLIERS & TRADES SO AS TO CONFORM WITH REQUIRED ANCHORAGE AND SEISMIC RESTRAINT AS PER ALL LOCAL CODES.



CITY OF BEAUMONT - DEVELOPMENT ANALYSIS

DEVELOPMENT STATISTICS:

LEGAL DESCRIPTION: PLAN 182 3366, BLOCK 25, LOT 201
 MUNICIPAL ADDRESS: 6302 DANSEREAU WAY
 PROPOSED USE OF BUILDING: MIXED USE - COMMERCIAL & RESIDENTIAL
 LAND USE DISTRICT: INTEGRATED NEIGHBORHOOD DISTRICT (IN)
 ZONING: I-2
 NUMBER OF STOREYS: 3 STOREYS

SETBACKS:

PRINCIPAL FRONTAGE SETBACK: 3.0m MINIMUM
 SIDE YARD SETBACK: 1.2m MINIMUM TO 4.0m MAXIMUM
 REAR YARD SETBACK: 1.2m MINIMUM
 SIDE ABUTTING ROADWAY: 2.4m MINIMUM

TOTAL SITE AREA: 15,320.09 sq. ft. (1,423.3 sq. m)
TOTAL BUILDING AREA: 5,409.81 sq. ft. (502.6 sq. m)
TOTAL LOT COVERAGE: 35.3% (MAX. 55%)
TOTAL MAIN FLOOR AREA: 3,019.08 sq. ft. (280.48 sq. m)
TOTAL SECOND FLOOR AREA: 4,266.72 sq. ft. (395.39 sq. m)
TOTAL THIRD FLOOR AREA: 3,994.82 sq. ft. (371.13 sq. m)
TOTAL FLOOR AREAS COMBINED: 11,280.62 sq. ft. (1,048 sq. m)

MAX FLOOR AREA RATIO: 1.2
FLOOR AREA RATIO: TOTAL AREA / TOTAL SITE AREA = 0.736

PARKING REQUIREMENTS:

TOTAL ASPHALT AREA = 7,950 sq. ft.
PARKING LOT COVERAGE = 7,950 sq. ft. / 15,320 sq. ft. = 49%

EDUCATION (MAIN FLOOR):
 2 STALL PER 100 sq. m OF LOT COVERAGE
 240 sq. m OF EDUCATION = 5 PARKING STALLS

RESIDENTIAL (SECOND & THIRD FLOOR):
 1 STALL PER UNIT OVER 75 sq. m

6 UNITS OVER 75 sq. m = 6 PARKING STALLS

1 VISITOR STALL
 1 LOADING ZONE
TOTAL STALLS REQUIRED: 14
TOTAL STALLS PROVIDED: 17

BIKE STORAGE:
 REQUIRED: 6
 PROVIDED: 6

HEIGHT:
 MAX HEIGHT: 13m
 PROPOSED HEIGHT: 12.7m

BUILDING IS NOT OF COMBUSTIBLE CONSTRUCTION
 BUILDING IS REQUIRED TO BE SPRINKLERED (WITH AS OCCUPANCY)
 SINGLE STAGE FIRE ALARM

SITE LEGEND:

- PROPERTY LINE
- SETBACK LINE

Approved: March 3, 2023
 Permit No: 2022-286

City of Beaumont
 Development Officer:
 Yasmin Sharp

1 SITE PLAN
 DP-1.00 SCALE: 1:100

DEVELOPMENT PERMIT

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**



CONNECT CREATE STAND-OUT



DANSEREAU MEADOWS

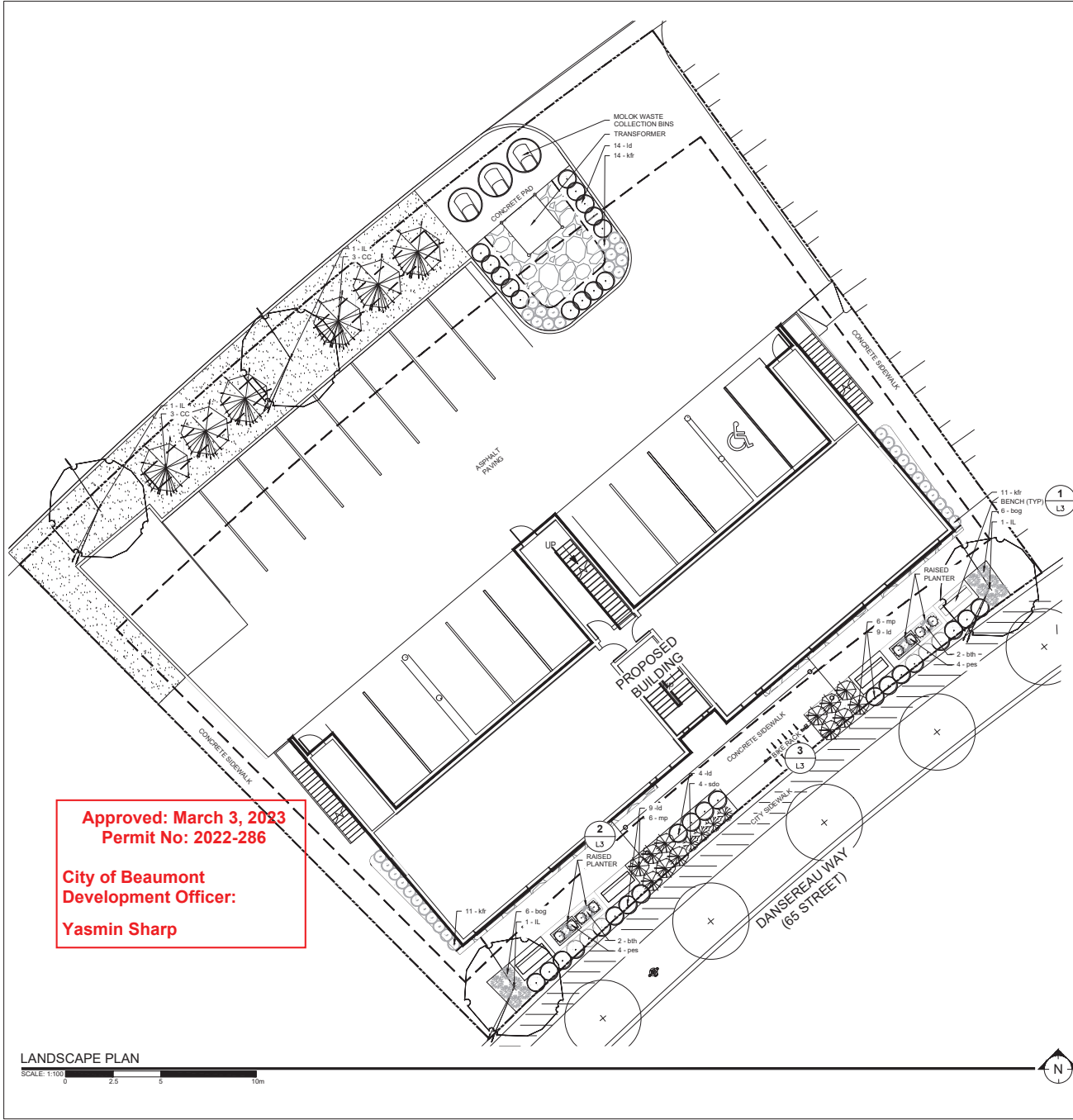
6302 DANSEREAU WAY
 BEAUMONT, ALBERTA

DRAWN BY: LISA S.
 REVISIONS BY: TRACY F.
 DATE: 16-NOV-22
 SCALE: As indicated

OVERALL SITE PLAN

Issue: 4 PROJECT NO: 22-521

DP-1.00



Approved: March 3, 2023
Permit No: 2022-286

City of Beaumont
Development Officer:
Yasmin Sharp



KEY PLAN



SCALE:
 NOT TO SCALE

ZONING:
 INTEGRATED NEIGHBORHOOD DISTRICT

LEGAL LAND DESCRIPTION:
 LOT 201, BLOCK 25

MUNICIPAL ADDRESS:
 N.W. 1/4 SECTION 34-60-24 W4M
 BEAUMONT, AB

LANDSCAPE REQUIREMENTS

3 Trees & 5 Shrub required for lots less than 2500 m ²	
Total Site Area (m ²)	1,423.28
Total Landscape Area (m ²)	245.82
Proposed	
Deciduous Trees	4
Coniferous Trees	6
Deciduous Shrubs	36
Coniferous Shrubs	12
Perennials	64

