

**Development Permit
Notice of Decision**
REVISED 04.08.2024

Date of Decision: September 28, 2023

Claroscuro Architecture Inc. Attn: Tara McCashin
10158 103 Street, Unit 502
Edmonton, AB T5J 0X6

Proposed Development: **Commercial:** *8 Buildings consisting of 1 to 2 Storeys
Revisions to Building 2, 6, 8, site plan, and lighting plan*
Legal Description: Plan 192 0554, Block 5, Lot 1
Municipal Address: 4901 30 Avenue, Beaumont, AB
Land Use District: Commercial
Permit Application No: 2023-223
Tax Roll: 009284

Development Permit Status: Approved with conditions

Development Permit Conditions

The development noted above is considered a Permitted Use within the Commercial District, and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

1. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
2. The site shall be developed in accordance with the attached plans issued for development dated September 8, 2023, **and revised December 15, 2023, February 28, 2024, March 28, 2024**, with the exceptions and conditions noted herein. **Any changes to the attached plans require prior written approval by the City.**
3. Prior to commencing any activity on the lands, the applicant shall enter into and during the currency of the permit abide by a Development Agreement (pursuant to the Municipal Government Act s. 650), containing terms acceptable to the Municipality. The Development Agreement shall include but not be limited to the following:
 - a. that the Applicant shall provide security in a form satisfactory to the City for all obligations under the Development Agreement, including but not limited to, pre-grading, civil works on public property, and hard and soft landscaping on private property.
4. Final approval and acceptance by the municipality of all civil engineering plans must be completed prior to building permit issuance.
5. Landscaping shall be provided as shown on the attached approved plans. Hard landscaping shall be contiguous and seamlessly integrated with the public sidewalk with no grade adjustments.

Development Permit Notice of Decision

Date of Decision: September 8, 2023

Permit Number: 2023-223

6. Lighting for the building shall be provided as shown on the attached approved plans. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.
7. The Applicant shall provide the Development Authority with AutoCAD drawings to the satisfaction of the Development Authority **with the Building Permit application.**
8. The owner/applicant shall obtain all federal, provincial and local permits as they apply to this project.

Additional Information

1. **Prior to any work commencing on the site**, a Letter of Credit in the amount of 100% of the construction costs for hard and soft landscaping shall be provided prior to building permit issuance, with such costs to include hard landscaping features such as brick pavers, shale, concrete curbing, sidewalks, patios, paved approaches including culvert and rip rap, fencing and painted lines for parking stalls.

50% of the landscaping security shall be released after planting and the remaining balance shall be released once an inspection of the site has demonstrated to the satisfaction of the Development Authority that the landscaping has been well maintained and is in healthy condition two growing seasons after approved inspection.

2. **Prior to any construction commencing on the site**, a Development Agreement and a Letter of Credit equal to 25% of the construction costs shall be submitted to the City of Beaumont for the following:
 - a. any pre-grading of the site including stripping, grubbing, etc.
 - b. the cost of work to be undertaken on municipal property, including but not limited to underground servicing and access.

All but \$7,000 of the above noted securities will be returned upon completion, with no deficiencies as confirmed by Engineering (the municipality will not take less than \$7,000 security). The remainder shall be released upon completion and receipt of as-built record drawings that are received and deemed acceptable by the municipality.

3. Prior to securing the Letters of Credit for this project, the Applicant shall provide cost estimates for approval by the Manager, Engineering & Environment.

The Letter of Credit shall have an initial term of one (1) year, shall be renewed by the owner 30 days prior to expiry, and shall:

- a. contain an automatic renewal clause; and
 - b. allow for partial draws by the City of Beaumont.
4. The Applicant shall maintain comprehensive liability insurance in the amount of \$5 million as it relates to this project, for the duration of both phases of the project. A copy of the Certificate of Insurance must be provided, and Beaumont shall be named on same.

