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## Development Permit Notice of Decision

Date of Decision: March 28, 2023

Attn: Perry Dixon/Ed Gooch  
EFG Architects Inc.  
9834 105 Street  
Edmonton, AB., T5K 1A6

**Proposed Development: Mixed Use: Retail & Service – General (2 CRUs), Office (1 Unit) and Residential (3 Units)**

**Legal Description:** Plan 8445ET, Block 1, Lot 8  
**Municipal Address:** 5007 50 Street, Beaumont, AB  
**Land Use District:** Main Street  
**Permit Number:** 2022-683  
**Tax Roll:** 000058

**Development Permit Status:** Approved with conditions

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### Development Permit Conditions

The development noted above is considered a Permitted Use within the Main Street District and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

1. The site shall be developed in accordance with the attached approved plans, issued for Development Permit No. 2023-683, dated March 28, 2023, with the exceptions and conditions as noted herein. **Any changes to the attached plans shall require prior written approval by the Development Authority.**
2. The subject property located at 5007 50<sup>th</sup> Street (Plan 8445ET, Block 1, Lot 8) shall be consolidated with the property located at 5005 50<sup>th</sup> Street (Plan 8445ET, Block 1, Lots 6 and 7) through the Land Titles Office, a record of which shall be provided to the City prior to building permit issuance.
3. Upon consolidation of Lots, all conditions relating to previously issued Development Permit No. 2019-172 shall remain in effect and compliance shall be required.
4. The Applicant shall apply for a Demolition Permit to remove the existing structure on Plan 8445ET, Block 1 Lot 8 prior to any work commencing on the site.
5. Landscaping shall be provided as shown on the attached approved plans. Hard landscaping shall be contiguous and seamlessly integrated with the public sidewalk with no grade adjustments.

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6. Lighting shall be installed in accordance with the approved attached lighting plan and details, as well as the previously approved lighting plan for Development Permit No. 2019-172, upon consolidation of Lots. Lighting shall be directed downward, and all lighting shall be compliant with International Dark-Sky Association requirements.
7. The Applicant shall enter into, and abide by, a Development Agreement with the City of Beaumont, pursuant to Section 650 of the *Municipal Government Act*. The Development Agreement shall be in a form satisfactory to the City and shall require, but is not limited to, the following:
  - a. that the Applicant shall pay a contribution towards the upgrade of the storm water management system; and
  - b. that the Applicant shall construct sidewalks and a boulevard along 50th Street in accordance with the designed setbacks and streetscape plans prepared by ISL Engineering (November 2013), the approved engineering plans, and the General Design Standards, to the satisfaction of the City; and
8. Prior to the upgrade of the storm water management system, the Applicant shall be responsible for all costs associated with the pumping out of storm water which may accumulate in the parking lot.
9. The Applicant shall provide the development authority with AutoCAD drawings to the satisfaction of the development authority and to be included with the Building Permit Application.
10. The owner/applicant shall obtain all Federal, Provincial and local permits as they apply to this project.
11. The Site shall be kept clear of all construction garbage and debris; an on-site garbage container/bin shall be required.

### **Additional Information**

1. **Prior To Any Work Commencing on the Site:**

*Construction Permit and Letter of Credit*

A Letter of Credit in the amount of 100% of the construction costs for landscaping shall be provided prior to building permit issuance, with such costs to include hard landscaping features such as brick pavers, shale, concrete curbing, sidewalks, patios, paved approaches including culvert and rip rap, fencing and painted lines for parking stalls.

50% of the landscaping security shall be released after planting and the remaining balance to be released once an inspection of the site has demonstrated to the satisfaction of the Development Authority that the landscaping has been well maintained and is in healthy condition two growing seasons after the issuance of the Construction Completion Certification.

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**Prior to any construction** commencing on the site, a Construction Permit and a Letter of Credit equal to 25% of the construction costs shall be submitted to the City of Beaumont for the following:

- a. any pre-grading of the site including stripping, grubbing, etc.
- b. the cost of work to be undertaken on municipal property, including but not limited to underground servicing and access.

The above noted securities will be returned upon completion, with no deficiencies as confirmed by Engineering and upon completion and receipt of as-built record drawings.

Prior to securing the Letters of Credit for this project, the Applicant shall provide cost estimates for approval by the Manager, Engineering & Environment.

The Letter of Credit shall have an initial term of one (1) year, shall be renewed by the owner 30 days prior to expiry, and shall:

- a. contain an automatic renewal clause; and
  - b. allow for partial draws by the City of Beaumont.
2. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
  3. It is the responsibility of the Applicant to ensure they have reviewed and understand all Instruments registered against the Title of the subject property. This includes all easements, caveats, and restrictive covenants. The City shall not address, nor enforce, any Instruments of which we have no interest in and/or are not a party to.
  4. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit shall be required.
  5. The Owner shall be responsible for reimbursement of all engineering and/or legal costs relating to this project that may be incurred by the City of Beaumont.
  6. The Applicant shall abandon existing services at main, with confirmation sign-offs being a requirement for future Demolition Permit Application. Abandonment work shall be completed under the supervision of the City of Beaumont, Public Works, with all associated costs to the City being reimbursed by the Applicant.
  7. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the Alberta Safety Codes Act and any other applicable bylaws or regulations. Three detailed, engineer approved, drawing sets of building floor plan, including Electrical, Plumbing, Gas and Mechanical schedules, shall be included with building permit application submission. **All Schedules shall be included.**

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8. The Applicant shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with, or for construction on municipal property, the Applicant shall be responsible for the cost of relocation/repair of these municipal services.
9. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to [waterandwastewater@beaumont.ab.ca](mailto:waterandwastewater@beaumont.ab.ca). This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
10. The City of Beaumont subcontracts permitting services for Plumbing, Electrical and Gas disciplines to [Superior Safety Codes](#).
11. The City of Beaumont Fire Department shall be provided with one (1) elevator key, to be used in case of an emergency.
12. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.
13. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
14. Sanitary and sewer connections for this development shall be made within the site boundaries unless otherwise approved by the Manager, Engineering & Environment in accordance with the General Design Standards of the City of Beaumont.
15. A storm drainage plan shall be prepared for approval by the Manager, Engineering & Environment. The storm water system should be designed to control storm water flow to a level that would be expected from a residential development of equivalent size.
16. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to [waterandwastewater@beaumont.ab.ca](mailto:waterandwastewater@beaumont.ab.ca). This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
17. Separate sign permit applications will be required for any on-site signage.

### **Permit Notification Information**

In accordance with the City of Beaumont Land Use Bylaw 944-19, notice regarding this Development Permit has been published on our website, only.



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### **Appeal Information**

Permitted Uses may not be appealed unless the provisions of the Land Use Bylaw were relaxed, varied, or misinterpreted. If you have reason to appeal this Development Permit or any of the above conditions on these grounds, you may submit an appeal to the Secretary of the Subdivision Development and Appeal Board (SDAB) within 21 days of the date the decision was made, noted above.

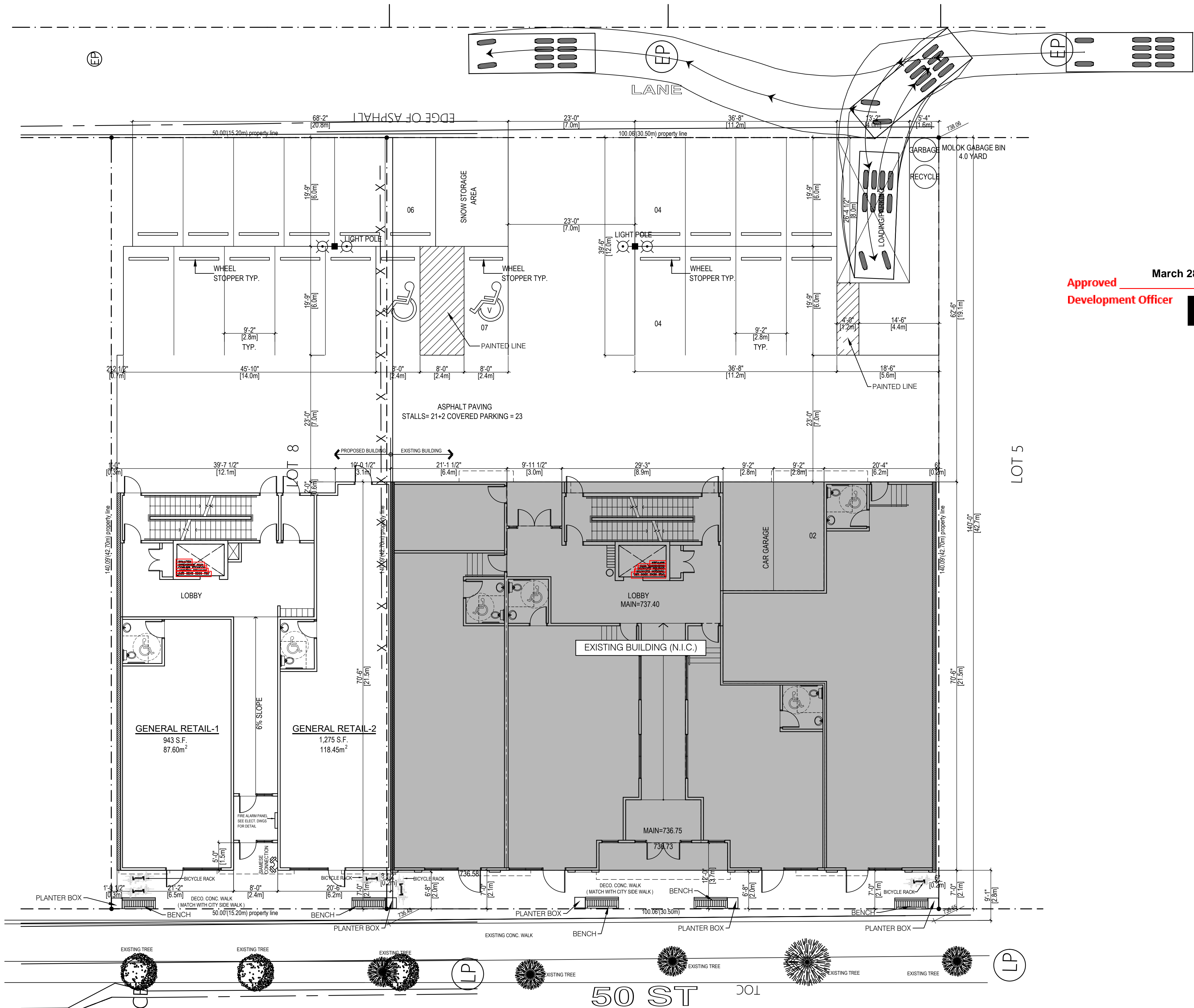
To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at [legislative@beaumont.ab.ca](mailto:legislative@beaumont.ab.ca). Appeals must be filed no later than 4:30 p.m. on the date indicated above.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Patricia Lauzé  
Development Officer  
780-235-8786  
[Patricia.Lauze@Beaumont.ab.ca](mailto:Patricia.Lauze@Beaumont.ab.ca)

cc: Curtis Doblanko, Director, Finance  
Kendra Raymond, Director, Planning & Development  
Jennifer Niesink, Director, Economic Development  
Jay Melvin, Director, Protective Services & Fire Chief  
Punam Grewal, Manager, Engineering & Environment  
Joannes Wong, Manager, Long Range Planning  
Shawn Hipkiss, Manager, Current Planning  
Aleshia Ingram, Senior Development Planner  
Charles Conroy, Development & Engineering Coordinator  
Ellen Feron, Operations Facility Administrative Assistant  
Troy Birtles, Accurate Assessment  
Kate Alexander, Leduc Public Health



Approved **March 28, 2023**  
 Development Officer [Redacted]

**ADDRESS**  
 5007 50 STREET  
 BEAUMONT, ALBERTA

**LEGAL DESCRIPTION**  
 LOT - 8 BLOCK - 1  
 PLAN - 8445 ET

**SITE AREA**  
 TOTAL AREA: 7,000 S.F. = 650.32m<sup>2</sup>  
 = .160 ACRE

**ZONING MS**

**UNITS COUNT**  
 1 BEDROOM - A = 01 ( 478 S.F. = 40.40m<sup>2</sup> )  
 2 BEDROOM - B = 01 ( 1,025 S.F. = 95.22m<sup>2</sup> )  
 2 BEDROOM - B1 = 01 ( 1,025 S.F. = 95.22m<sup>2</sup> )