LEGEND

- SOD ON 150mm DEPTH TOPSOIL. SOD TO BACK OF CURB AND EDGE OF SIDEWALKS. ENSURE SMOOTH TRANSITION WITH ADJACENT SURFACES. QTY: 135.90 m² 3 L2
- 100mm DEPTH FIR HEMLOCK BARK MULCH ON 350mm DEPTH TOPSOIL TO BE PLACED LEVEL WITH ADJACENT SURFACES. CROWN IN CENTER OF PLANTING BED. QTY: 87.30 m² 1 L3
- 100mm DEPTH, 40mm Ø LIMESTONE ROCK MULCH INSTALLED WITH HD LANDSCAPE FABRIC WITH AN OVERLAP OF 500mm. QTY: 25.15 m²
- PROPERTY LINE
- SETBACK
- ALUMINUM EDGER
- TREE PLANTINGS 1 L2
- SHRUB PLANTINGS 2 L2
- BOULEVARD TREES

PLANT LIST

Key	Qty	Common Name	Botanical Name	Size	Remarks
TREES					
DECIDUOUS					
IL	4	Ivory Silk Tree Lilac	<i>Syringa reticulata 'Ivory Silk'</i>	50mm cal.	W.B single leader/ specimen
CONIFEROUS					
CC	6	Columnar Blue Colorado Spruce	<i>Picea pungens 'Fastigiata'</i>	2000mm ht.	W.B single leader/ specimen
SHRUBS					
DECIDUOUS					
ld	36	Little Devil Ninebark	<i>Physocarpus opulifolius 'Dona May'</i>	450-600m m ht.	container/ specimen
CONIFEROUS					
mp	12	Mops Mugo Pine	<i>Pinus mugo 'Mops'</i>	450-600m m spr.	container/ specimen
PERENNIALS					
bth	4	Bronze Veil Tufted Hair Grass	<i>Deschampsia cespitosa 'Bronzeschlier'</i>	2 year pot	600mm O.C
bog	12	Blue Oat Grass	<i>Helictotrichon sempervirens</i>	2 year pot	600mm O.C
kfr	36	Karl Foerster Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	2 year pot	600mm O.C
sds	4	Stella de Oro Daylily	<i>Hemerocallis 'Stella de Oro'</i>	2 year pot	600mm O.C
pes	8	Purple Emperor Stonecrop	<i>Sedum 'Purple Emperor'</i>	2 year pot	600mm O.C

No	Rev	Description	Date	By
00	00	Issued for Review	27/06/22	RJ
01	01	Issued for Development Permit	30/08/22	RJ
02	02	Reissued for Development Permit	28/11/22	RJ

Jones
LANDSCAPE ARCHITECTURE

47 Greenwich Crescent, St Albert, AB
 Tel (587) 983-3498
 Email ryan@jonesla.ca

Seal

ALBERTA ONE-CALL
 1-800-242-3447

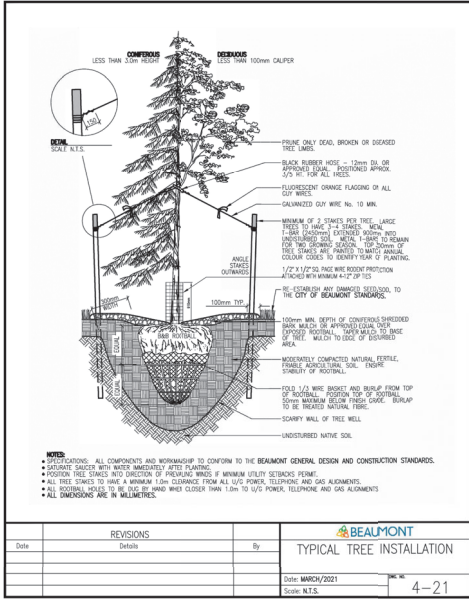
DANSEREAU
MIXED-USE

BEAUMONT, ALBERTA

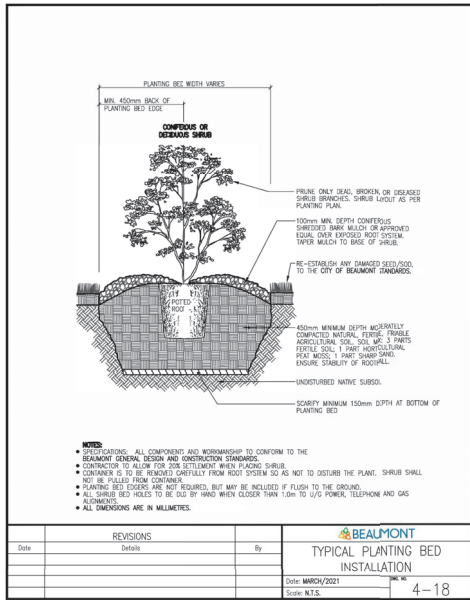
Drawing
LANDSCAPE PLAN

Scale: AS NOTED Job No.:
 Date: 2022-11-28 Drawn by: VM
 Checked by: RJ Designed by: RJ

