

Development Permit Notice of Decision

Date of Decision: May 30, 2023

Attn: Tracy Froland
Arc Studio
12634 Stony Plain road NW
Edmonton, AB T5N 3N7

Proposed Development: Restaurant/Café, Restricted Substance Retail, Industrial – Light: Old
Yale Brewing Co.

Legal Description: Plan 782 1085, Block 1, Lot TBD

Municipal Address: TBD, Beaumont, AB

Land Use District: Commercial

Permit Application No: 2022-599

Tax Roll: 050034

Development Permit Status: Approved with conditions

Development Permit Conditions

The development noted above is considered a Discretionary Use within the Commercial District, and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

1. **As this permit has been issued for a discretionary use this permit shall not come into force and effect until the appeal period has expired.**
2. The site shall be developed in accordance with the attached plans issued for development permit dated May 30, 2023, with the exceptions and conditions as noted herein. **Any changes to the attached plans require prior written notice and be approved by the Development Authority.**
3. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
4. Landscaping shall be provided as shown on the attached approved plans. Hard landscaping shall be contiguous and seamlessly integrated with the public sidewalk with no grade adjustments.
5. Lighting for the building shall be provided as shown on the attached approved plans. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.
6. That the Applicant shall enter into and abide by a Development Agreement with the City of Beaumont pursuant to section 650 of the Municipal Government Act prior to the commencement of any work on the site. The Development Agreement shall be in a form satisfactory to the City and shall include but not limited to the following:
 - a. that the Applicant shall provide security in a form satisfactory to the City for all obligations under the Development Agreement, including but not limited to, pre-grading, civil works on public

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property, and hard and soft landscaping on private property in accordance with the approved civil drawings for Le Reve Commercial Parcel 7 and Commercial Road.

7. The Applicant shall provide the development authority with **AutoCAD drawings and a plan of survey** to the satisfaction of the development authority with the building permit application.
8. The owner/applicant shall obtain all Federal, Provincial and local permits as they apply to this project.

Failure to comply with any of the preceding conditions will render this permit null and void.

Additional Information

1. **Prior To Any Work Commencing on the Site:**

Construction Permit and Letter of Credit

A Letter of Credit in the amount of 100% of the construction costs for landscaping shall be provided prior to building permit issuance, with such costs to include hard landscaping features such as brick pavers, shale, concrete curbing, sidewalks, patios, paved approaches including culvert and rip rap, fencing and painted lines for parking stalls.

50% of the landscaping security shall be released after planting and the remaining balance to be released once an inspection of the site has demonstrated to the satisfaction of the Development Authority that the landscaping has been well maintained and is in healthy condition two growing seasons after the issuance of the Construction Completion Certification.

Prior to any construction commencing on the site, a Construction Permit and a Letter of Credit equal to 25% of the construction costs shall be submitted to the City of Beaumont for the following:

- a. any pre-grading of the site including stripping, grubbing, etc.
- b. the cost of work to be undertaken on municipal property, including but not limited to underground servicing and access.

The above noted securities will be returned upon completion, with no deficiencies as confirmed by Engineering and upon completion and receipt of as-built record drawings.

Prior to securing the Letters of Credit for this project, the Applicant shall provide cost estimates for approval by the Manager, Engineering & Environment.

The Letter of Credit shall have an initial term of one (1) year, shall be renewed by the owner 30 days prior to expiry, and shall:

- c. contain an automatic renewal clause; and
- d. allow for partial draws by the City of Beaumont.

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2. The Applicant shall maintain comprehensive liability insurance as it relates to this project, for the duration of both phases of the project in accordance with the Development Agreement. A copy of the Certificate of Insurance must be provided, and Beaumont shall be named on same.
3. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
4. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the *Alberta Safety Codes Act* and any other applicable bylaws or regulations.
5. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
6. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
7. A development permit is required prior to the building being occupied on the ground floor.
8. Failure to keep the sites clean of debris is an offence under Our Zoning Blueprint. The Peace Officers may issue offence tickets to any person who has committed or is committing an offence respecting this infraction and may be subject to the following penalties:
 - a. First Offence – a written warning or a stop work order shall be issued, and a bin will be required onsite;
 - b. Second Offence (on same lot) – a minimum fine of \$1,000.00 and a stop work order shall be issued;
 - c. Third (and Subsequent) offence(s) (on same lot) – a minimum fine of \$5,000.00 and a stop work order shall be issued.
9. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.
10. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.
11. The owner shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.

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12. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to waterandwastewater@beaumont.ab.ca. This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
13. The owner shall be responsible for any engineering and legal costs incurred by the City related to this project.
14. Separate sign permit applications will be required for any on-site signage.
15. It is the responsibility of the Applicant to ensure they have reviewed and understand all Instruments registered against the Title of the subject property. This includes all easements, caveats, and restrictive covenants. The City shall not address, nor enforce, any Instruments of which we have no interest in and/or are not a party to.

Permit Notification Information

In accordance with the City of Beaumont Land Use Bylaw 944-19, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained below. The same Development Permit Notice mailed to these individuals has been attached for your information.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.



City of Beaumont
5600 - 49 Street
Beaumont, Alberta T4X 1A1
Phone: (780) 929-8782
Fax: (780) 929-3300
Email: development@beaumont.ab.ca

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Permit Number: 2022-599

Notice of Decision:	May 30, 2023
Appeal deadline:	June 19, 2023
Permit active (if no appeals filed):	June 20, 2023

To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at legislative@beaumont.ab.ca. Appeals must be filed no later than 4:30 p.m. on the date indicated above.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:

Sara Boulos
Development Planner
780-340-1784
Sara.boulos@beaumont.ab.ca

PLANT SCHEDULE MICROBREWERY

CONIFEROUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	PAC	3	PICEA ABIES 'CHRISTINA'	CHRISTINA COLUMNAR NORWAY SPRUCE	2.5M HT. MIN.	B&B
	PS	1	PINUS SYLVESTRIS	SCOTS PINE	2.5M HT. MIN.	B&B
	PSF	6	PINUS SYLVESTRIS 'FASTIGIATA'	COLUMNAR SCOTS PINE	2.5M HT. MIN.	B&B
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	AS	3	ACER SACCHARINUM 'SILVER CLOUD'	SILVER CLOUD SILVER MAPLE	60MM CAL.	B&B
	BJ	3	BETULA PLATYPHYLLA 'JEFPARK'	PARKLAND PILLAR ASIAN WHITE BIRCH	60MM CAL.	B&B
	QTG	3	QUERCUS MACROCARPA 'TOP GUN'	TOP GUN BUR OAK	60MM CAL.	B&B
	SPS	1	SYRINGA PEKINENSIS 'SUNDAK' TM	COPPER CURLS PEKING LILAC	60MM CAL.	B&B
	SRI	1	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	60MM CAL.	B&B
	UB	4	ULMUS AMERICANA BRANDON	BRANDON ELM	60MM CAL.	B&B
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	Cak	8	CORNUS ALBA KESSELRINGII	KESSELRINGII DOGWOOD	300MM HT. MIN.	CONTAINER
	Cka	16	CORNUS SERICEA FARROW	ARTIC FIRE DOGWOOD	300MM HT. MIN.	CONTAINER
	Jha	9	JUNIPERUS HORIZONTALIS 'ANDORRA'	ANDORRA JUNIPER	450MM SPR. MIN.	CONTAINER
	Jsa	8	JUNIPERUS SABINA SAVIN	SAVIN JUNIPER	450MM SPR. MIN.	CONTAINER
	Jm	3	JUNIPERUS SCOPULORUM MOONGLOW	MOONGLOW UPRIGHT JUNIPER	450MM SPR. MIN.	CONTAINER
	Pdn	7	PICEA ABIES 'NANA'	DWARF NORWAY SPRUCE	450MM SPR. MIN.	CONTAINER
	Pbt	3	PINUS MUGO 'BIG TUNA'	BIG TUNA MUGO PINE	450MM SPR. MIN.	CONTAINER
	Pds	9	PINUS SYLVESTRIS 'GLAUCA NANA'	BLUE DWARF SCOTCH PINE	450MM SPR. MIN.	CONTAINER
	Tot	3	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	450MM SPR. MIN.	CONTAINER
	Vtc	13	VIBURNUM TRILOBUM COMPACTUM	DWARF HIGHBUSH CRANBERRY	300MM HT. MIN.	CONTAINER
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	agr	11	ANDROPOGON GERARDII 'RAIN DANCE'	RAIN DANCE BIG BLUESTEM	2 GAL.	CONTAINER
	cao	20	CALAMAGROSTIS X ACUTIFLORA OVERDAM	OVERDAM VARIEGATED FEATHER REED GRASS	2 GAL.	CONTAINER
	dct	40	DESCHAMPSIA CAESPITOSA	TUFTED HAIR GRASS	2 GAL.	CONTAINER
	mcp	13	MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	2 GAL.	CONTAINER

TOTAL SOD AREA: 713m²
TOTAL SHRUB BED AREA: 239m²

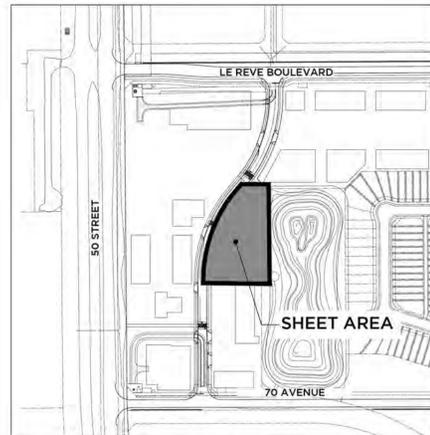
D.P LANDSCAPE REQUIREMENTS

10% TOTAL SITE AREA = 411m²

Plant Material	Required	Provided
1 Tree per 35m ² of Setback	12	24
1 Shrub per 35m ² of Setback	12	79