Development Permit Notice of Decision

Date of Decision: September 8, 2023

Permit Number: 2023-223

5. Based on the details of the approved plans, the development meets the minimum required 75% Essential Elements and 25% Suggested Elements of the Beaumont Urban Design Guidelines.
6. Engineering Advisements
 - a. The owner shall be responsible for any engineering and legal costs incurred by the City related to this project.
7. A preliminary review of the site plan and underground services plan have been conducted by Engineering Services. Engineering requires the drawing reflect an update and/or provide a response to the following items:
 - a. The watermain extending into the site that will feed the hydrant and extend to the south parcel should be upsized to a minimum of 250mm.
 - b. Silt fence should not be installed down the centre of the proposed access road, but instead, offset to the south and east.
 - c. The north storm stub at STM MH3 should have a 2.5m separation between the proposed watermain. Consideration should be given to abandoning the stub and installing a new stub that extends east or northeast
 - d. Pavement structure table on dwg 9 should be updated with a reference to a Geotech report and provide information on the spec for base course and sub-base course. 60mm pavement lift on light duty pavement is thing.
8. Fire Advisements
 - a. A Fire Safety Plan must be posted in a visible area on the construction site.
 - b. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.
 - c. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.
9. Infrastructure Advisements
 - a. The owner shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.
 - b. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to waterandwastewater@beaumont.ab.ca. This application must be submitted thirty (30) days prior

Development Permit Notice of Decision

Date of Decision: September 8, 2023

Permit Number: 2023-223

to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.

10. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
11. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the Alberta Safety Codes Act and any other applicable bylaws or regulations.
12. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
13. The site shall be kept clear of all construction garbage and debris; an on-site garbage container/bin shall be required.
14. Failure to keep the sites clean of debris is an offence under Our Zoning Blueprint. The Peace Officers may issue offence tickets to any person who has committed or is committing an offence respecting this infraction and may be subject to the following penalties:
 - a. First Offence – a written warning or a stop work order shall be issued, and a bin will be required onsite;
 - b. Second Offence (on same lot) – a minimum fine of \$1,000.00 and a stop work order shall be issued;
 - c. Third (and Subsequent) offence(s) (on same lot) – a minimum fine of \$5,000.00 and a stop work order shall be issued.
15. Separate sign permit applications will be required for any on-site signage. Projecting signage is required to be installed as per Section 4.2.9 of the Land Use Bylaw within the Commercial District.
16. It is the responsibility of the Applicant to ensure they have reviewed and understand all Instruments registered against the Title of the subject property. This includes all easements, caveats, and restrictive covenants. The City shall not address, nor enforce, any Instruments of which we have no interest in and/or are not a party to.

Permit Notification Information

In accordance with the City of Beaumont Land Use Bylaw 944-19, notice regarding this Development Permit has been published on our website, only.



City of Beaumont
5600 - 49 Street
Beaumont, Alberta T4X 1A1
Phone: (780) 929-8782
Fax: (780) 929-3300
Email: development@beaumont.ab.ca

Development Permit Notice of Decision

Date of Decision: September 8, 2023

Permit Number: 2023-223

Appeal Information

Permitted Uses may not be appealed unless the provisions of the Land Use Bylaw were relaxed, varied, or misinterpreted. If you have reason to appeal this Development Permit or any of the above conditions on these grounds, you may submit an appeal to the Secretary of the Subdivision Development and Appeal Board (SDAB) within 21 days of the date the decision was made, noted above.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