TOTAL = 03  
**C.R.U. COUNT**  
 C.R.U.-1 = 01 943 S.F. = ( 87.60m<sup>2</sup> )  
 C.R.U.-2 = 01 (1,275 S.F. = 118.45m<sup>2</sup> )

TOTAL = 02  
**OFFICE AREA**  
 OFFICE = 01 3,422 S.F. = ( 317.91m<sup>2</sup> )

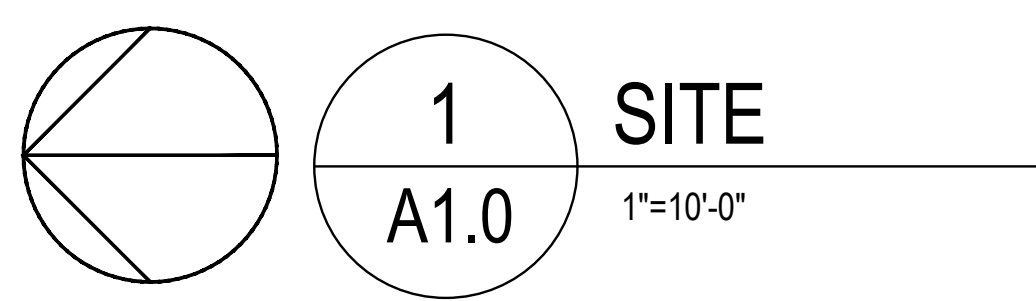
**BUILDING AREA**  
 MAIN = 3,398 S.F. = 315.68m<sup>2</sup>  
 SECOND = 3,422 S.F. = 317.91m<sup>2</sup>  
 THIRD = 3,422 S.F. = 317.91m<sup>2</sup>  
 TOTAL = 10,242 S.F. = 951.50m<sup>2</sup>

**SITE COVERAGE**  
 MAIN = 3,398 S.F. = 48.54%  
 SITE = 7,000 S.F.

**F.A.R.**  
 BUILDING AREA = 10,242 S.F.  
 SITE = 7,000 S.F. = 1.46

**PARKING**  
 PARKING PROVIDED  
 TOTAL SURFACE PARKING = 21.00  
 EXISTING PARKING = 17  
 PROPOSED PARKING = 04  
 BICYCLE PARKING = 06

**LEGEND**  
 X EXISTING GRADE(m)  
 X NEW GRADE(m)  
 LP LIGHT POLE  
 NFH ( NEW FIRE HYDRANT )



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 THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED OR ADVISED IN WRITING BY THE CONSULTANT.  
 THIS DRAWING SUPERSEDES PREVIOUS ISSUES.

Client

Consultants

ISSUED FOR DP

**STRONG BUILT MIXED USE ADDITION**

Project Address:  
 5007 50 STREET  
 BEAUMONT, ALBERTA

Issued: \_\_\_\_\_

Project No. Version:  
 EG1188 V7

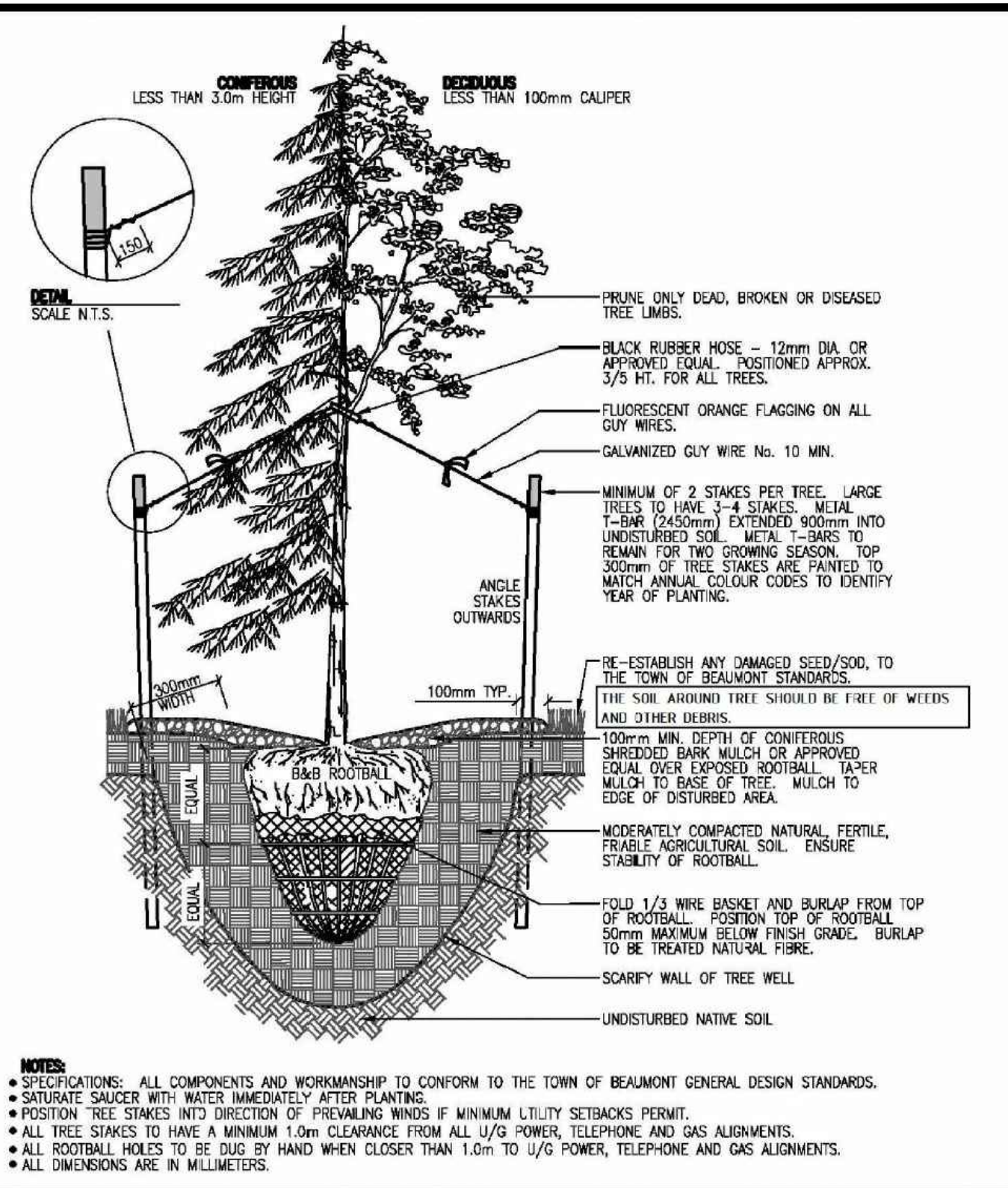
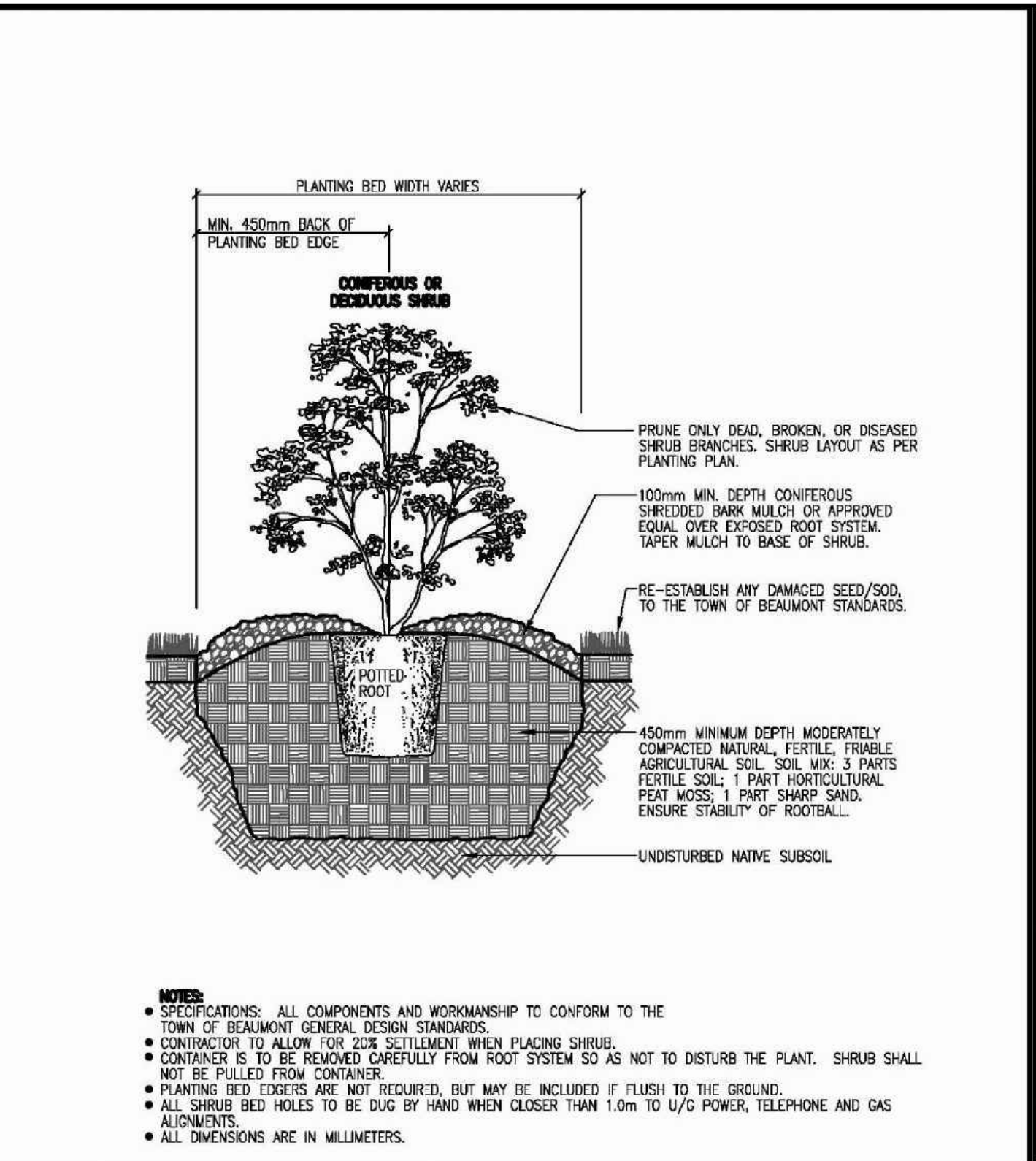
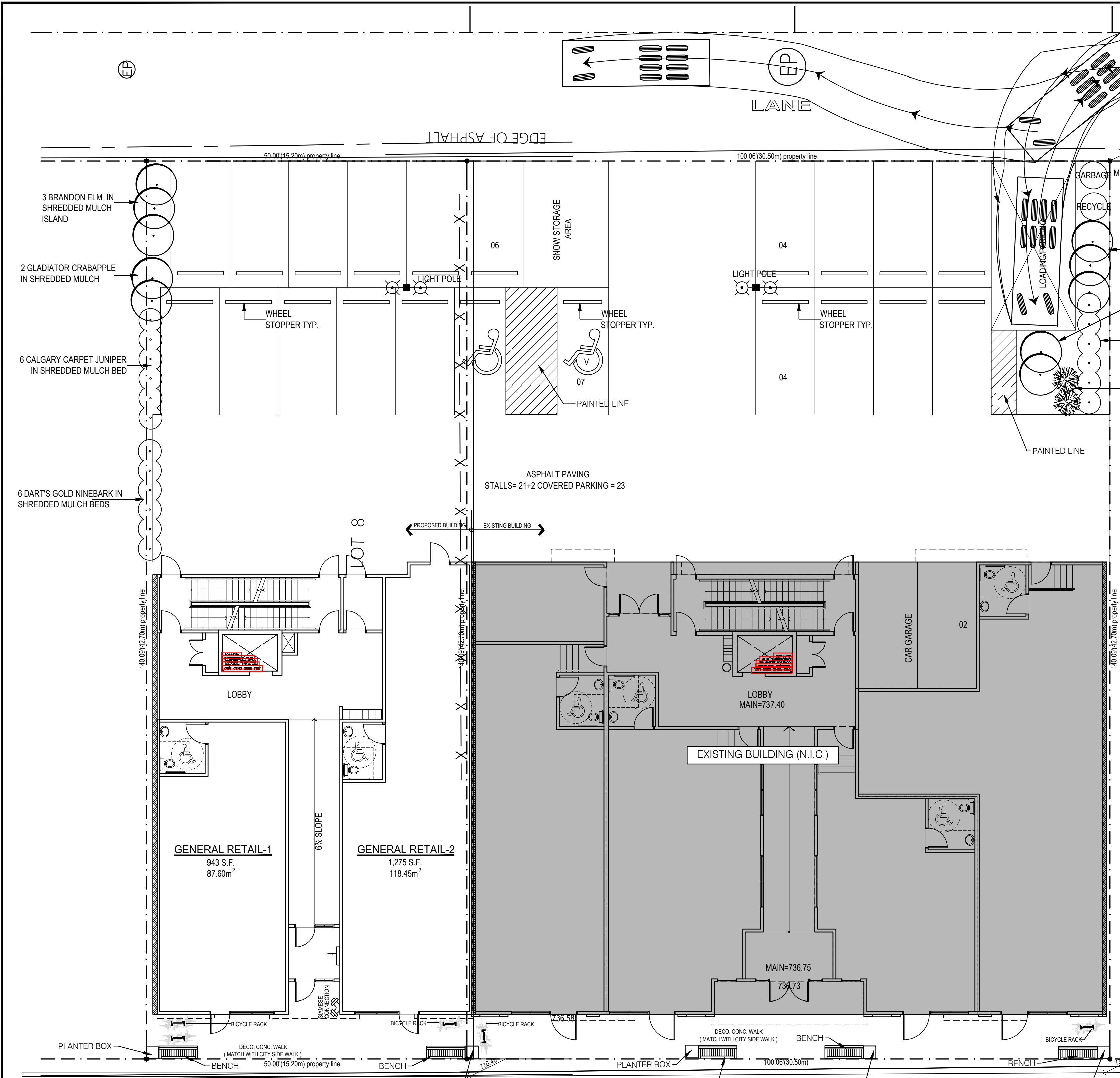
Date  
 03/12/2023