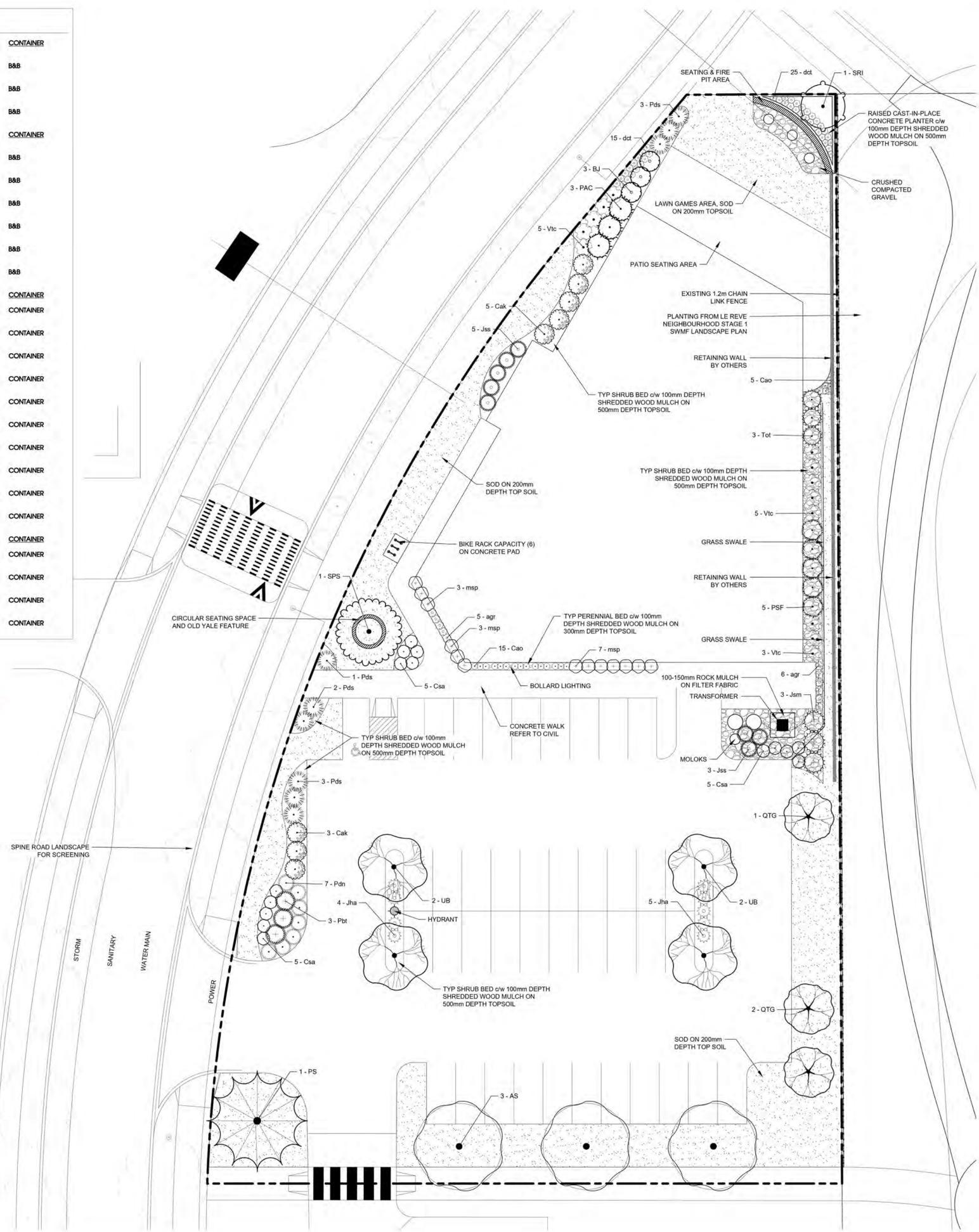
CONIFEROUS/DECIDUOUS MIX

Plant Material	Required	Provided
Coniferous Trees	40%	38%
Deciduous Trees	60%	62%
Coniferous Shrubs	-	44%
Deciduous Shrubs	-	56%



CONTEXT PLAN - 1:4000

Approved **May 30, 2023**
 Development Planner



LEGEND:

- CATCH BASIN
- VALVE (WATER OR GAS)
- HYDRANT
- LIGHT STANDARD
- SWITCHING CUBICLE
- TRANSFORMER
- STORM LINE
- SANITARY LINE
- WATER LINE
- CATCH BASIN LEAD
- UTILITY EASEMENT
- UNDERGROUND POWER
- UNDERGROUND GAS
- SOD
- ROCK MULCH

NOTES:

- ALL TREE STAKES FOR TREES PLANTED IN 2023 TO BE PAINTED YELLOW. ALL TREE STAKES FOR TREES PLANTED IN 2022 TO BE PAINTED GREEN. TREE STAKES ARE NOT PERMITTED WITHIN 1.0m OF U/G ELECTRICAL TRENCHES.
- PRIOR TO INSTALLATION OF THE PLANT MATERIAL, THE CONTRACTOR SHALL ENSURE COORDINATION WITH ALBERTA FIRST CALL TO LOCATE AND STAKE ALL UNDERGROUND UTILITIES. CALL 1-800-242-3447, ALBERTA FIRST CALL TO ARRANGE FOR STAKING OF ALL FACILITIES 48 HOURS PRIOR TO ANY CONSTRUCTION.
- ALL TREE PLANTING TO FOLLOW THE SET BACK DISTANCES TO SHALLOW AND DEEP UTILITIES AS PER THE CITY OF BEAUMONT GENERAL DESIGN STANDARDS IN ITS LATEST EDITION.
- IF EXCAVATIONS ARE REQUIRED CLOSER THAN 1.0m TO UNDERGROUND UTILITIES, THE CONTRACTOR TO CONTACT THE APPROPRIATE UTILITY TO APPROVE, REVIEW AND/OR DEFINE SAFE PROCEDURES FOR THESE EXCAVATIONS.
- ALL PLANT MATERIAL SHALL BE SUPPLIED FROM CERTIFIED CLEAN NURSERIES. IF THE CONTRACT PLANT MATERIAL IS UNAVAILABLE FROM CERTIFIED CLEAN NURSERIES THE DEVELOPER/CONTRACTOR MAY CONTACT THE PARKS AND FACILITIES DIVISION FOR APPROVAL OF PURCHASE FROM ALTERNATIVE LOCAL VENDORS.

APPROVALS:

DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT _____ DATE _____

REVISION:

NO.	DESCRIPTION	BY	APPD	DATE

ISSUE:

NO.	DESCRIPTION	BY	APPD	DATE
03	THIRD SUBMISSION	JH		DEC 02, 2022
02	SECOND SUBMISSION	RF		NOV 24, 2022
01	FIRST SUBMISSION	CK		OCT 4, 2022

PROJECT MANAGER:

V. LIU

CLIENT:

RPTG GP LTD.

PROJECT:

LE REVE COMMERCIAL
 PARCEL 7 AND COMMERCIAL ROAD

DRAWING TITLE:

**MICROBREWERY
 LANDSCAPE PLAN**

PROJECT NO:

2021-009

SCALE:

AS SHOWN

DRAWING NO.

LO02

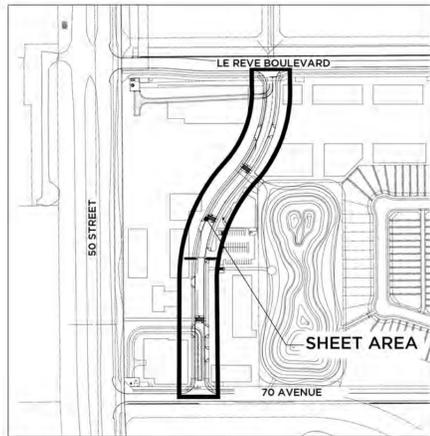
PERMIT / SEAL



Invistec Consulting Ltd.
 Suite 1700, 10130 - 103 Street NW
 Edmonton Alberta, T5J 3N9
 (780) 293 - 7373
 www.invistec.ca