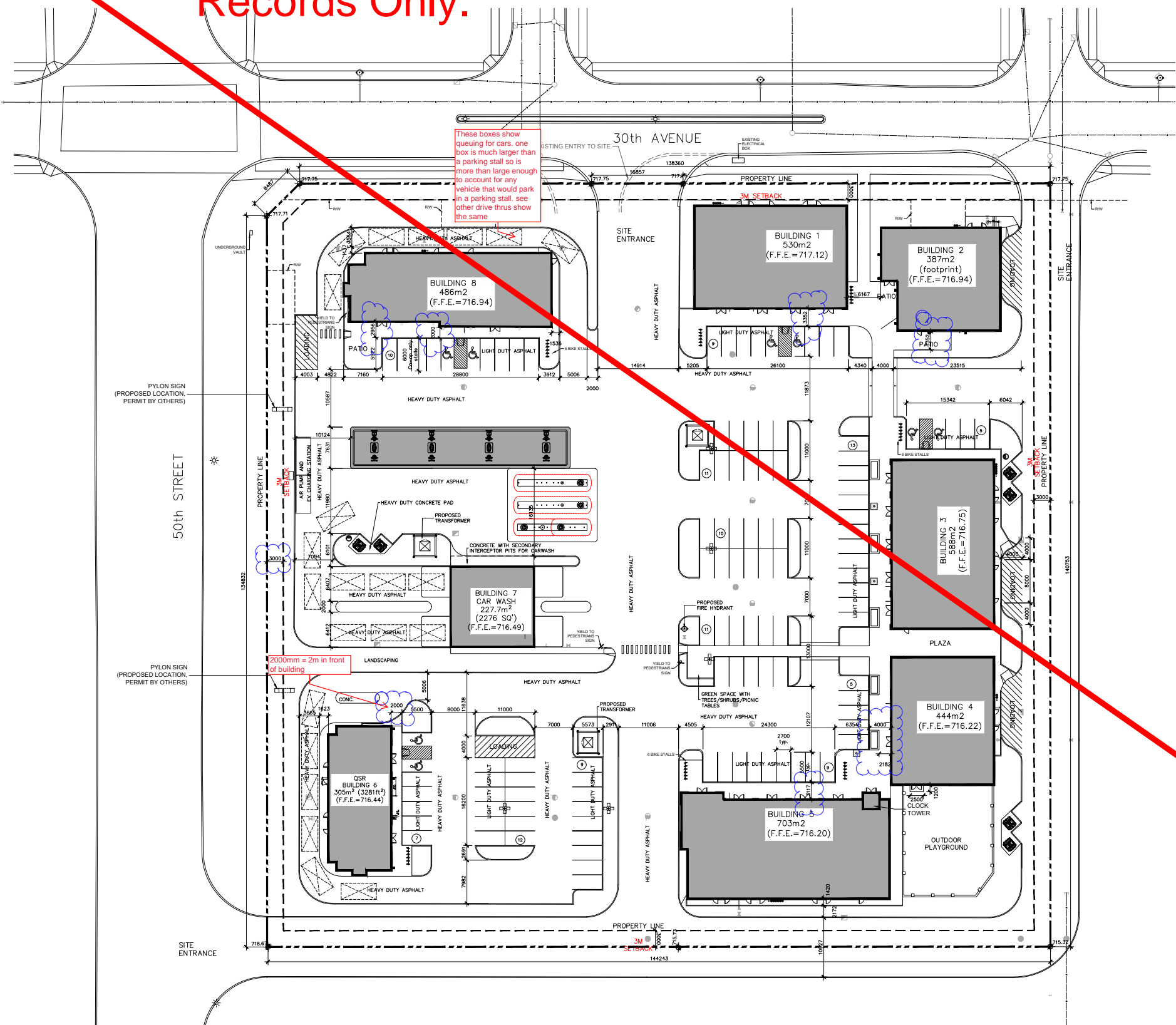
Sara Boulos
Development Planner
780-340-1784
Sara.boulos@beaumont.ab.ca

cc: Curtis Doblanko, Director, Finance
Kendra Raymond, Director, Planning & Development
Jennifer Niesink, Director, Economic Development
Jay Melvin, Director, Protective Services & Fire Chief
Punam Grewal, Manager, Engineering & Environment
Joannes Wong, Manager, Long Range Planning
Shawn Hipkiss, Manager, Development Services
Aleshia Ingram, Senior Development Planner
Charles Conroy, Development & Engineering Coordinator
Carley Krahn, Fire Prevention Officer
Ellen Feron, Operations Facility Administrative Assistant
Troy Birtles, Accurate Assessment
Kate Alexander, Leduc Public Health

Replaced. Void. For Records Only.

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



These boxes show queuing for cars. one box is much larger than a parking stall so is more than large enough to account for any vehicle that would park in a parking stall. see other drive thru show the same

2000mm = 2m in front of building

DEVELOPMENT STATISTICS

LEGAL DESCRIPTION: LOT 1, BLOCK 5, PLAN 1920554
 MUNICIPAL ADDRESS: 4901 - 30 AVENUE, Beaumont, Alberta T4X 1T9

PROPOSED USE OF BUILDING: COMMERCIAL (8 BUILDINGS)
 ZONING: COMMERCIAL DISTRICT (C)

SETBACKS REQUIRED: 3M
 SETBACKS PROVIDED: 3M

TOTAL SITE AREA: 218595 sqft (20,308.136 sqm)
 PROPOSED BUILDING AREA: 39460.5 sqft (36662m²)

PROPOSED FAR: 0.18
 MAX. FAR: 1.5

MAX HEIGHT ALLOWED: 39'-4.5" (12m)
 PROPOSED HEIGHT: 31'-5" (9.45m)