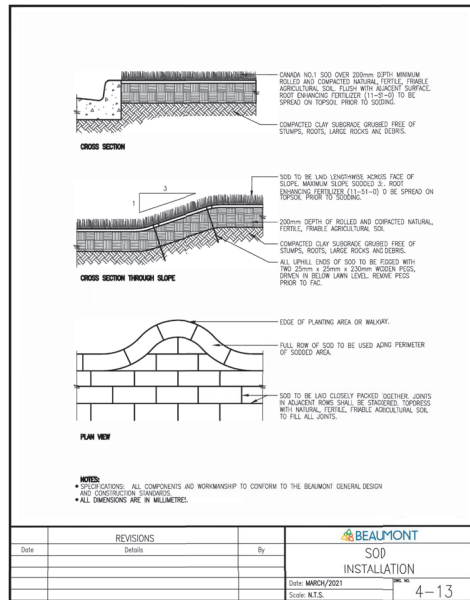
L1
 Sheet Number 02
 Revision



1 TYPICAL TREE INSTALLATION
L2 NOT TO SCALE



2 TYPICAL PLANTING BED INSTALLATION
L2 NOT TO SCALE



3 SOD INSTALLATION
L2 NOT TO SCALE

GENERAL NOTES

- Refer to Town of Beaumont General Construction Standards in its latest edition.
- 1.0 SOIL
 - 1.1 Contractor to submit soil samples to be used for the intended project to a professional Agronomist for analysis and recommendations. Analysis to be submitted to consultant for review prior to construction.
 - 2.0 PLANT MATERIAL
 - 2.1 All plant material is to be nursery grown stock and shall meet or exceed the horticulture standards of the "Guide Specifications for Nursery Stock" of the Canadian Nursery Trades Association for size, height, spread, grading, quality and method of cultivation.
 - 3.0 MULCHES
 - 3.1 The consultant will inspect all mulch prior to installation. If requested, a mulch sample must be provided by the contractor to the consultant for approval prior to site installation.
 - 3.2 Wood mulch to be free of insects & disease, branches, leaves, shavings, sawdust, weeds, and stones.
 - 4.0 LANDSCAPE ARCHITECT REVIEW REQUIREMENTS
 - 4.1 Recommended approvals by landscape architect:
 - A) rough grade prior to commencement of work
 - B) plant bed excavation
 - C) finished grade before tree/ shrub planting.
 - D) plant material at source.
 - E) bed and planting layout.
 - F) completed construction (substantial completion).
 - G) spring warranty inspection-first year.
 - H) spring warranty inspection-second year.
 - I) final inspection.
 - 5.0 WARRANTY AND MAINTENANCE PERIOD
 - 5.1 Following issuance of substantial completion, the warranty and maintenance period shall be:
 - two (2) years for sod
 - two (2) years for plant material
 - 5.2 Include regular water program to ensure survival of vegetation and winter protection for plant material. Maintain mulch beds to eliminate weed competition. Replacement of dead material will be required in the spring during the first and second years of growth.
 - 5.3 If requested, the contractor shall submit a maintenance log to the Owner and/ or landscape consultant.
 - 6.0 WATERING
 - 6.1 Contractor to water all plant material, seed and sod on-site during the two (2) year warranty and maintenance period to ensure continuous healthy growth.
 - 6.2 Contractor to supply clean fresh water, water tanker, equipment, sprinker and labour necessary to adequately and efficiently apply water to all plant material, seed and sod on-site.
 - 6.3 Contractor to monitor moisture levels of individual plants species and apply sufficient water to each plant to ensure continuous healthy growth. Apply sufficient water to obtain moisture saturation of the rootball of the plant.
 - 6.4 In late summer and again immediately prior to freeze-up water all trees well, especially coniferous material, to saturate root zone.
 - 7.0 RESTORATION REQUIREMENTS:
 - 7.1 Prevent damage to fencing, plant materials, natural features, benchmarks, buildings, pavement, curbs, culverts, and utilities, and make good any changes.
 - 7.2 All damages to the turf and sod on the public boulevard shall be repaired by the Owner/Contractor. Sod shall be laid and established prior to Construction Completion Certification (CCC)
 - 8.0 WEED CONTROL
 - 8.1 All weeds to be removed and site kept weed free between construction commencement and 2 year warranty and maintenance period.