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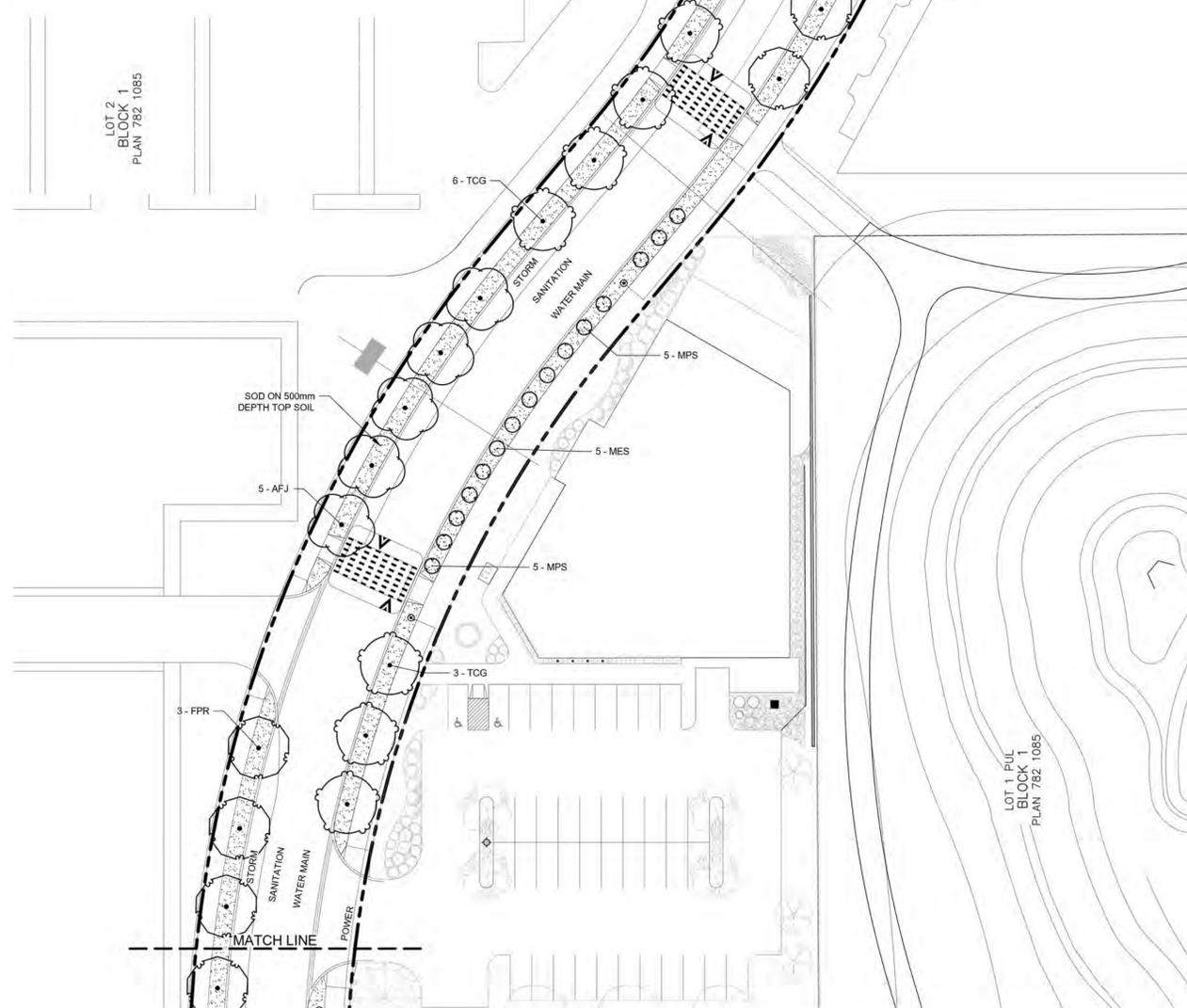