PROPOSED USE OF BUILDINGS:
 BUILDING 1: CRU TOTAL AREA: 530m²
 BUILDING 2: RESTAURANT TOTAL AREA: 387m²
 BUILDING 3: CRU TOTAL AREA: 588m²
 BUILDING 4: DAYCARE TOTAL AREA: 444m²
 BUILDING 5: CRU TOTAL AREA: 703m²
 BUILDING 6: DRIVE-IN SERVICES TOTAL AREA: 305m²
 CARWASH (BUILDING 7): TOTAL AREA: 227m²
 BUILDING 8: DRIVE-IN SERVICE, C-STORE TOTAL AREA: 481m²

PROPOSED BUILDING STALLS (COMMERCIAL): 1 SPACE PER 100m² (F)
 3666m² / 40 : 91.65 = 92 STALLS

PARKING REQUIRED: 92
 PARKING PROVIDED: 106
 BARRIER FREE STALLS REQ'D: 4
 PROVIDED: 6
 LOADING SPACE PROVIDED: 5

BICYCLE PARKING:
 TOTAL REQUIRED: 6 PER 4,600m² (OR 6 PER BUILDING)
 TOTAL PROVIDED: 7 BUILDINGS (NOT COUNTING CAR WASH) 6x7 = 42

LEGEND

PROPERTY LINE
 SETBACK
 RETAINING WALL
 PROPOSED FENCE
 FUTURE USE
 H/C SPLAY

INDICATES DESIGNATED H/C PARKING STALL
 PAINT TYPICAL LOGO ON ASPHALT - YELLOW
 TYPICAL = 100mm WIDE PAINTED PARKING LINES
 COLOR - YELLOW

PROVIDE HANDICAPPED PARKING SIGN "PERMIT REQUIRED"

MANHOLE REFER TO CIVIL DRAWINGS
 CATCH BASIN REFER TO CIVIL DRAWINGS
 EXISTING WATER SHUT OFF VALVE REFER TO CIVIL DRAWINGS
 EXISTING FIRE HYDRANT REFER TO CIVIL DRAWINGS
 EXISTING LIGHT POST REFER TO CIVIL DRAWINGS
 EXISTING LIGHT POST REFER TO CIVIL DRAWINGS
 CATCHBASIN/MANHOLE REFER TO CIVIL DRAWINGS

TRANSFORMER w/ PEDESTAL REFER TO ELECTRICAL DRAWINGS
 PROPOSED Pylon SIGN PERMIT BY OTHERS
 PROPOSED LIGHT STANDARDS
 PROPOSED CONCRETE SIDEWALK REFER TO CIVIL DRAWINGS

SUBJECT OF THIS APPLICATION
 FUTURE, NOT IN CONTRACT
 OUTDOOR PLAYGROUND

BIKE RACKS - EACH BIKE STALL IS 600mm x 1800mm
 PROPOSED EARTH BIN FOR GARBAGE AND RECYCLING
 PROPOSED EARTH BIN SILD FOR GREASE
 GRATING FOR TREES
 CONCRETE BLOCK PLANTERS



PRELIMINARY
NOT FOR CONSTRUCTION

CLAROSCuro Architecture Inc
 www.claroscuro.ca
 502-10158 103 St. NW
 Edmonton, AB, T5J 0X6

Approved September 8, 2023
 Development Planner



REVISIONS	YYYY.MM.DD
2	RE-ISSUED FOR DP w/ additional info 2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL COMMERCIAL