Drawing Title

SITE PLAN

Drawing No. A1.0





REVISIONS	DATE	DETAILS	BY

TYPICAL PLANTING BED INSTALLATION	DWG. NO.
Approved: C.L. Checked: S.E. Date: DEC., 2010   Scale: N.T.S.   Drawn: T.M.	10-15 TOWN OF BEAUMONT DESIGN

REVISIONS	DATE	DETAILS	BY

TYPICAL TREE INSTALLATION	DWG. NO.
Approved: C.L. Checked: S.E. Date: DEC., 2010   Scale: N.T.S.   Drawn: T.M.	10-18 TOWN OF BEAUMONT DESIGN

**2 PLANTING BED INSTALLATION**  
 N.T.S.

**3 TREE INSTALLATION**  
 N.T.S.

**PLANTING SCHEDULE**

TOTAL	BOTANICAL NAME	COMMON NAME	COMMENTS
<b>DECIDUOUS TREES</b>			
3	ULMUS AMERICANA BRANDON	BRANDON ELM	65 mm CAL. MIN. 4.0m HT. MIN. B & B
<b>CONFEROUS TREES</b>			
2	PINUS CONTORTA LATIFOLIA	LOGPOLE PINE	3.0m HT. MIN. B & B
<b>DECIDUOUS SHRUBS</b>			
06	PHYSOCARPUS OPULIFOLIUS	DART'S GOLD NINEBARK	50 cm HT. MIN. 5 MAJOR BASAL BRANCHES 2 GAL. POT
<b>CONFEROUS SHRUBS</b>			
06	JUNIPERUS SABRINA	CALGARY CARPET JUNIPER	75 cm SPREAD. MIN. 5 MAJOR BASAL BRANCHES 5 GAL. POT

**PLANTING NOTES**

CONTRACTOR TO NOTIFY CONSULTANT FOR SELECTION OF ALL TREES AT LOCAL NURSERY. ALL TREES TO APPROVAL OF CONSULTANT.

PRIOR TO INSTALLATION OF TREES, THE CONTRACTOR SHALL ENSURE COORDINATION WITH ALBERTA FIRST CALL TO STAKE ALL UTILITIES. ALL PLANT MATERIAL TO HAVE REQUIRED SETBACK FROM UTILITIES. NO TREE STAKES WITHIN 1.0M OF POWER LINE.

PRIOR TO INSTALLATION OF TREES THE CONSULTANT WILL APPROVE STAKING OF ALL TREES AND TREE BEDS. CONTRACTOR TO NOTIFY CONSULTANT 48H PRIOR TO INSPECTION.

IF EXCAVATIONS ARE REQUIRED CLOSER THAN 1.0M TO UNDERGROUND POWER, PHONE, CABLE AND GAS ALIGNMENTS, HAND DIGGING UNDER THE SUPERVISION OF THE AFFECTED UTILITY IS REQUIRED.

SUBSTITUTION OF PLANT MATERIAL TO APPROVAL OF CONSULTANT. ONLY ELM GROWN IN ALBERTA WITH PROOF OF ORIGIN WILL BE ACCEPTED.

ENSURE ALL TREES HAVE A STRONG SINGLE LEADER, AND A NICE, WELL GROWN TYPICAL SHAPE.

TREES TO BE INSTALLED IN STRAIGHT LINES WHERE APPLICABLE AND WITH EQUAL SPACING BETWEEN.

**ADDRESS**  
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 BEAUMONT, ALBERTA

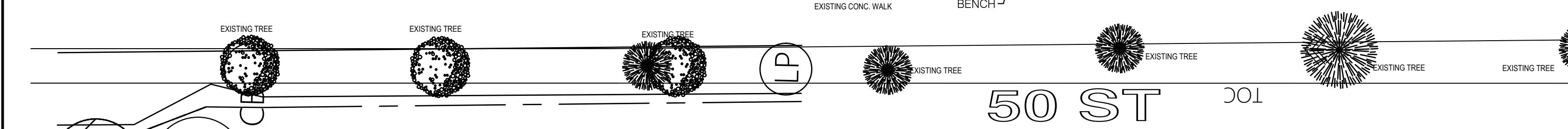
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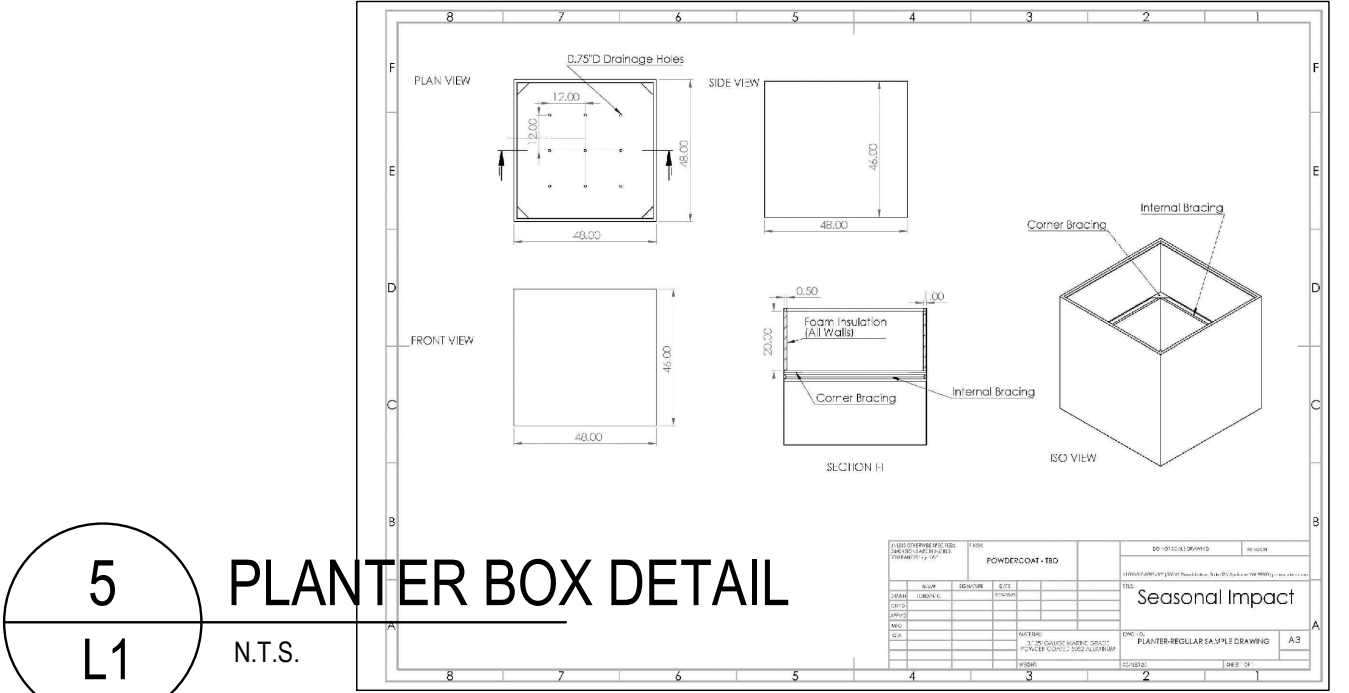
**OFFICE AREA**  
 OFFICE = 01 (3,422 S.F. = 317.91m<sup>2</sup>)



**1 LANDSCAPE PLAN**  
 1"=10'-0"



**4 BENCH DETAIL**  
 N.T.S.



**5 PLANTER BOX DETAIL**  
 N.T.S.

**PLANTING NOTES**

ALL SHRUB BEDS 450MM DEPTH SOIL MIX MINIMUM. SHRUB SETBACK SHALL BE 450MM MIN. FROM EDGE OF SHRUB BED.

MULCH: USE 75MM DEPTH SHREDDED MULCH FOR ALL TREE PLANTING AND PLANTING BEDS UNLESS OTHERWISE NOTED. NO LANDSCAPE FABRIC REQUIRED UNDER SHREDDED MULCH UNLESS OTHERWISE NOTED.

EDGING: USE PERMALOC PERMASTRIP ALUMINUM EDGING BETWEEN GRASS AND SHRUB AND PERENNIAL BEDS, AND GRASS AND ROCK MULCH. EDGING INSTALLED AS PER MANUFACTURERS INSTRUCTIONS. EDGING TO BE STRAIGHT. NO EDGING IS REQUIRED FOR TREE BEDS AND SINGLE TREES IN GRASS AREAS.

ENSURE CONTROL OF NOXIOUS WEEDS FOR ALL LANDSCAPED AREAS.

ALL LANDSCAPE CONSTRUCTION AND MAINTENANCE (ONE YEAR MINIMUM) TO BE COMPLETED BUT NOT LIMITED TO MINIMUM STANDARDS OF TOWN OF BEAUMONT DESIGN STANDARDS.