CONTEXT PLAN - 1:4000

TOTAL SOD AREA: 1,188m²

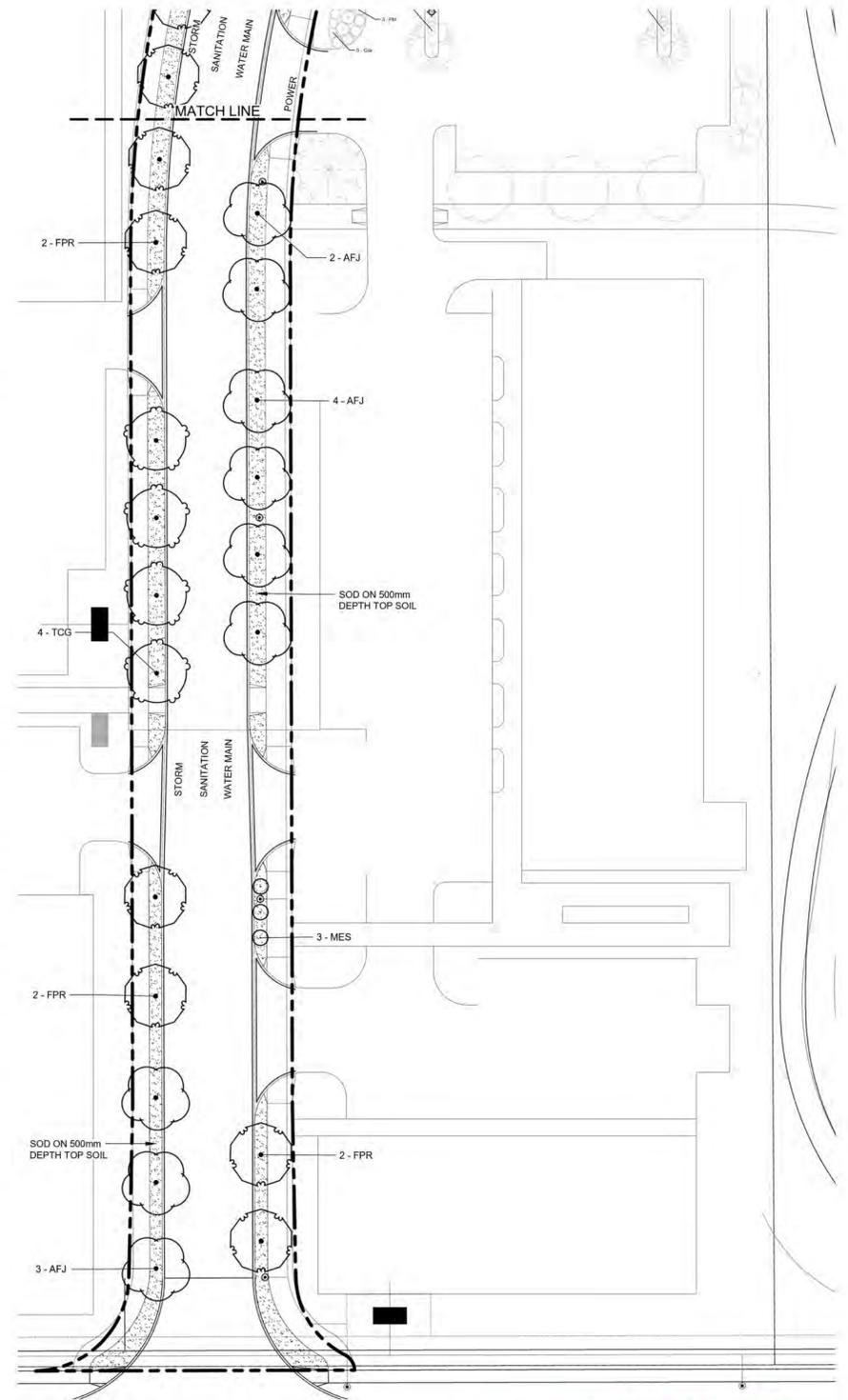
D.P. LANDSCAPE REQUIREMENTS

TOTAL ROAD LENGTH = 377 lm		
Plant Material	Required	Provided
1 Tree per side, per 10 lm	76	67



PLANT SCHEDULE COMMERCIAL MAIN SPINE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	AFJ	19	ACER X FREEMANNI 'JEFFERSRED'	AUTUMN BLAZE MAPLE	60MM CAL	B&B
	FPR	18	FRAXINUS PENNSYLVANICA 'RUGBY'	PRAIRIE SPIRE GREEN ASH	60MM CAL	B&B
	MES	8	MALLUS X 'EMERALD SPIRE'	EMERALD SPIRE COLUMNAR CRABAPPLE	60MM CAL	B&B
	MPS	10	MALLUS X 'JEFSPIRE'	PURPLE SPIRE COLUMNAR CRABAPPLE	60MM CAL	B&B
	TCG	13	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	60MM CAL	B&B



LE REVE COMMERCIAL SPINE ROAD
LANDSCAPE PLAN
1: 400

Approved May 30, 2023
Development Planner

LEGEND:

	CATCH BASIN
	VALVE (WATER OR GAS)
	HYDRANT
	LIGHT STANDARD
	SWITCHING CUBICLE
	TRANSFORMER
	STORM LINE
	SANITARY LINE
	WATER LINE
	CATCH BASIN LEAD
	UTILITY EASEMENT
	UNDERGROUND POWER
	UNDERGROUND GAS
	SOD

- NOTES:**
- ALL TREE STAKES FOR TREES PLANTED IN 2022 TO BE PAINTED YELLOW. ALL TREE STAKES FOR TREES PLANTED IN 2023 TO BE PAINTED GREEN. TREE STAKES ARE NOT PERMITTED WITHIN 10m OF U/G ELECTRICAL TRENCHES.
 - PRIOR TO INSTALLATION OF THE PLANT MATERIAL, THE CONTRACTOR SHALL ENSURE COORDINATION WITH ALBERTA FIRST CALL TO LOCATE AND STAKE ALL UNDERGROUND UTILITIES, CALL 1-800-242-3447, ALBERTA FIRST CALL TO ARRANGE FOR STAKING OF ALL FACILITIES 48 HOURS PRIOR TO ANY CONSTRUCTION.
 - ALL TREE PLANTING TO FOLLOW THE SET BACK DISTANCES TO SHALLOW AND DEEP UTILITIES AS PER THE CITY OF BEAUMONT GENERAL DESIGN STANDARDS IN ITS LATEST EDITION.
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APPROVALS:

DEVELOPMENT ENGINEER: SUSTAINABLE DEVELOPMENT	DATE

REVISION:

ISSUE:

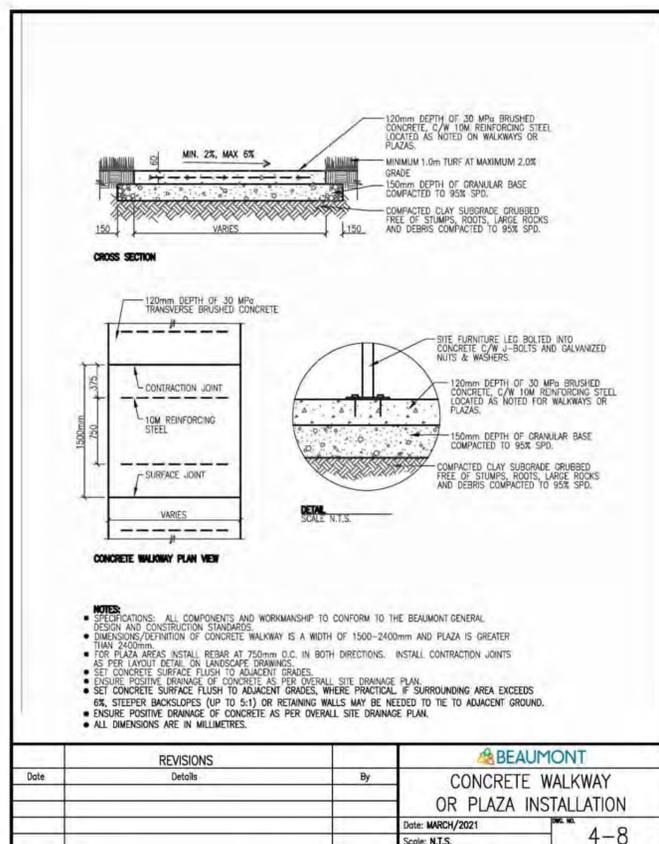
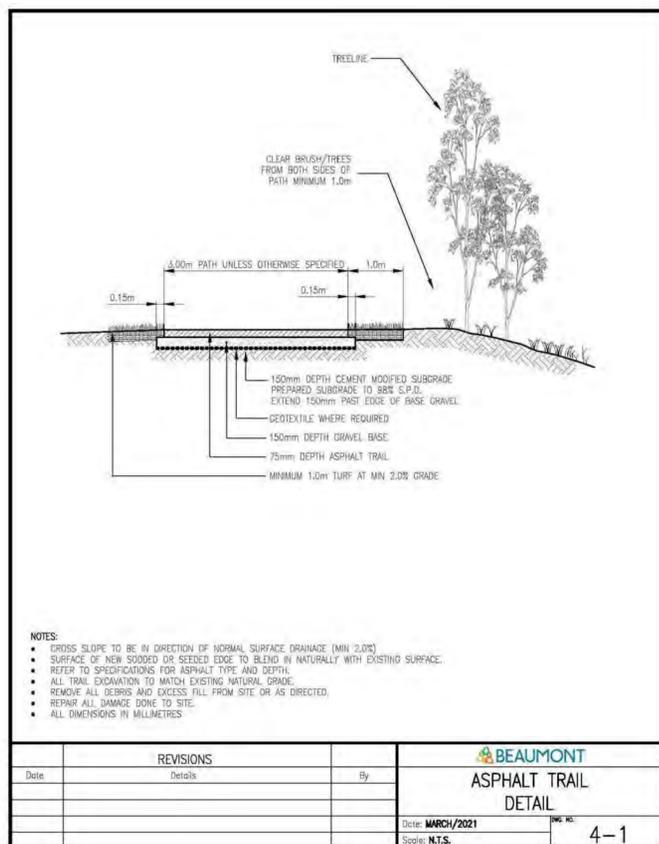
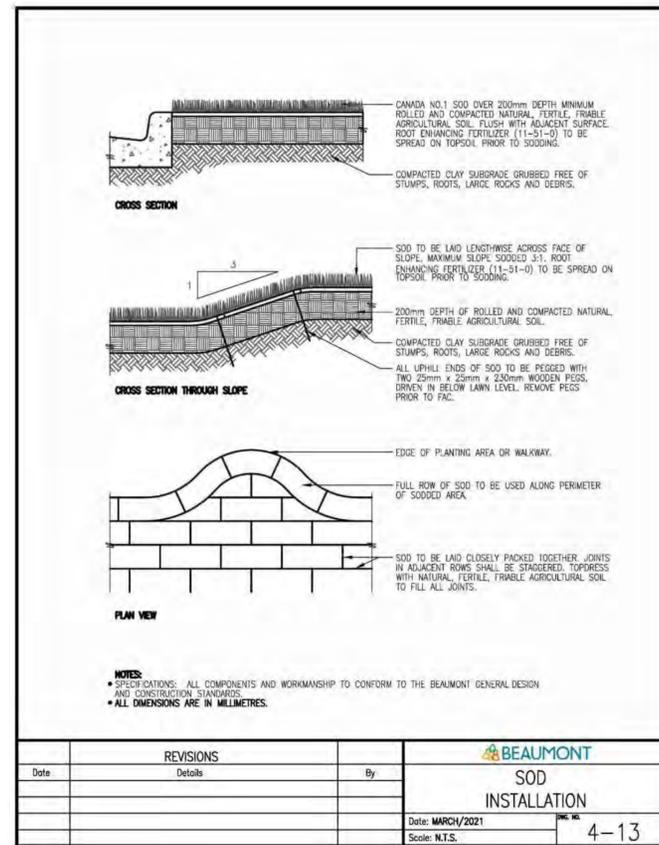
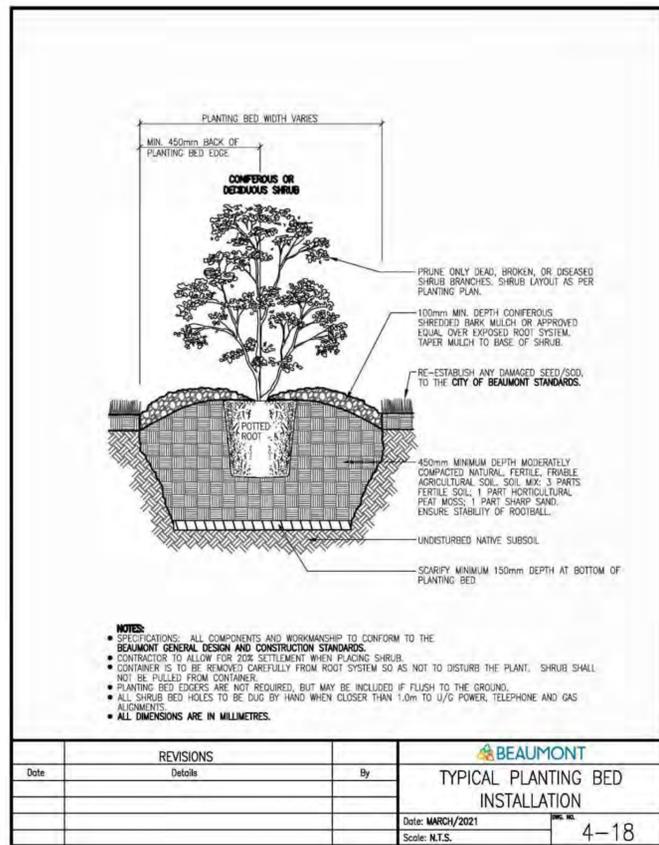
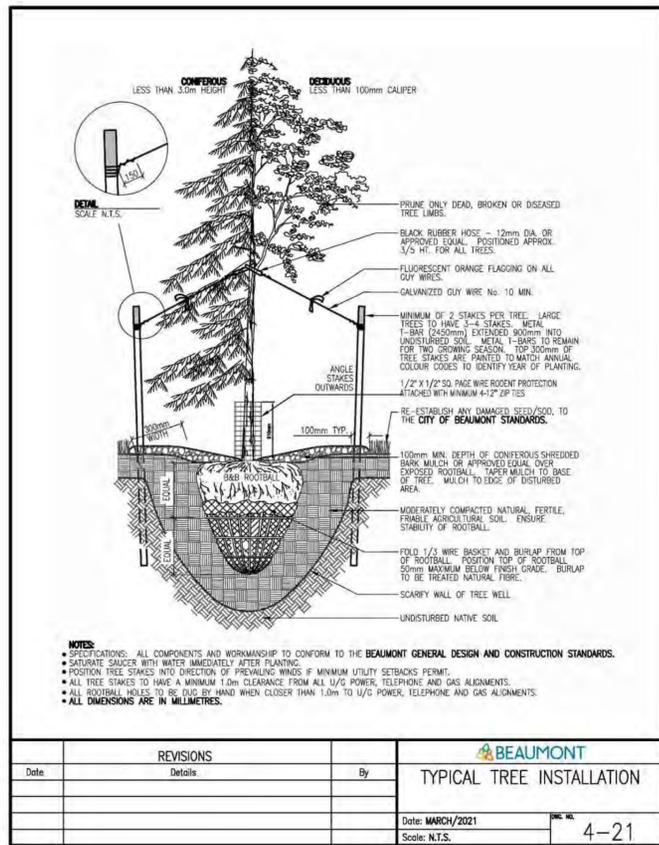
PROJECT MANAGER: V. LIU
CLIENT: RPTG GP LTD.
PROJECT: LE REVE COMMERCIAL PARCEL 7 AND COMMERCIAL ROAD
DRAWING TITLE: SPINE ROAD LANDSCAPE PLAN