4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

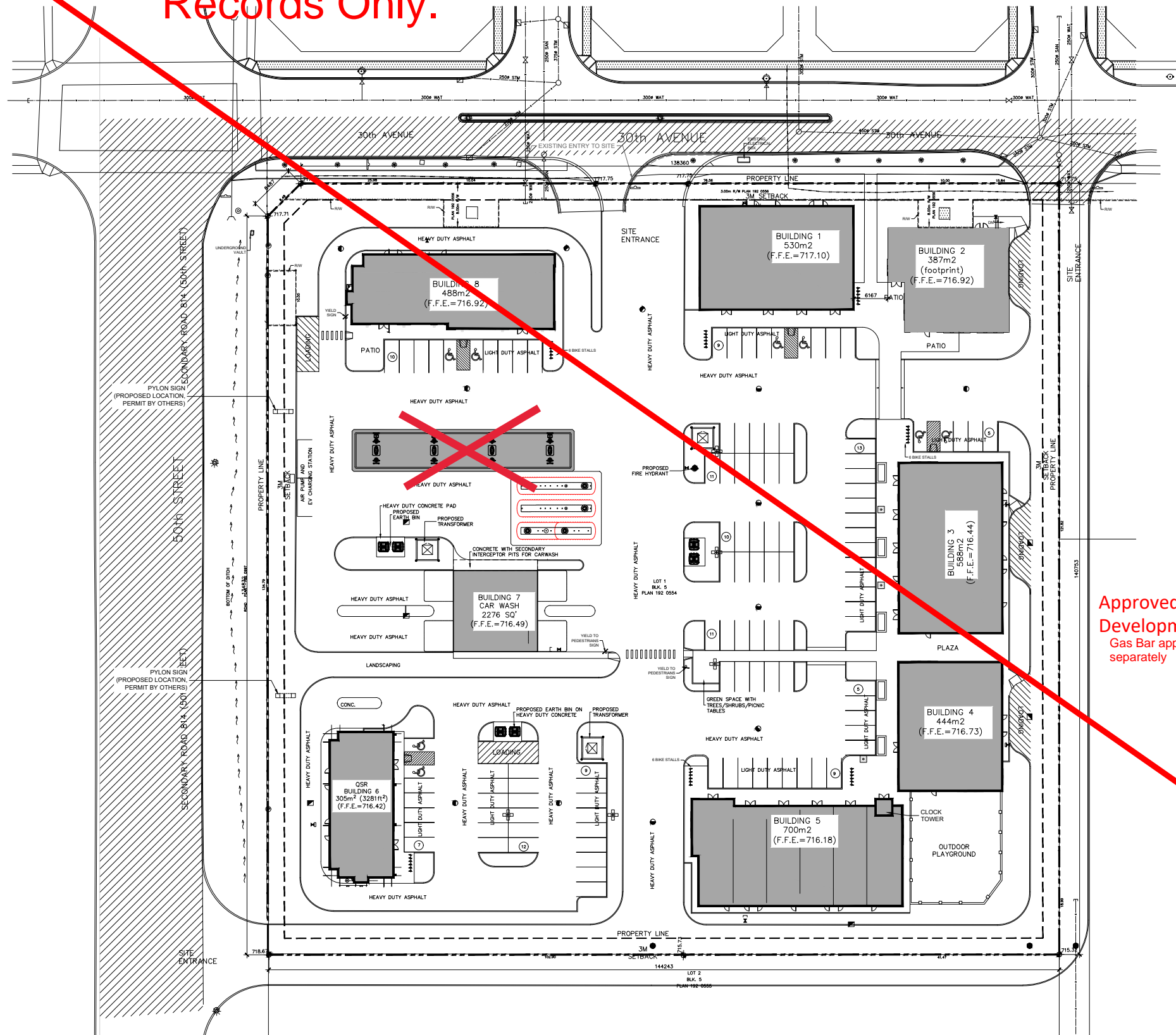
OVERALL SITE PLAN

PRINTED: July 28, 2023
 FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

JOB # 2314
 DRAWN BY: TM

A001

Replaced. Void. For
Records Only.



DEVELOPMENT STATISTICS

LEGAL DESCRIPTION: LOT 1, BLOCK 5, PLAN 1920554
MUNICIPAL ADDRESS: 4901 - 30 AVENUE, Beaumont, Alberta T4X 1T9

PROPOSED USE OF BUILDING: COMMERCIAL (8 BUILDINGS)
ZONING: COMMERCIAL DISTRICT (C)

SETBACKS REQUIRED: 3M
SETBACKS PROVIDED: 3M

TOTAL SITE AREA: 218595 sqft (20,308.136 sqm)
PROPOSED BUILDING AREA: 41993 sqft (3,901 sqm)
PROPOSED FAR: 0.19
MAX. FAR: 1.5
MAX HEIGHT ALLOWED: 39'-4.5" (12m)
PROPOSED HEIGHT: 31'-0" (9.45m)

PROPOSED USE OF BUILDINGS:
BUILDING 1: CRU TOTAL AREA: 530m²
BUILDING 2: RESTAURANT TOTAL AREA: 387m²
BUILDING 3: CRU TOTAL AREA: 588m²
BUILDING 4: DAYCARE TOTAL AREA: 444m²
BUILDING 5: CRU TOTAL AREA: 576m²
BUILDING 6: DRIVE-IN SERVICES TOTAL AREA: 321m²
BUILDING 7: DRIVE-IN SERVICE, C-STORE TOTAL AREA: 466m²
CARNASH: TOTAL AREA: 204m²