TOTAL LANDSCAPE AREA: 884SQM

Approved **March 28, 2023**  
 Development Officer

**STRONG BUILT MIXED USE ADDITION**

Project Address: 5007 50 STREET BEAUMONT, ALBERTA

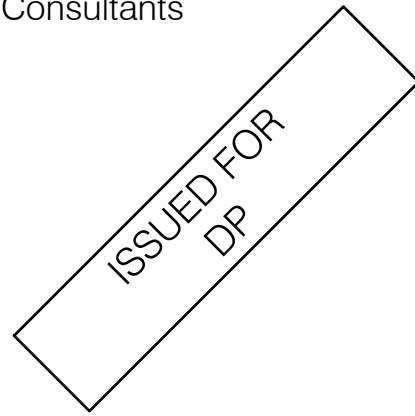
Project No. EG1188 Version: V7  
 Date: 03/12/2023  
 Drawing Title: LANDSCAPE PLAN

Issued: \_\_\_\_\_

Drawing No. \_\_\_\_\_

L1





**STRONG BUILT  
 MIXED USE ADDITION**

Project Address:  
 5007 50 STREET  
 BEAUMONT, ALBERTA

Issued:

Project No. Version:  
 EG1188 V7

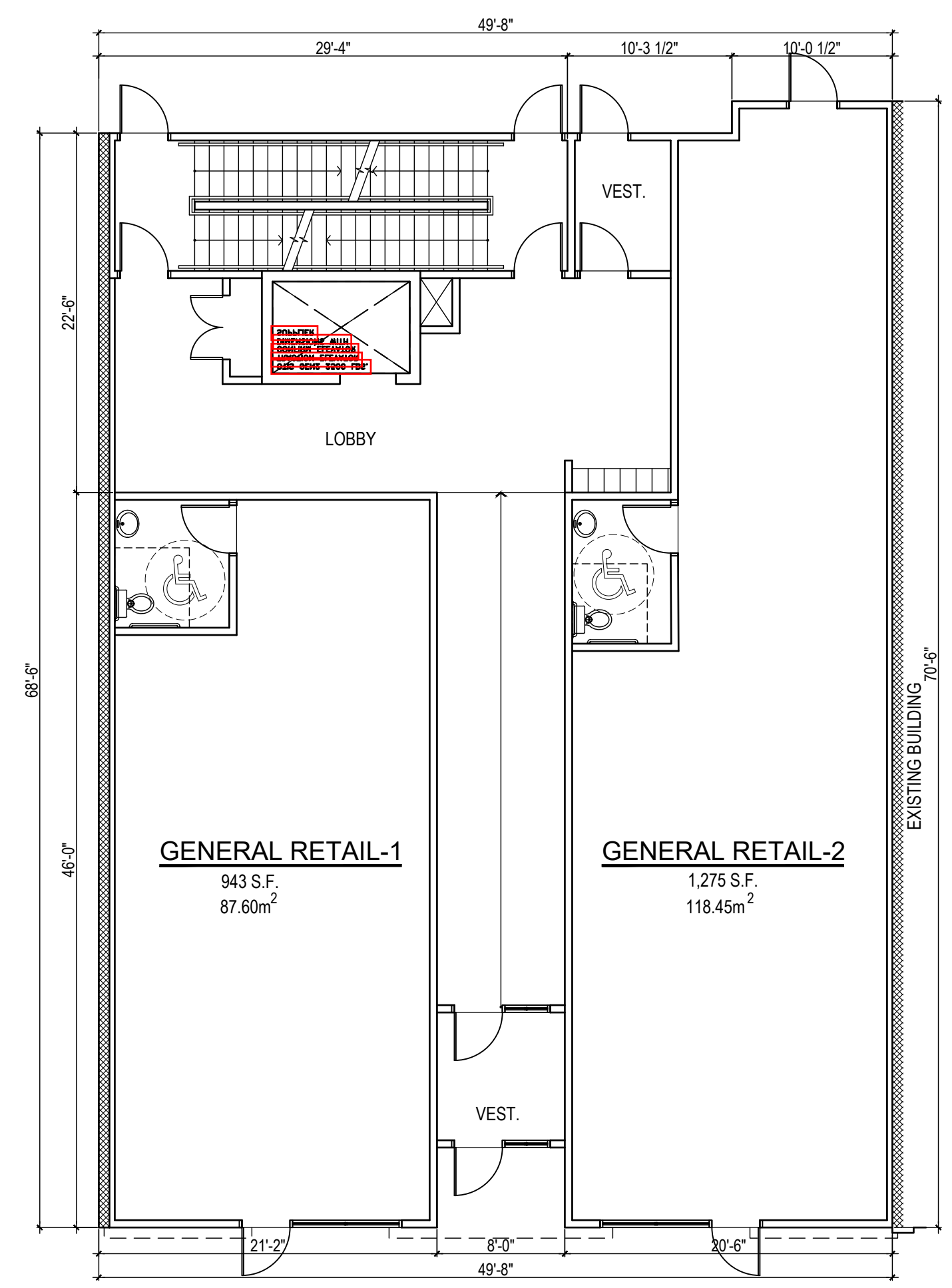
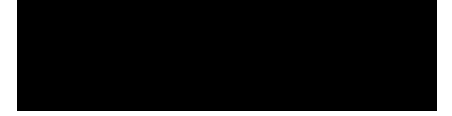
Date  
 02/15/2023

Drawing Title  
 OVERALL MAIN/  
 SECOND/THIRD  
 FLOOR

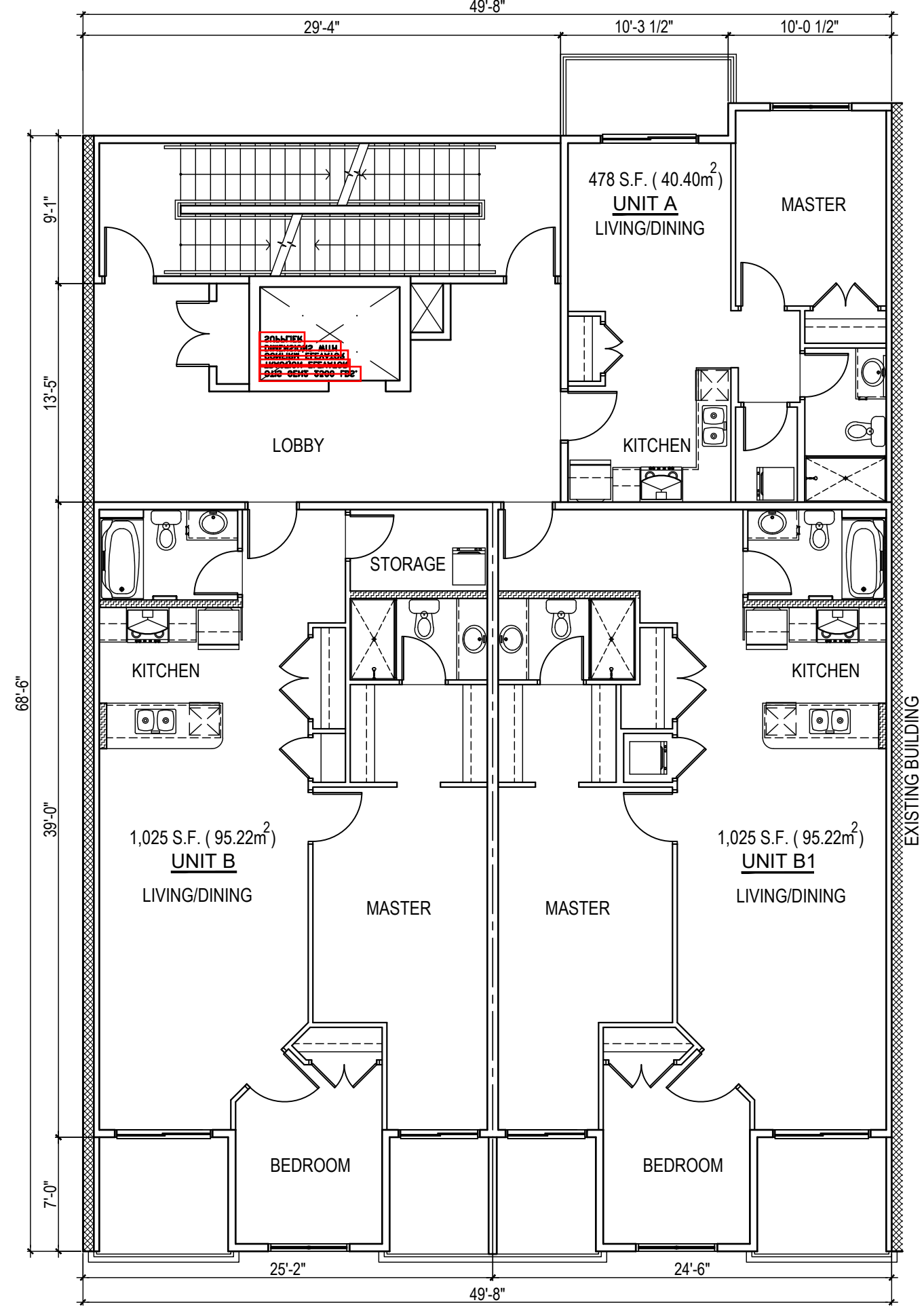
Drawing No.

A2.0

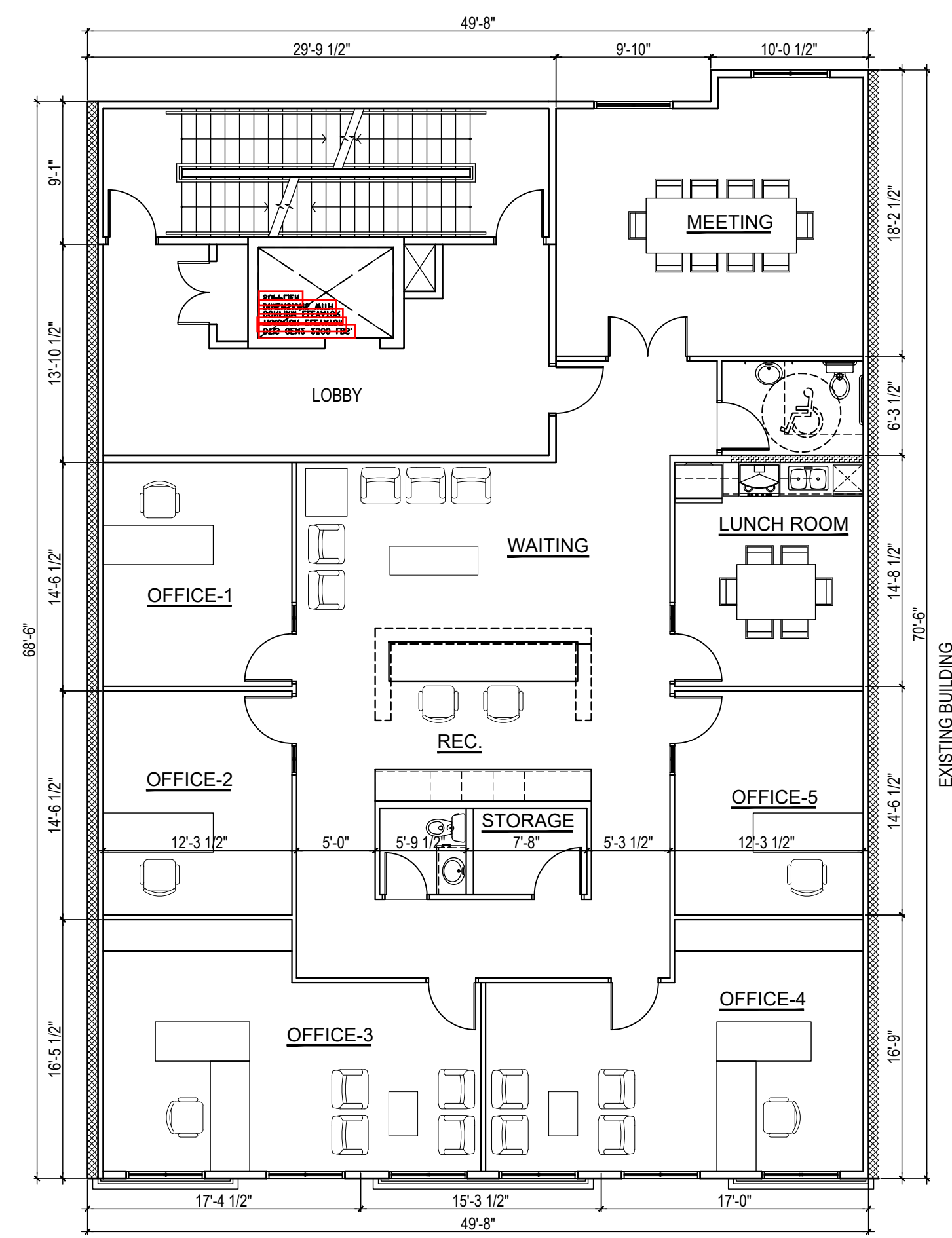
Approved March 28, 2023  
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1 OVERALL MAIN FLOOR  
 A2.0 1/8"=1'-0"