Approved: March 3, 2023
Permit No: 2022-286

City of Beaumont
Development Officer:
Yasmin Sharp

No	Rev	Description	Date	By
00	00	Issued for Review	27/06/22	RJ
01	01	Issued for Development Permit	30/08/22	RJ
02	02	Reissued for Development Permit	28/11/22	RJ

Jones
LANDSCAPE ARCHITECTURE
 47 Greenwich Crescent, St Albert, AB
 Tel (587) 983-3498
 Email ryan@jonesia.ca

Date	REVISIONS	By	Scale

ALBERTA ONE-CALL
 1-800-242-3447

DANSEREAU
MIXED-USE

 BEAUMONT, ALBERTA

Scale:	AS NOTED	Job No.:	
Date:	2022-11-28	Drawn by:	VM
Checked by:	RJ	Designed by:	RJ
L2 Sheet Number		02 Revision	

DETAILS

URBAN FORM BACKLESS BENCH
Model Number : UFSB-5



PRODUCT SPECIFICATIONS

Perma-Deck T&G Recycled Plastic Slats
This product will not rot, splinter or warp including maintenance costs over the life of the product.
Colours Available: Black, Grey, Redwood, Sand, Walnut

Durable Powder Coated Aluminum Frame
Standard Colours: Brown Slats, Victor Ridge II, Nordic Lichen, Timeless Rust, Grey Gold, Textured Silver, Precious Sand, Grassy Red, Black Textured, Earth Clay, Noble Bronze, Modern Khaki, Flame Red, Pastel Orange, Signal Violet, Traffic Yellow, Ultramarine Blue, Water Blue, Yellow Green

Long Lasting Stainless Steel Hardware

CUSTOMIZED SOLUTIONS

Custom Powder Coating (Setup Charges May Apply)

Custom Lengths

Skate Blocks

INST-1 Stainless Steel Bolt-Down Kit

PRODUCT DIMENSIONS

Height	17.5 inches / 445 mm
Depth	16.5 inches / 419 mm
Total Length	56 inches / 1422 mm
Weight	80 lbs / 36 kg

RECYCLED CONTENT

59% RECYCLED CONTENT BY WEIGHT
100% RECYCLABLE

AVAILABLE RECYCLED LUMBER COLOURS



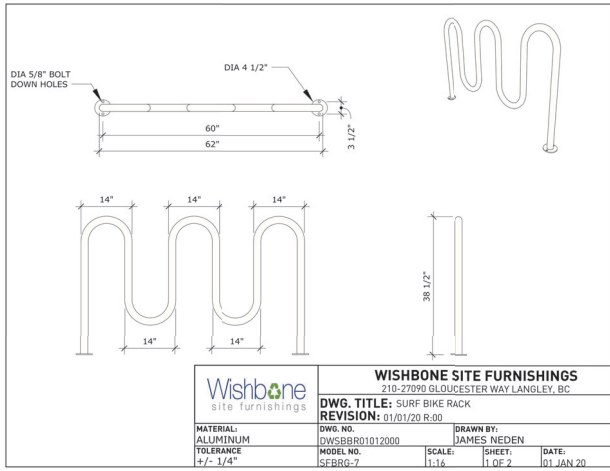
100% Canadian Made

Wishbone Ltd. provides an extended 10 year limited warranty from the date of invoice.

Visit us online at www.wishbonetd.com

Wishbone Site Furnishings | #210-27090 Gloucester Way | Langley, BC CANADA V4W 3Y5
1.866.626.0476 sales@wishbonetd.com

1 BACKLESS BENCH
L3 NOT TO SCALE



WISHBONE SITE FURNISHINGS
210-27090 GLOUCESTER WAY LANGLEY, BC

DWG. TITLE: SURF BIKE RACK
REVISION: 01/01/20 R:00

DWG. NO.	DRAWN BY:
DWSBRR01012000	JAMES NEDEN
SCALE:	DATE:
1/4"	01 JAN 20
SHEET:	
1 OF 2	

3 BIKE RACK
L3 NOT TO SCALE

URBAN FORM SELF WATERING RECTANGULAR PLANTER
Model Number : UFSW-5BR



PRODUCT SPECIFICATIONS

Perma Deck T&G Recycled Plastic Slats
This product will not rot, splinter, or warp including maintenance costs over the life of the product.
Colours Available: Black, Grey, Redwood, Sand, Walnut