PROPOSED BUILDING STALLS (COMMERCIAL): 1 SPACE PER 100m² (7) 300m² / 40 : 97.5 = 98 STALLS
PARKING REQUIRED: 98
PARKING PROVIDED: 112
BARRIER FREE STALLS REQ'D: 4 PROVIDED: 6
LOADING SPACE PROVIDED: 2

BICYCLE PARKING:
TOTAL REQUIRED: 6 PER 4,600m² (OR 6 PER BUILDING)
TOTAL PROVIDED: 7 BUILDINGS (NOT COUNTING CAR WASH) 6X7 = 42

LEGEND

PROPERTY LINE
SETBACK
RETAINING WALL
PROPOSED FENCE
FUTURE USE
H/C SPLAY

INDICATES DESIGNATED H/C PARKING STALL
TYPICAL LOGO ON ASPHALT - YELLOW
TYPICAL - 100mm WIDE PAINTED PARKING LINES
COLOR - YELLOW

PROVIDE HANDICAPPED PARKING SIGN "PERMIT REQUIRED"

MH REFER TO CIVIL DRAWINGS
CATCH BASIN REFER TO CIVIL DRAWINGS
EXISTING WATER SHUT OFF VALVE REFER TO CIVIL DRAWINGS
EXISTING FIRE HYDRANT REFER TO CIVIL DRAWINGS
EXISTING POWER POLE REFER TO CIVIL DRAWINGS
EXISTING LIGHT POST REFER TO CIVIL DRAWINGS
CATCH BASIN/MANHOLE REFER TO CIVIL DRAWINGS

TRANSFORMER w/ PEDESTAL REFER TO ELECTRICAL DRAWINGS

PROPOSED PYLON SIGN PERMIT BY OTHERS
PROPOSED LIGHT STANDARDS
PROPOSED CONCRETE SIDEWALK REFER TO CIVIL DRAWINGS

SUBJECT OF THIS APPLICATION
FUTURE, NOT IN CONTRACT
OUTDOOR PLAYGROUND
BIKE RACKS- EACH BIKE STALL IS 600mm x 1800mm

Approved September 8, 2023
Development Planner
Gas Bar applied separately

- building 1 - 3.2.2.68 not sprinklered
- building 2 - 3.2.2.25 not sprinklered
- building 3 - 3.2.2.68 not sprinklered
- building 4 - 3.2.2.28 not sprinklered
- building 5 - 3.2.2.68 not sprinklered
- building 6 - 3.2.2.28 not sprinklered
- building 7 - 3.2.2.85 not sprinklered
- building 8 - 3.2.2.68



PRELIMINARY
NOT FOR CONSTRUCTION

CLAROSCuro Architecture Inc
www.claroscuro.ca
502-10158 103 St. NW
Edmonton, AB, T5J 0X6

REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

OVERALL SITE PLAN

DATE PRINTED: April 25, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

JOB # 2314
DRAWN BY: TM

A001

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.

© This drawing is the copyright of Claroscura Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



DP REVISION (bldg 2 REDESIGN)

CLAROSCURA Architecture Inc
www.claroscura.ca
502-10158 103 St. NW
Edmonton, AB, T5J 0X6

REVISIONS	YYYY.MM.DD	
16	DP MAJOR REVISION (BLDG 2)	2023.12.15
16	RE-IFC FULL PKG (BLDG 1)	2023.12.13
15	RE-IFC FULL PKG (BLDG 3)	2023.12.13
15	RE-IFC FULL PKG (BLDG 4)	2023.12.12
14	RE-IFC FULL PKG (BLDG 6)	2023.12.11
13	RE-IFC FULL PKG (BLDG 7)	2023.11.29
12	RE-IFC FULL PKG (BLDG 8)	2023.11.24
FIRST ISSUE FOR EXPEDITING FOUNDATIONS. FULL IFC WILL BE PROVIDED FOR ALL BUILDINGS WITH MORE DETAIL		
11	ISSUE FOR CONSTRUCTION (BLDG 2)	2023.11.21
10	ISSUE FOR CONSTRUCTION (BLDG 1)	2023.11.02
9	ISSUE FOR CONSTRUCTION (BLDG 3)	2023.10.31
8	ISSUE FOR CONSTRUCTION (BLDG 4)	2023.10.30
7	ISSUE FOR CONSTRUCTION (BLDG 5)	2023.10.25
6	ISSUE FOR CONSTRUCTION (BLDG 6)	2023.10.17
5	ISSUE FOR CONSTRUCTION (BLDG 8)	2023.10.03
4	RE-ISSUE FOR BUILDING PERMIT	2023.10.03
3	ISSUE FOR BUILDING PERMIT	2023.08.25
2	RE-ISSUED FOR DP w/ additional info	2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