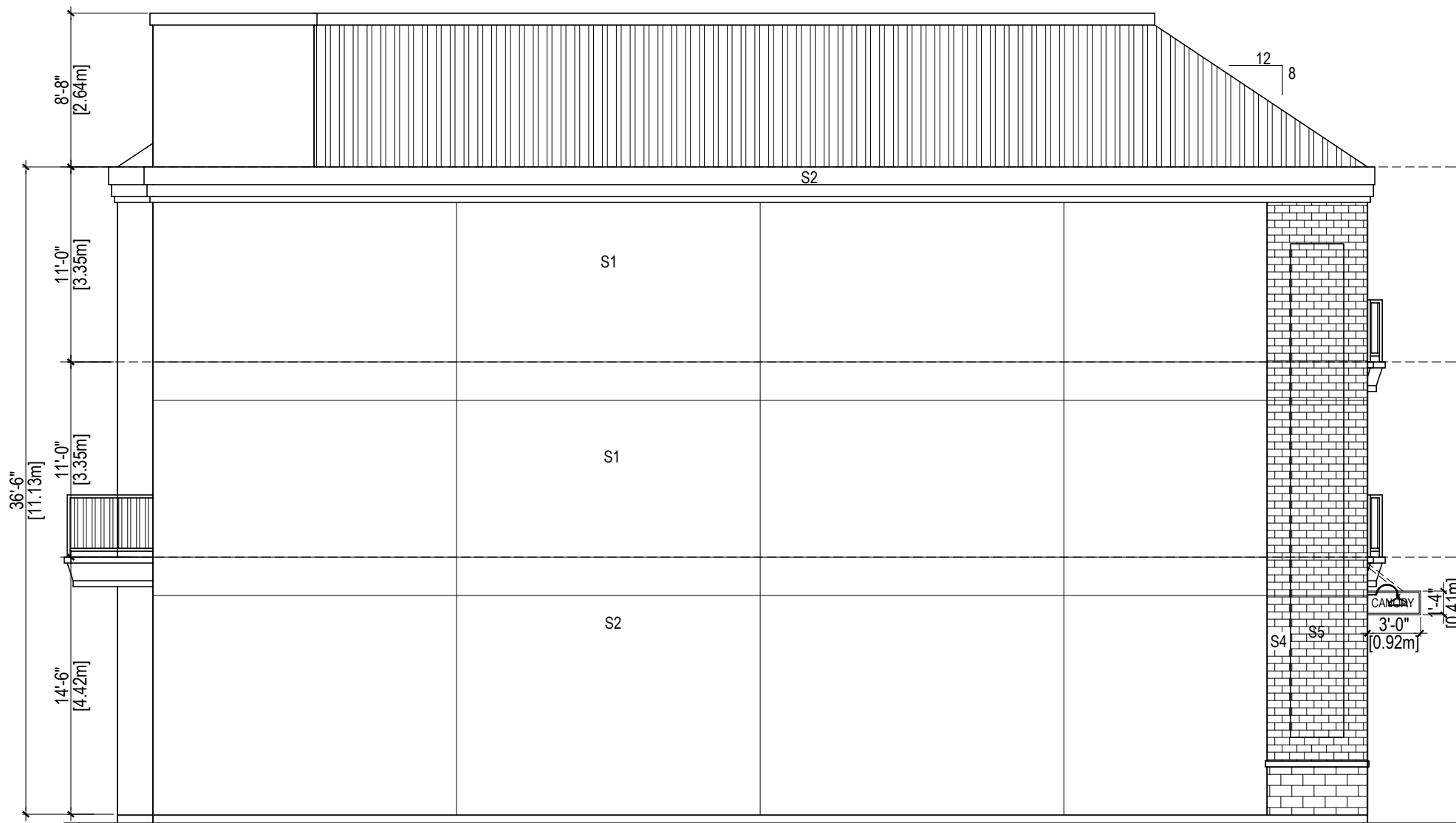
1 OVERALL SECOND FLOOR  
 A2.0 1/8"=1'-0"



1 OVERALL THIRD FLOOR  
 A2.0 1/8"=1'-0"



**1 WEST ELEVATION**  
A4.0 1/8"=1'-0"



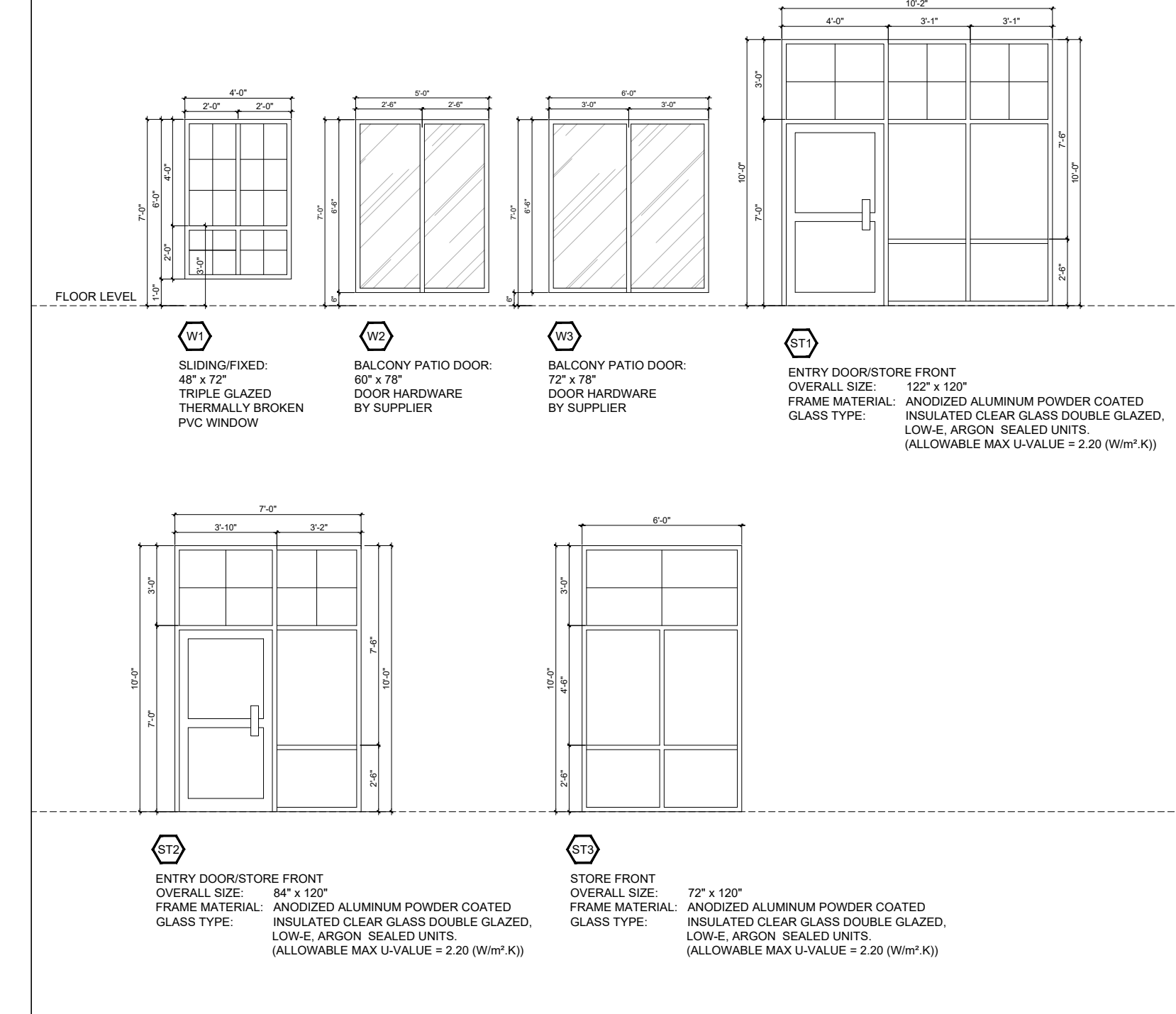
**2 NORTH ELEVATION**  
A4.0 1/8"=1'-0"



**3 EAST ELEVATION**  
A4.0 1/8"=1'-0"

Approved March 28, 2023  
Development Officer [Redacted]

**EXTERIOR WINDOW SCHEDULE ( N.T.S. )**



**EXTERIOR FINISH SCHEDULE**

SENERGY STUCCO - S1-309 BURME  
SENERGY STUCCO - S2-3104 WALTER  
WINDOW TRIM - S3- 3104 WALTER  
BRICK - S4 - IXL RED BRICK  
BRICK - S5 - IXL SEA GRAY BRICK

**NOTES:**  
METAL TRIM, RAILING & RANGOODS - BLACK PREFINISHED ALUMINUM  
METAL CANOPY - BLACK  
ALL WINDOWS TO BE BLACK ALUMINUM TO MATCH STORE FRONTS  
METAL EXIT DOORS- PAINT AS PER OWNERS SELECTION



**5 GOOSENECK LIGHT**  
A4.0 N.T.S.

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Client

Consultants

ISSUED FOR DP

**STRONG BUILT MIXED USE ADDITION**

Project Address:  
5007 50 STREET  
BEAUMONT, ALBERTA

Issued:

Project No. Version:  
EG1188 V7

Date  
03/22/2023

Drawing Title

ELEVATIONS

Drawing No.

A4.0



Seal

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**STRONG BUILT  
MIXED USE ADDITION**

Project Address:  
5007 50 STREET  
BEAUMONT, ALBERTA

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Version: V7

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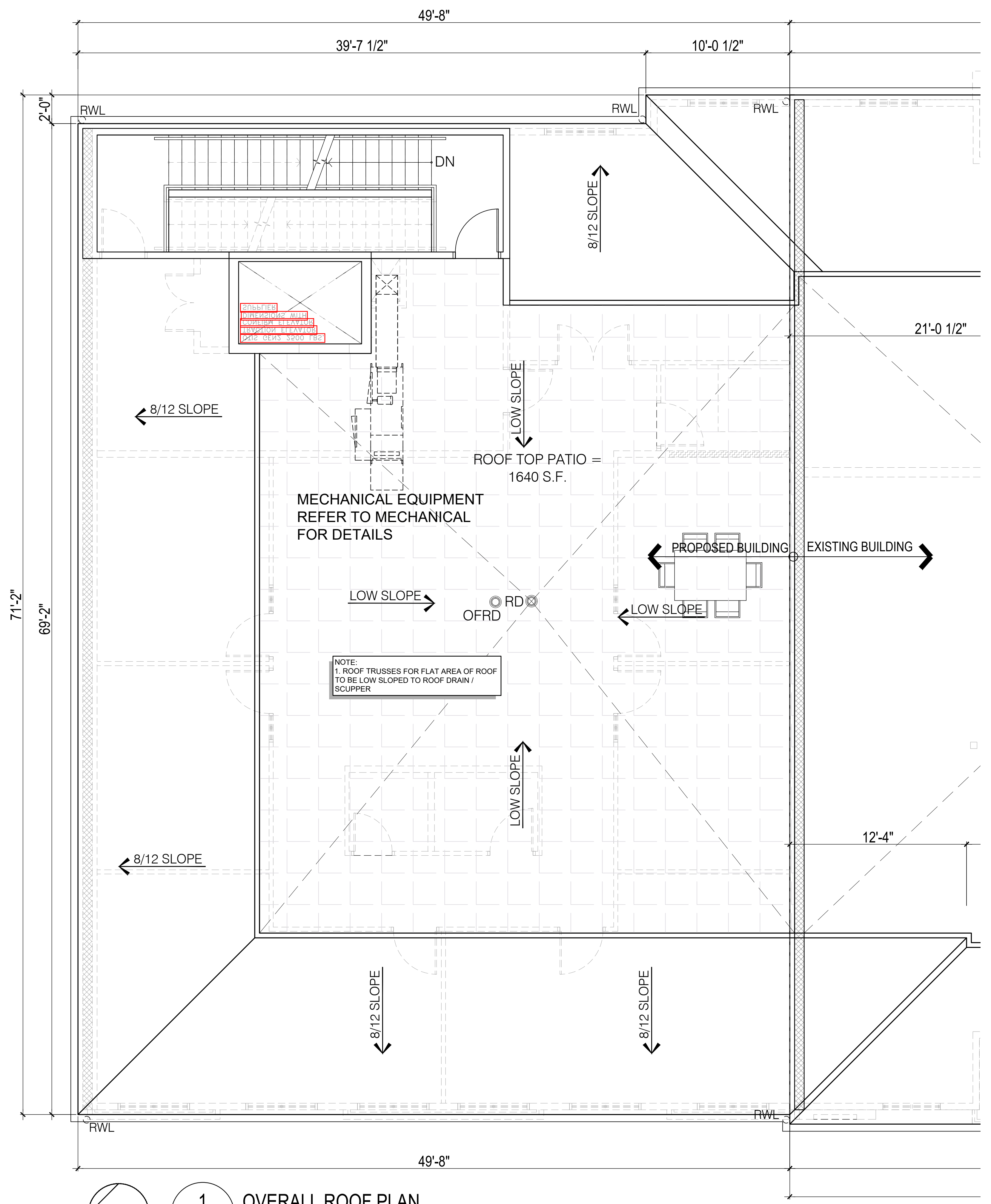
Drawing Title: OVERALL ROOF PLAN

Drawing No.