Durable Powder Coated Aluminum Frame
Standard Colours: Brown Slats, Victor Ridge II, Nordic Lichen, Timeless Rust, Grey Gold, Textured Silver, Precious Sand, Grassy Red, Black Textured, Earth Clay, Noble Bronze, Modern Khaki, Flame Red, Pastel Orange, Signal Violet, Traffic Yellow, Ultramarine Blue, Water Blue, Yellow Green

Long Lasting Stainless Steel Hardware

Drain holes

SELF WATERING FEATURES

The unique bottom feeding method produces a vibrant, healthy and colourful display of plants and flowers. Up to 80% reduction in water consumption Under normal growing conditions, planters only need to be filled 1-2 times a month depending on the site location. This saves you time and maintenance dollars while conserving water and dramatically reducing your carbon footprint. Overflow drain ensures optimized watering levels

PRODUCT DIMENSIONS

Length:	58.5 inches / 148mm
Width:	30.5 inches / 775mm
Height:	21 inches / 533mm
Weight:	212 lbs / 96kg
Reservoir Capacity:	50.15 US Gal / 189.8 L
Soil Capacity:	8.6 Cubic Feet

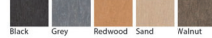
RECYCLED CONTENT

45% RECYCLED CONTENT BY WEIGHT
100% RECYCLABLE

DESIGNER NOTES

For communities looking to beautify an area and cut down on maintenance costs, the Urban Form self-watering planters the answer. Designed specifically to deal with the challenges associated with typical planters, this model saves time and money through its innovative features. The Urban Form Self-Watering Planter saves up to 80% in water consumption through a unique bottom feeding method, requiring only minimal watering in normal to dry weather conditions. The built-in overflow drain ensures the water level is perfect even in heavy rains. Like the other products in the Urban Form series, the horizontal tongue-in-groove lumber design provides a finished look and also allows for easy replacement of any board by simply removing the top edge cover. The entire unit can also be easily moved by forklift due to the slots on the underside.

AVAILABLE RECYCLED PLASTIC LUMBER COLOURS



100% Canadian Made

Wishbone Ltd. provides an extended 10 year limited warranty from the date of invoice.

Visit us online at www.wishbonetd.com

Wishbone Site Furnishings | #210-27090 Gloucester Way | Langley, BC CANADA V4W 3Y5
1.866.626.0476 sales@wishbonetd.com

2 RECTANGULAR PLANTER
L3 NOT TO SCALE

FURNITURE SCHEDULE



MODEL NAME : URBAN FORM BACKLESS BENCH
MODEL NUMBER : UFSB-5
FINISH & COLOR : RECYCLED PLASTIC - SAND
FRAME & COLOR : ALUMINUM FRAME - BLACK
SIZE (mm) : 446 x 419 x 1422
QUANTITY : FOUR (4)



MODEL NAME : URBAN FORM SELF WATERING RECTANGULAR PLANTER
MODEL NUMBER : UFSW-5BR
FINISH & COLOR : RECYCLED PLASTIC - SAND
FRAME & COLOR : ALUMINUM FRAME - BLACK
SIZE (mm) : 1486 x 775 x 533
QUANTITY : FOUR (4)



MODEL NAME : SURF BIKE RACK
MODEL NUMBER : SFBRS-5
FINISH & COLOR : ALUMINUM - BLACK TEXTURED
SIZE (mm) : 80 x 978 x 1575
QUANTITY : ONE (1)

Approved: March 3, 2023
Permit No: 2022-286

**City of Beaumont
Development Officer:
Yasmin Sharp**

No	Rev	Description	Date	By
00	00	Issued for Review	27/06/22	RJ
01	01	Issued for Development Permit	30/08/22	RJ
02	02	Reissued for Development Permit	28/11/22	RJ

Jones
LANDSCAPE ARCHITECTURE

47 Greenwich Crescent, St Albert, AB
Tel (587) 983-3498
Email ryan@jonesla.ca

Seal

ALBERTA ONE-CALL
1-800-242-3447

**DANSEREAU
MIXED-USE**

BEAUMONT, ALBERTA

Drawing

DETAILS

Scale:	AS NOTED	Job No.:	
Date:	2022-11-28	Drawn by:	VM
Checked by:	RJ	Designed by:	RJ

L3
Sheet Number

02
Revision