PROJECT NO: 2021-009
SCALE: AS SHOWN
DRAWING NO.: LO01

PERMIT / SEAL

Invistec Consulting Ltd.
Suite 1700, 10130 - 103 Street NW
Edmonton Alberta, T5J 3N9
(780) 293 - 7373
www.invistec.ca

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Approved May 30, 2023
Development Planner

LEGEND:

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APPROVALS:

DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT

REVISION:

REVISION	DATE

ISSUE:

ISSUE	BY	APPD	DATE
03 THIRD SUBMISSION	JH		DEC 02, 2022
02 SECOND SUBMISSION	RF		NOV 24, 2022
01 FIRST SUBMISSION	CK		OCT 4, 2022

PROJECT MANAGER: V. LIU

CLIENT: RPTG GP LTD.

PROJECT: LE REVE COMMERCIAL PARCEL 7 AND COMMERCIAL ROAD

DRAWING TITLE: DETAILS

PROJECT NO: 2021-009

SCALE: AS SHOWN **DRAWING NO.:** L004

PERMIT / SEAL

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Suite 1700, 10130 - 103 Street NW
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UTILITY CONTACTS			
UTILITY	REF #	NAME OF CONTACT	PHONE/EMAIL
FORTIS ALBERTA	-	UNKNOWN AT THIS TIME	-
TELUS	-	UNKNOWN AT THIS TIME	-
SHAW CABLE	-	UNKNOWN AT THIS TIME	-

TRANSFORMER INSTALL NOTES
1. REFER TO THE FORTIS TRANSFORMER SERVICE POST DETAIL ON THE DETAILS DRAWING.
2. THE INSTALLATION OF THE TRANSFORMER BASE SHALL BE PERFORMED BY A FORTIS APPROVED ELECTRICAL CONTRACTOR. INSTALL THREE RING GROUND GRID, THREE PHASE PRE-CAST PAD, TO FORTIS ALBERTA REQUIREMENTS. NO BLAST WALL REQUIRED.
3. PADMOUNT TRANSFORMER TO BE INSTALLED PRIOR TO FINAL GRADE AND WITHIN 100mm OF FINAL GRADE. COORDINATE EXACT ELEVATIONS WITH CIVIL DRAWINGS FOR FINAL GRADE HEIGHT.
4. PROVIDE THREE PHASE 3-RING GROUND GRID TO FORTIS ALBERTA REQUIREMENTS.

SITE ELECTRICAL GENERAL NOTES
A. ALL EMPTY CONDUITS SHALL HAVE NYLON PULL STRINGS (40kg TEST).
B. THE USE OF CORE-LINE (FLEXIBLE ENT) AND ENT IS NOT ACCEPTABLE.
C. CONDUITS SHALL BE RIGID PVC OR DB2 (SUITABLE FOR DIRECT BURIAL).
D. ALL SERVICES DUCTS (POWER, TELEPHONE & CATV) TO BE MINIMUM 1m BELOW GRADE, AND CONCRETE ENCASED (Ø775mm MIN.) WHERE REQUIRED BY THE UTILITIES.
E. ALL CONDUIT/DUCT STUBS SHALL BE MARKED WITH A 2"x4" PRESSURE TREATED STAKE PAINTED FLUORESCENT ORANGE. THE STAKE SHALL BE INSTALLED A MINIMUM OF 600mm ABOVE GRADE FOR VISIBILITY.
F. MAINTAIN MINIMUM 2m CLEARANCE FROM GAS LINES AND 3m FROM WATER, STORM, AND SANITARY LINES.
G. ALL TELEPHONE DUCTS SHALL BE ORANGE IN COLOUR.
H. MAINTAIN 2" (50mm) SEPARATION BETWEEN COMMUNICATION DUCTS (TELEPHONE & CATV) AND POWER DUCTS WHERE ENCASED IN CONCRETE.
I. ALL CONDUIT STUBS INTO SWITCHING CUBICLE AND TRANSFORMER BASES TO HAVE "BELL" ENDS.
J. THE GENERAL CONTRACTOR TO SUPPLY AND INSTALL ALL CONCRETE BASES FOR SITE LIGHTING, CAR PLUGS, AND CAR CHARGING STATIONS.

KEYED SHEET NOTES
1. THE ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL EV CHARGING STATION. EACH CHARGING STATION IS TO COMPRISE OF THE FOLLOWING COMPONENTS AT EACH LOCATION:
- FLO smartTWO LEVEL 2 - DUAL STATION PEDESTAL MOUNTED UNIVERSAL CHARGER
- #S2-V4-TETE-FL-BLRV STATION HEAD. (QTY. 2)
- #S2-V4-SP-RV-GRV PEDESTAL BASE (QTY. 2)
- #S2-V2-ACCSPSM-01-03-FL-BCCE SIGN (QTY. 4)
- #S2-V2-ACCSPSM-01-05 SPACER KIT (QTY. 1)
- #S2-V2-ACCSP-01-03 ANCHOR KIT (QTY. 1)
- #SP-5GG-02 2-YEAR GLOBAL MANAGEMENT SERVICE AND 3G NETWORKING MONITORING (QTY. 2)
CONTACT BEN WELLS AT D.A.D. SALES PH# 587-879-4494 FOR CAR CHARGING STATION PRICING.

THIS DRAWING MUST NOT BE SCALED.