A3.0

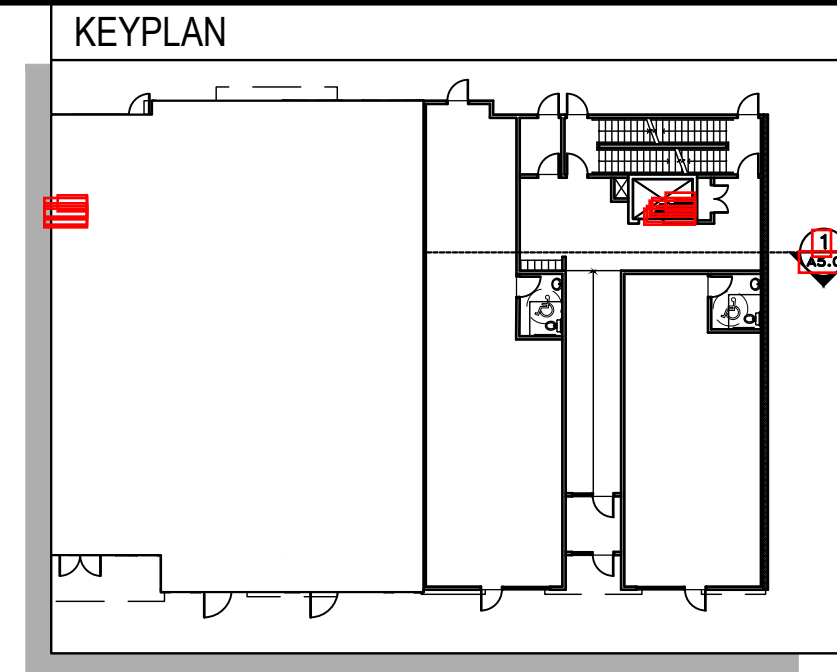
ROOF SCHEDULE	
<b>TYPICAL SLOPED ROOF - (SPRINKLER)</b>	
<b>FIRE RATING - 1HR - NBC(AE) 2019 (D-2.3.12.)</b>	
- ASPHALT SHINGLES	
- FELT	
- EXTERIOR GRADE SHEATHING (AS PER STRUCTURAL)	
- PRE-ENGINEERED WOOD TRUSSES	
- R40 BATT INSULATION	
- 6mil POLY VAPOUR BARRIER	
- 5/8" TYPE X GYPSUM CEILING BOARD	
- 5/8" TYPE X GYPSUM CEILING BOARD	
(REFER TO STRUCTURAL / TRUSS SUPPLIER FOR DETAILS)	
<b>LOW SLOPED ROOF - (SPRINKLER)</b>	
<b>FIRE RATING - 1HR - NBC(AE) 2019 (D-2.3.12.)</b>	
- 2 FLS SBS WATERPROOFING MEMBRANE	
- 1/2" FIBER ROOF BOARD	
- LOW SLOPED RIGID INSULATION (SLOPED TO DRAIN)	
- FULLY ADHERED A/V BARRIER	
- EXTERIOR GRADE SHEATHING (AS PER STRUCTURAL)	
- PRE-ENGINEERED WOOD TRUSSES	
- R40 BATT INSULATION	
- 6mil POLY VAPOUR BARRIER	
- 5/8" TYPE X GYPSUM CEILING BOARD	
- 5/8" TYPE X GYPSUM CEILING BOARD	
(REFER TO STRUCTURAL / TRUSS SUPPLIER FOR DETAILS)	
ROOF SCHEDULE NOTES	
RS1. 1 HOUR FIRE RATE ATTIC HATCHES: 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD ON 3/4" PLYWOOD SECURE IN PLACE W/ SCREWS OR LATCHES.	
RS2. PROVIDE 4-2x10 PLANK WALK-WAY IN ATTIC, MOUNTED ABOVE INSULATION CONTINUOUS FROM ATTIC ACCESS TO ATTIC ACCESS	
RS3. SADDLES: CONSTRUCT SADDLES MINIMUM SLOPE 1/12 TO DRAIN ROOF AREAS WITH LEVEL VALLEYS. FLASH SADDLES UNDER SHINGLES WITH ICE AND WATERSHIELD MEMBRANE. EXTEND 24" VERTICALLY MINIMUM ON ALL SURFACES VALLEYS AND JUNCTIONS WITH WALLS ABOVE ROOF	
RS2. DRAINAGE SLOPES SHOWN ARE APPROXIMATE. ROOFING SUPPLIERS TO PROVIDE EXACT ROOF SLOPES AND DRAIN LOCATIONS	
RS3. ALL ROOFING AND RELATED WORK TO COMPLY WITH ROOFING CONTRACTORS ASSOCIATION'S	
RS4. ALL DRAINAGE PIPES IN CEILING TO BE CAST IRON	
RS5. ALL FIRE RATED ROOFS TO BE SPRINKLERED TO NFPA 13	
RS6. ALL BATT INSULATION TO BE FULL DEPTH OF WALL CAVITY AND BE EXTENDED TO LIS OF FLOOR / ROOF DECKING (UNLESS OTHERWISE NOTED)	
RS7. COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL CONTRACTORS/ENGINEERS FOR ROOF OPENINGS AND/OR PENETRATIONS.	
RS8. PROVIDE AND INSTALL 14" HIGH PRE-MANUFACTURED INSULATED ROOF CURB BELOW ALL ROOF TOP UNITS ON ALL FOUR SIDES. INSTALL R28 MIN. RIGID EXTRUDED POLYSTYRENE INSULATION C/W VAPOUR BARRIER BELOW ALL ROOF TOP UNITS AND WITHIN ROOF CURB.	
LEGEND	
ROOF DRAIN / OVERFLOW ROOF DRAIN	
RAIN WATER LEADERS	
SLOPE OF RIGID INSULATION / TRUSSES TO ROOF DRAINS / DOWNSPOUTS	

Approved March 28, 2023  
Development Officer



1 OVERALL ROOF PLAN  
A3.0 1/4"=1'-0"

Approved **March 28, 2023**  
 Development Officer

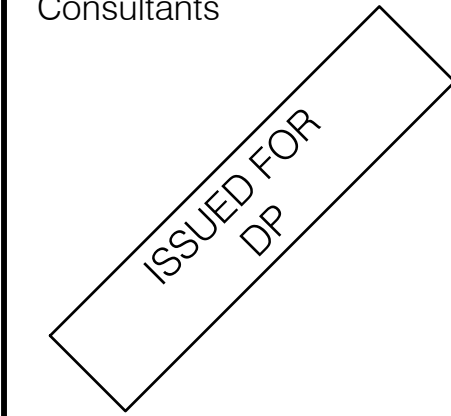


**efg**  
 architects inc.  
 9834-105 Street  
 Edmonton, AB T5K 1A6  
 Office: (780) 423-3424  
 Seal

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Client

Consultants



**STRONG BUILT  
 MIXED USE ADDITION**

Project Address:  
 5007 50 STREET  
 BEAUMONT, ALBERTA

Issued:

Project No. EG1188  
 Version: V7

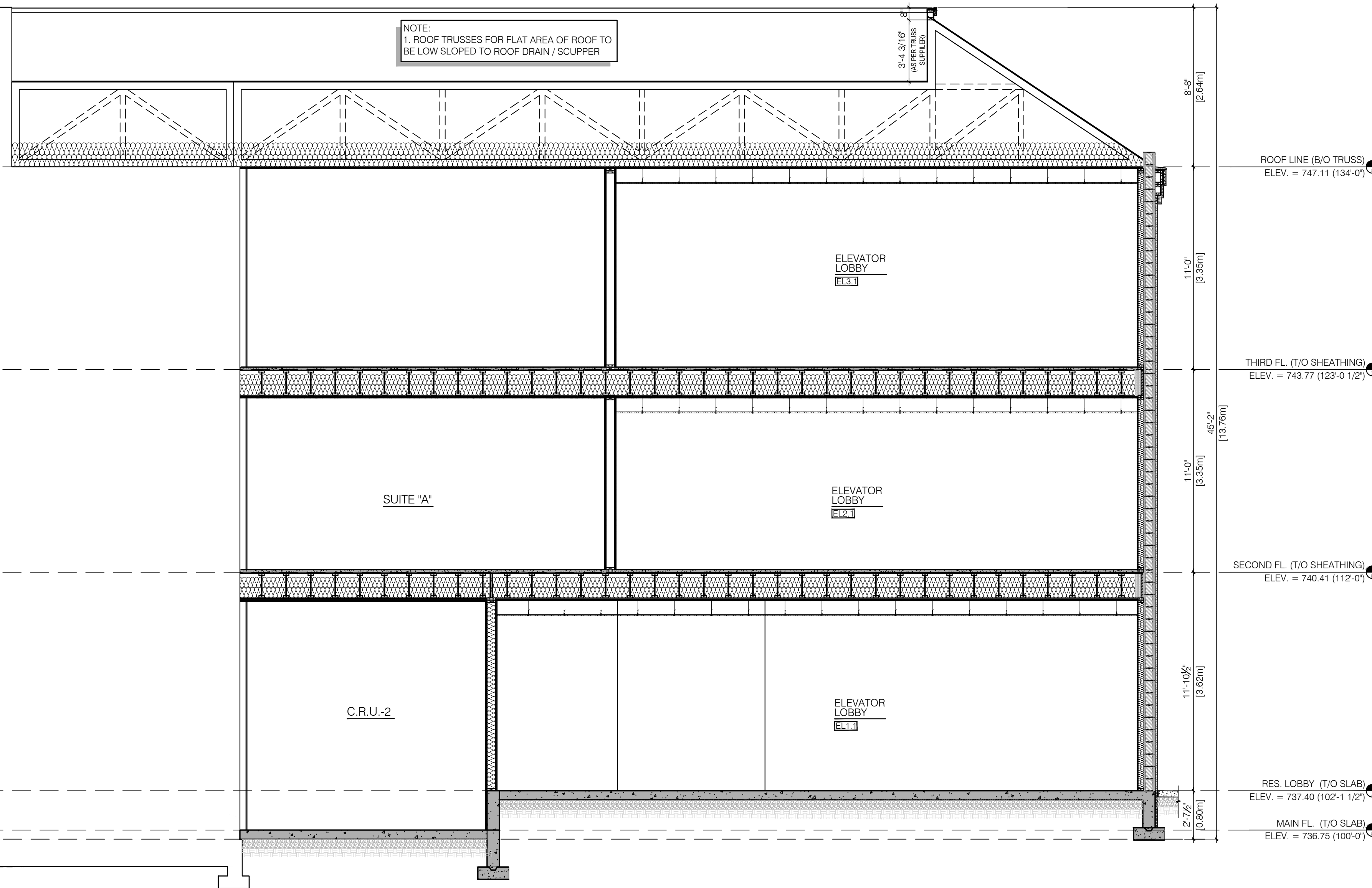
Date  
 02/15/2023

Drawing Title

CROSS SECTIONS

Drawing No.

**A5.0**



EXISTING BUILDING

**1** CROSS SECTION #1  
 A5.0 1/4" = 1'-0"



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Client

Consultants  
**TWS**  
 Engineering Ltd.  
 8919 - 75 AVENUE Phone: (780) 468-5877  
 EDMONTON, AB T5E 1J2 Fax: (780) 468-5868  
 office@twsengineering.com www.twsengineering.com

**STRONG BUILT MIXED USE ADDITION**  
 Project Address:  
 5007 50 STREET  
 BEAUMONT, ALBERTA

Issued:  
 1. 2022-DEC-13 ISSUED FOR REVIEW  
 2. 2023-MAR-20 ISSUED FOR DP

Project No.  
 22-2534-002

Date  
 10/17/2022

Drawing Title  
**SITE PLAN**

Drawing No.

**E001**

**SYMBOL LEGEND**

LIGHTING	
[Symbol]	CEILING OR WALL MTD. LUMINAIRE
[Symbol]	CEILING OR WALL RECESSED LUMINAIRE
[Symbol]	STRIP LIGHT LUMINAIRE
[Symbol]	CEILING SURFACE/SUSPENDED LUMINAIRE
[Symbol]	WALL MOUNTED LUMINAIRE
[Symbol]	RECESSED LUMINAIRE
[Symbol]	TRACK LIGHTING (HEADS AS SHOWN)
[Symbol]	SITE LIGHT LUMINAIRE (HEADS AS SHOWN)
[Symbol]	DENOTES LUMINAIRE TYPE (101)
SWITCHES	
[Symbol]	LOW VOLTAGE SWITCHES
[Symbol]	SINGLE POLE SWITCH, SINGLE GANGED
[Symbol]	SINGLE POLE SWITCH, MULTI-GANGED
[Symbol]	3=THREE WAY SWITCH/ 4=FOUR WAY SWITCH
[Symbol]	T=TIMER SWITCH/ K=KEY SWITCH
[Symbol]	SWITCH C/W NEON PILOT LIGHT
[Symbol]	DIMMER SWITCH
[Symbol]	VARIABLE SPEED SWITCH
[Symbol]	OCCUPANCY SWITCH
[Symbol]	OCCUPANCY SENSOR
[Symbol]	WALL OCCUPANCY SENSOR
AUXILIARY	
[Symbol]	MAGNETIC STARTER
[Symbol]	J=JUNCTION BOX/ T=THERMOSTAT/ H=HUMIDISTAT
[Symbol]	MOTOR
[Symbol]	DISCONNECT
[Symbol]	MOTOR WITH DISCONNECT
[Symbol]	UP / STOP / DOWN
LOW VOLTAGE	
[Symbol]	TELEPHONE OUTLET / ABOVE COUNTERTOP
[Symbol]	TELEVISION OUTLET / ABOVE COUNTERTOP
[Symbol]	DATA OUTLET/ ABOVE COUNTERTOP
[Symbol]	COMBO TELE/DATA OUTLET/ ABOVE COUNTER
[Symbol]	SPEAKER ALARM
[Symbol]	MICROPHONE
[Symbol]	CEILING SPEAKER / WALL SPEAKER
POWER / RECEPTACLE	
[Symbol]	DUPLEX RECEPTACLE
[Symbol]	DUPLEX T-SLOT RECEPTACLE/ 20AMP
[Symbol]	GFI T-SLOT RECEPTACLE/ 20AMP
[Symbol]	SPLIT RECEPTACLE
[Symbol]	WP=WEATHERPROOF/EXP=EXPLOSION PROOF
[Symbol]	4-PLEX RECEPTACLE
[Symbol]	GFI RECEPTACLE
[Symbol]	1/2 SWITCHED RECEPTACLE
[Symbol]	ISOLATED GROUND
[Symbol]	DEVICE MOUNT 6"(150mm) ABOVE COUNTERTOP
[Symbol]	CONDU-POLE (POWER & COMMUNICATIONS)
[Symbol]	SPECIAL RECEPTACLE
[Symbol]	SPLIT CAR POST
[Symbol]	CAR POST
[Symbol]	SPLIT DOUBLE CAR POST
[Symbol]	DOUBLE CAR POST
[Symbol]	FLOOR BOX (P-POWER, D-DATA, T-TELEPHONE)
EMERGENCY	
[Symbol]	CEILING OR WALL MOUNTED EXIT LIGHT
[Symbol]	WALL MOUNTED EXIT LIGHT C/W EM HEADS
[Symbol]	BATTERY PACK / BATTERY PACK C/W HEADS
[Symbol]	REMOTE EMERGENCY HEADS
FIRE ALARM	
[Symbol]	FIRE ALARM PULL STATION
[Symbol]	FIRE ALARM HORN C/W STROBE (CEILING/WALL)
[Symbol]	FIRE ALARM STROBE (CEILING/WALL)
[Symbol]	FIRE ALARM HORN (NO STROBE)
[Symbol]	MINI HORN (NO STROBE) C/W PUSHBUTTON SILENCER
[Symbol]	SPEAKER STROBE OR MINI HORN STROBE WITH SILENCER MODULE & PUSHBUTTON BELOW
[Symbol]	SILENCER MODULE C/W PUSHBUTTON
[Symbol]	SILENCER MODULE/ REMOTE PUSHBUTTON
[Symbol]	MAGNETIC DOOR HOLDER
[Symbol]	ALARM BELL
[Symbol]	FIRE ALARM SPEAKER
[Symbol]	FIRE ALARM SPEAKER/STROBE (CEILING/WALL)
[Symbol]	FIRE PHONE
[Symbol]	SMOKE DETECTOR / C=SMOKE CO COMBO
[Symbol]	D=DUCT DETECTOR/ A=SMOKE ALARM
[Symbol]	HEAT DETECTOR/ H=HIGH TEMP DETECTOR
[Symbol]	I=ISOLATION MODULE/ MM=MONITOR MODULE
[Symbol]	CONTROL RELAY
SECURITY	
[Symbol]	M=MOTION SENSOR / C=CAMERA
[Symbol]	PUSHBUTTON
[Symbol]	C=DOOR CONTACT/ MAGNETIC DOOR LOCK
[Symbol]	BUZZER WITH TRANSFORMER
[Symbol]	NUMERIC KEYPAD
[Symbol]	FOB = FOB READER / ES = ELECTRIC STRIKE
[Symbol]	EMERGENCY CALL
DISTRIBUTION / MISCELLANEOUS	
[Symbol]	MAIN DISTRIBUTION PANEL
[Symbol]	SINGLE OR DOUBLE ELECTRICAL PANEL
[Symbol]	TELEPHONE BACKBOARD
[Symbol]	METER CENTER
[Symbol]	INSIDE TRANSFORMER (KVA AS SHOWN)
[Symbol]	TRANSFORMER WITH RAILS
[Symbol]	CONDUIT RUN IN WALLS OR CEILING
[Symbol]	CONDUIT RUN IN OR UNDER FLOOR
[Symbol]	MDP MAIN DISTRIBUTION PANEL
[Symbol]	CDP SUB-DISTRIBUTION PANEL
[Symbol]	PEC PHOTO ELECTRIC CELL
[Symbol]	FAAP FIRE ALARM ANNUCIATOR PANEL
[Symbol]	FACP FIRE ALARM CONTROL PANEL
[Symbol]	NIL NIGHT LIGHT
[Symbol]	TVTC TELEVISION TERMINAL CABINET
[Symbol]	TTC TELEPHONE TERMINAL CABINET
[Symbol]	TVTB TELEVISION TERMINAL BACKBOARD
[Symbol]	TTB TELEPHONE TERMINAL BACKBOARD

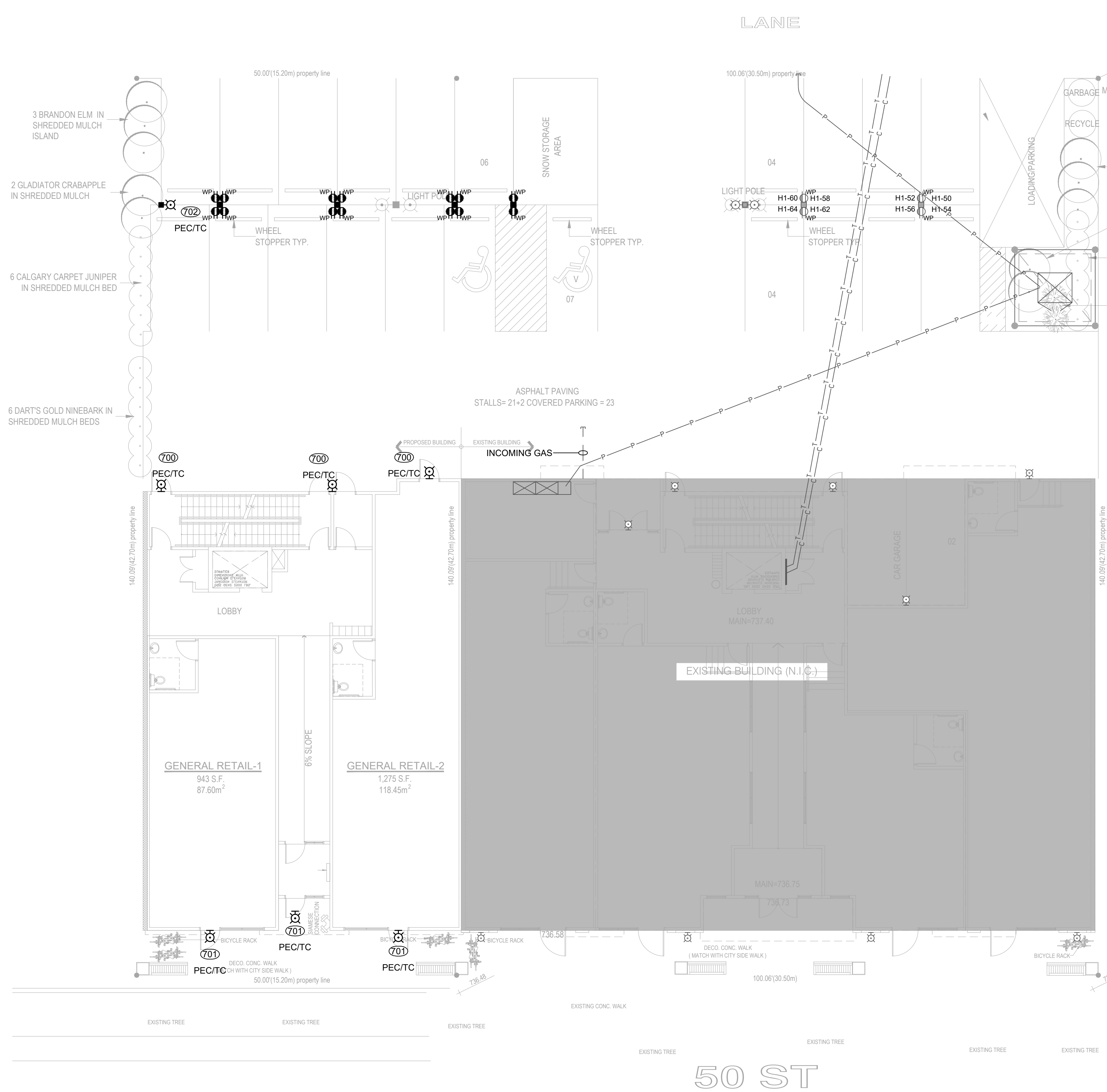
**BUILDING LOCATION**  
 CIVIC ADDRESS:  
 5007 50 STREET  
 BEAUMONT, ALBERTA

**DRAWING LIST**

E001	SITE PLAN
E201	
E202	
E203	
E204	
E301	
E401	SINGLE LINE DIAGRAM
E402	FIRE ALARM RISER
E403	COMMUNICATION RISER
E501	
E601	ELECTRICAL FIRE STOPPING
E701	
E702	