THE CONTRACTOR SHALL VERIFY ALL LEVELS, DATUMS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL NON-COMFORMANCE MUST BE REPORTED TO RIDDELL, KURCZABA ARCHITECTURE ENGINEERING INTERIOR DESIGN LTD. IMMEDIATELY.

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ALL ARCHITECTURAL COMPONENTS WILL BE ENGINEERED AND INSTALLED BY THE RESPECTIVE SUPPLIERS & TRADES SO AS TO CONFORM WITH REQUIRED ANCHORAGE AND SEISMIC RESTRAINT AS PER ALL LOCAL CODES.

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NO.	DATE	REVISION	BY
5	31 08 22	REVISED FOR DEVELOPMENT PERMIT	GLH
4	27 02 22	ISSUED FOR TENDER	GLH
3	18 02 22	ISSUED FOR FINAL COORDINATION	GLH
2	03 02 22	ISSUED FOR 65% REVIEW	GLH
1	20 01 22	ISSUED FOR REVIEW	GLH

NO.	D	MO.	YR.	ISSUED FOR	BY

DEVELOPMENT PERMIT NO. BUILDING PERMIT NO.

DATE	BY

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DRAWN BY	REVIEWED BY
MB/GLH	GLH
DATE	31/08/22
SCALE	As indicated

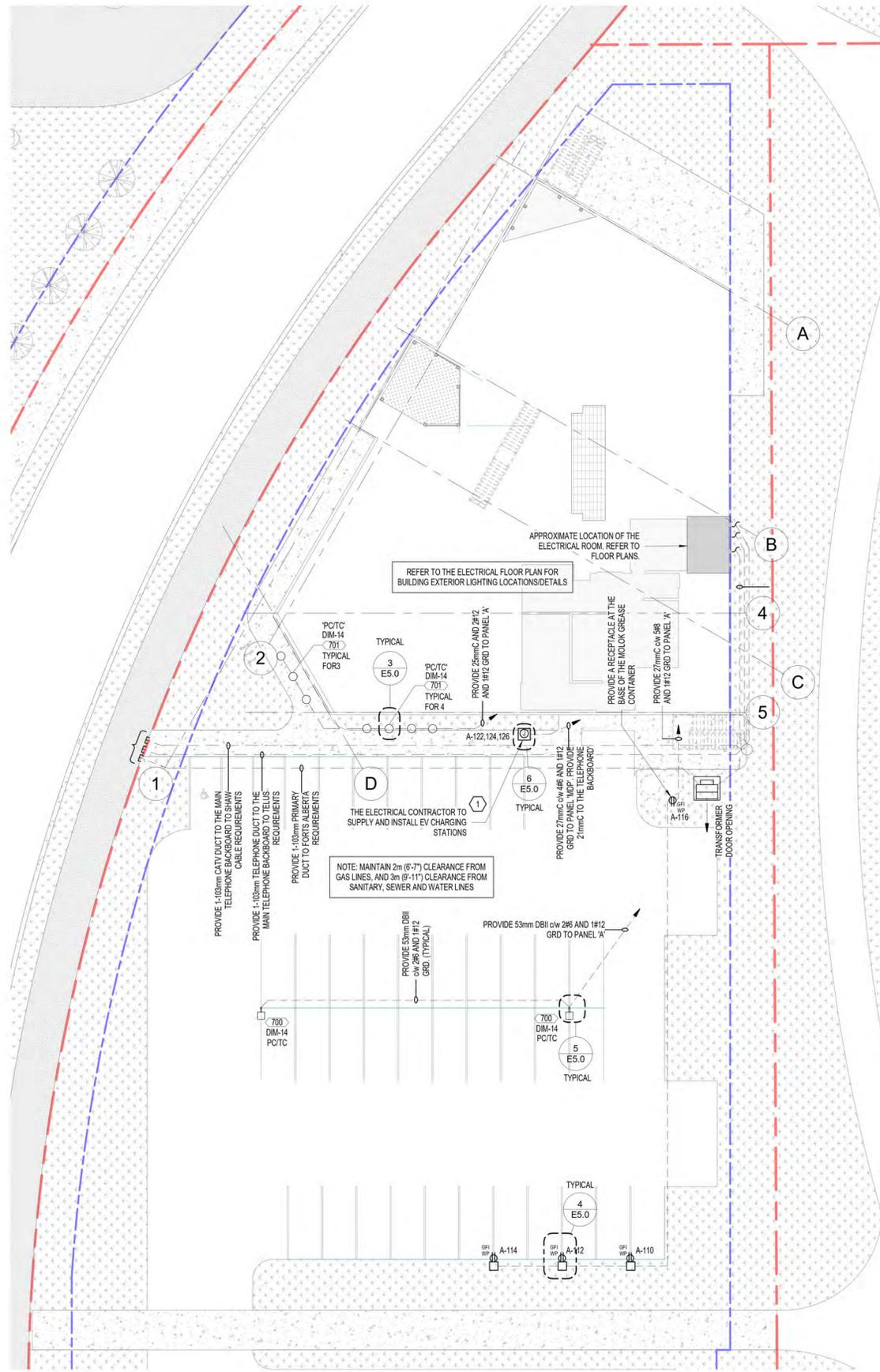
ELECTRICAL SITE PLAN

Issue	PROJECT NO.
5	21-117

E1.0



2 EXTERIOR LIGHTING PHOTOMETRY
NTS



1 ELECTRICAL SITE PLAN
1:200

Approved May 30, 2023
 Development Planner

[Signature]

ELECTRICAL DRAWINGS SCHEDULE	
SHEET	DESCRIPTION
E1.0	ELECTRICAL SITE PLAN
E2.0	MAIN FLOOR LIGHTING PLAN
E2.1	2ND FLOOR LIGHTING PLAN
E3.0	MAIN FLOOR POWER AND LOW TENSION PLAN
E3.1	2ND FLOOR POWER AND LOW TENSION PLAN
E4.0	KITCHEN AND BREWERY EQUIPMENT PLAN
E5.0	ELECTRICAL DETAILS
E5.1	ELECTRICAL DETAILS
E6.0	ELECTRICAL SCHEDULES
E6.1	ELECTRICAL PANEL SCHEDULES
E6.2	ELECTRICAL SCHEDULES
E7.0	ELECTRICAL SPECIFICATION