**RENOVATION LEGEND**

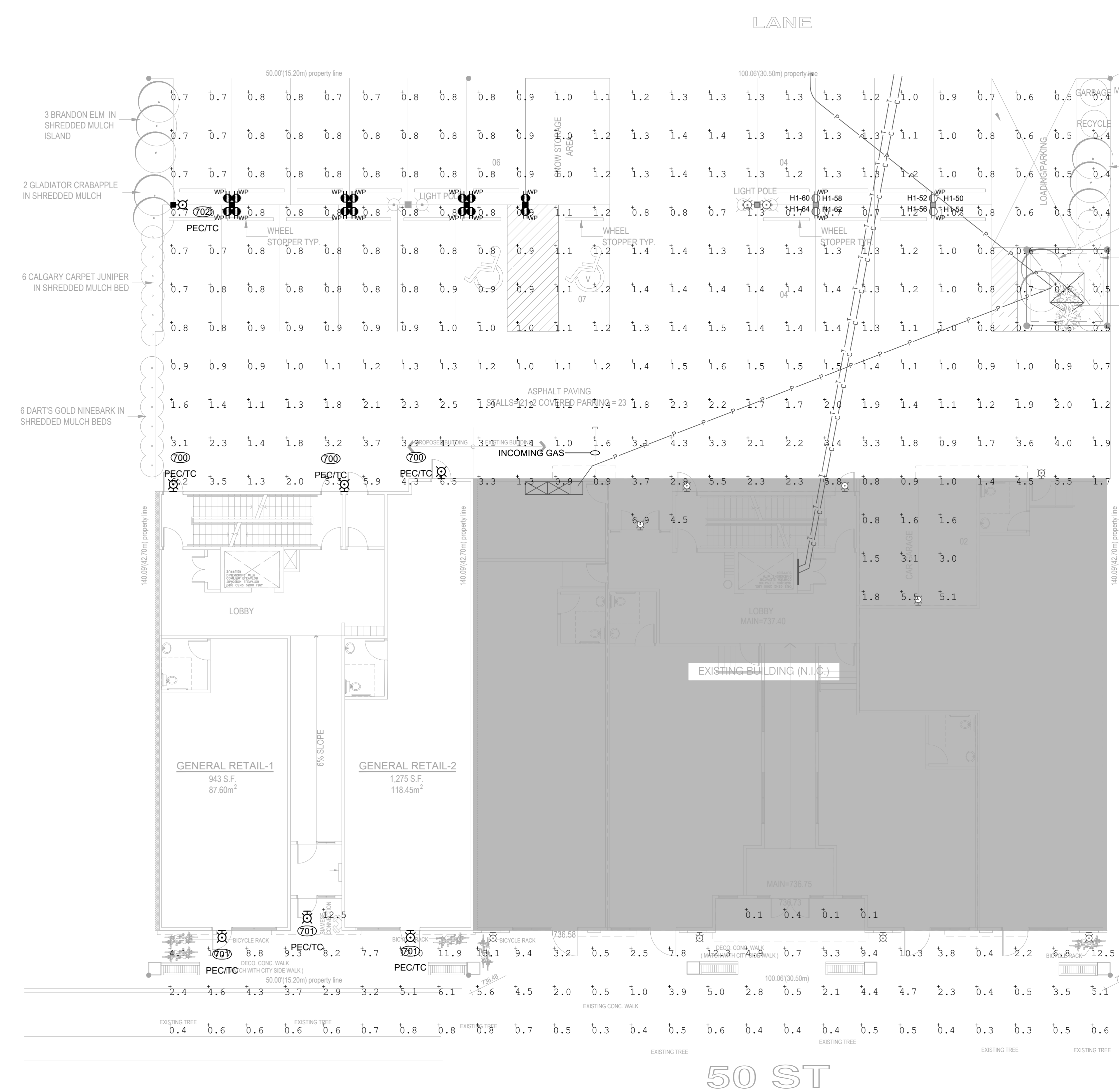
[Symbol]	<b>EXISTING TO BE REMOVED</b> FADED/DASHED DEVICE WITH OR WITHOUT "RM" INDICATES DEVICE TO BE REMOVED AND DISPOSED OF AT THE DIRECTION OF THE OWNERS REPRESENTATIVE
[Symbol]	<b>EXISTING TO BE RELOCATED</b> FADED/DASHED DEVICE WITH "RL" OR ARROW INDICATES DEVICE TO BE RELOCATED TO A NEW LOCATION
[Symbol]	<b>EXISTING TO REMAIN</b> FADED/SOLID DEVICE WITH OR WITHOUT "E" INDICATES EXISTING DEVICE TO REMAIN
[Symbol]	<b>EXISTING TO BE REPLACED</b> SOLID DEVICE WITH "RP" INDICATES EXISTING DEVICE TO BE REPLACED AT THE SAME LOCATION WITH NEW DEVICE
[Symbol]	<b>NEW DEVICE</b> SOLID DEVICE INDICATES NEW DEVICE



Approved March 28, 2023  
 Development Officer [Redacted]

**1 SITE PLAN**  
 E001 SCALE: 1"=10'-0"





Approved March 28, 2023  
Development Officer

**BUILDING LOCATION**  
CIVIC ADDRESS:  
5007 50 STREET  
BEAUMONT, ALBERTA

**DRAWING LIST**

E001	SITE PLAN
E201	
E202	
E203	
E204	
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E401	SINGLE LINE DIAGRAM
E402	FIRE ALARM RISER
E403	COMMUNICATION RISER
E501	
E601	ELECTRICAL FIRE STOPPING
E701	
E702	

**RENOVATION LEGEND**

	<b>EXISTING TO BE REMOVED</b> FADED/DASHED DEVICE WITH OR WITHOUT "RM" INDICATES DEVICE TO BE REMOVED AND DISPOSED OF AT THE DIRECTION OF THE OWNERS REPRESENTATIVE
	<b>EXISTING TO BE RELOCATED</b> FADED/DASHED DEVICE WITH "RL" OR ARROW INDICATES DEVICE TO BE RELOCATED TO A NEW LOCATION
	<b>EXISTING TO REMAIN</b> FADED/SOLID DEVICE WITH OR WITHOUT "E" INDICATES EXISTING DEVICE TO REMAIN
	<b>EXISTING TO BE REPLACED</b> SOLID DEVICE WITH "RP" INDICATES EXISTING DEVICE TO BE REPLACED AT THE SAME LOCATION WITH NEW DEVICE
	<b>NEW DEVICE</b> SOLID DEVICE INDICATES NEW DEVICE

**1 SITE PLAN**  
E001 SCALE: 1"=10'-0"

**SYMBOL LEGEND**

LIGHTING	
	CEILING OR WALL MTD. LUMINAIRE CEILING OR WALL RECESSED LUMINAIRE STRIP LIGHT LUMINAIRE CEILING SURFACE/SUSPENDED LUMINAIRE WALL MOUNTED LUMINAIRE RECESSED LUMINAIRE TRACK LIGHTING (HEADS AS SHOWN) SITE LIGHT LUMINAIRE (HEADS AS SHOWN) DENOTES LUMINAIRE TYPE (101)
SWITCHES	
	LOW VOLTAGE SWITCHES SINGLE POLE SWITCH, SINGLE GANGED SINGLE POLE SWITCH, MULTI-GANGED 3=THREE WAY SWITCH/ 4=FOUR WAY SWITCH T=TIMER SWITCH/ K=KEY SWITCH SWITCH C/W NEON PILOT LIGHT DIMMER SWITCH VARIABLE SPEED SWITCH OCCUPANCY SWITCH OCCUPANCY SENSOR WALL OCCUPANCY SENSOR
AUXILIARY	
	MAGNETIC STARTER J=JUNCTION BOX/ T=THERMOSTAT/ H=HUMIDISTAT MOTOR DISCONNECT MOTOR WITH DISCONNECT UP / STOP / DOWN
LOW VOLTAGE	
	TELEPHONE OUTLET / ABOVE COUNTERTOP TELEVISION OUTLET / ABOVE COUNTERTOP DATA OUTLET/ ABOVE COUNTERTOP COMBO TELE/DATA OUTLET/ ABOVE COUNTER SPEAKER ALARM MICROPHONE CEILING SPEAKER / WALL SPEAKER
POWER / RECEPTACLE	
	DUPLEX RECEPTACLE DUPLEX T-SLOT RECEPTACLE/ 20AMP GFI T-SLOT RECEPTACLE/ 20AMP SPLIT RECEPTACLE WP=WEATHERPROOF/EXP=EXPLOSION PROOF 4-PLEX RECEPTACLE GFI RECEPTACLE 1/2 SWITCHED RECEPTACLE ISOLATED GROUND DEVICE MOUNT 6"(150mm) ABOVE COUNTERTOP CONDU-POLE (POWER & COMMUNICATIONS) SPECIAL RECEPTACLE SPLIT CAR POST CAR POST SPLIT DOUBLE CAR POST DOUBLE CAR POST FLOOR BOX (P-POWER, D-DATA, T-TELEPHONE)
EMERGENCY	
	CEILING OR WALL MOUNTED EXIT LIGHT WALL MOUNTED EXIT LIGHT C/W EM HEADS BATTERY PACK / BATTERY PACK C/W HEADS REMOTE EMERGENCY HEADS
FIRE ALARM	
	FIRE ALARM PULL STATION FIRE ALARM HORN C/W STROBE (CEILING/WALL) FIRE ALARM STROBE (CEILING/WALL) FIRE ALARM HORN (NO STROBE) MINI HORN (NO STROBE) C/W PUSHBUTTON SILENCER SPEAKER STROBE OR MINI HORN STROBE WITH SILENCER MODULE & PUSHBUTTON BELOW SILENCER MODULE C/W PUSHBUTTON SILENCER MODULE/ REMOTE PUSHBUTTON MAGNETIC DOOR HOLDER ALARM BELL FIRE ALARM SPEAKER FIRE ALARM SPEAKER/STROBE (CEILING/WALL) FIRE PHONE SMOKE DETECTOR / C=SMOKE CO COMBO D=DUCT DETECTOR/ A=SMOKE ALARM HEAT DETECTOR/ H=HIGH TEMP DETECTOR I=ISOLATION MODULE/ MM=MONITOR MODULE CONTROL RELAY
SECURITY	
	M=MOTION SENSOR / C=CAMERA PUSHBUTTON C=DOOR CONTACT/ MAGNETIC DOOR LOCK BUZZER WITH TRANSFORMER NUMERIC KEYPAD FOB = FOB READER / ES = ELECTRIC STRIKE EMERGENCY CALL
DISTRIBUTION / MISCELLANEOUS	
	MAIN DISTRIBUTION PANEL SINGLE OR DOUBLE ELECTRICAL PANEL TELEPHONE BACKBOARD METER CENTER INSIDE TRANSFORMER (KVA AS SHOWN) TRANSFORMER WITH RAILS CONDUIT RUN IN WALLS OR CEILING CONDUIT RUN IN OR UNDER FLOOR MDP MAIN DISTRIBUTION PANEL CDP SUB-DISTRIBUTION PANEL PEC PHOTO ELECTRIC CELL FAAP FIRE ALARM ANNUCIATOR PANEL FACP FIRE ALARM CONTROL PANEL NIL NIGHT LIGHT TVTC TELEVISION TERMINAL CABINET TTC TELEPHONE TERMINAL CABINET TVTB TELEVISION TERMINAL BACKBOARD TTB TELEPHONE TERMINAL BACKBOARD

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Client

Consultants

**TWS Engineering Ltd.**  
9919 - 75 AVENUE Phone: (780) 488-9177  
EDMONTON, AB T5E 1J2 Fax: (780) 488-5366  
office@twsengineering.com www.twsengineering.com

**STRONG BUILT MIXED USE ADDITION**

Project Address:  
5007 50 STREET  
BEAUMONT, ALBERTA

Issued:  
1. 22-DEC-13 ISSUED FOR REVIEW  
2. March 17, 2023 ISSUED FOR DP

Project No.  
22-2534-002

Date  
10/17/2022

Drawing Title  
SITE PLAN

Drawing No.  
**E001**