OVERALL SITE PLAN

DATE PRINTED: December 15, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

JOB # 2314

DRAWN BY: TM

A004

DEVELOPMENT STATISTICS

LEGAL DESCRIPTION: LOT 1, BLOCK 5, PLAN 1920554
MUNICIPAL ADDRESS: 4901 - 30 AVENUE, Beaumont, Alberta T4X 1T9

PROPOSED USE OF BUILDING: COMMERCIAL (8 BUILDINGS)
ZONING: COMMERCIAL DISTRICT (C)

SETBACKS REQUIRED: 3M
SETBACKS PROVIDED: 3M

TOTAL SITE AREA: 218595 sqft (20,308.136 sqm)

PROPOSED BUILDING AREA: 39762 sqft (3694m²)

BUILDING FAR: 0.18
MAX FAR: 1.5
GAS BAR SITE COVERAGE: 3329 sq ft (309.3m²)
FAR WITH GAS BAR: 3,975.3/20,308 = 0.19FAR

MAX HEIGHT ALLOWED: 39'-4.5" (12m)
PROPOSED HEIGHT: 31'-5" (9.45m)

PROPOSED USE OF BUILDINGS:
BUILDING 1: CRU TOTAL AREA: 530m²
BUILDING 2: OFFICE TOTAL AREA: 415m²
BUILDING 3: CRU TOTAL AREA: 588m²
BUILDING 4: DAYCARE TOTAL AREA: 444m²
BUILDING 5: CRU TOTAL AREA: 703m²
BUILDING 6: DRIVE-IN SERVICES TOTAL AREA: 305m²

CARWASH (BLDG 7): TOTAL AREA: 228m²
BUILDING 8: DRIVE-IN SERVICE, C-STORE TOTAL AREA: 481m²

PROPOSED BUILDING STALLS (COMMERCIAL): 1 SPACE PER 100m² (1) 3668m² / 40 : 91.65 = 92 STALLS
PARKING REQUIRED: 92
PARKING PROVIDED: 106
BARRIER FREE STALLS REQ'D: 4
PROVIDED: 6
LOADING SPACE PROVIDED: 5

BICYCLE PARKING (SEE LANDSCAPE PLANS)
TOTAL REQUIRED: 6 PER 4,600m² (OR 6 PER BUILDING)
TOTAL PROVIDED: 7 BUILDINGS (NOT COUNTING CAR WASH) 6X7 = 42

LEGEND

PROPERTY LINE
SETBACK
RETAINING WALL
PROPOSED FENCE
FUTURE USE
H/C SPLAY

INDICATES DESIGNATED H/C PARKING STALL
PAINT TYPICAL LOGO ON ASPHALT - YELLOW

TYPICAL - 100mm WIDE PAINTED PARKING LINES
COLOR - YELLOW

PROVIDE HANDICAPPED PARKING SIGN
"PERMIT REQUIRED"

MH MANHOLE REFER TO CIVIL DRAWINGS
CATCH BASIN REFER TO CIVIL DRAWINGS
EXISTING WATER SHUT OFF VALVE REFER TO CIVIL DRAWINGS
EXISTING FIRE HYDRANT REFER TO CIVIL DRAWINGS
EXISTING POWER POLE REFER TO CIVIL DRAWINGS
EXISTING LIGHT POST REFER TO CIVIL DRAWINGS
CATCH BASIN/MANHOLE REFER TO CIVIL DRAWINGS

TRANSFORMER w/ PEDESTAL REFER TO ELECTRICAL DRAWINGS

PROPOSED PYLON SIGN PERMIT BY OTHERS

PROPOSED LIGHT STANDARDS SEE ELECTRICAL

PROPOSED CONCRETE SIDEWALK REFER TO CIVIL DRAWINGS

SUBJECT OF THIS APPLICATION

FUTURE, NOT IN CONTRACT

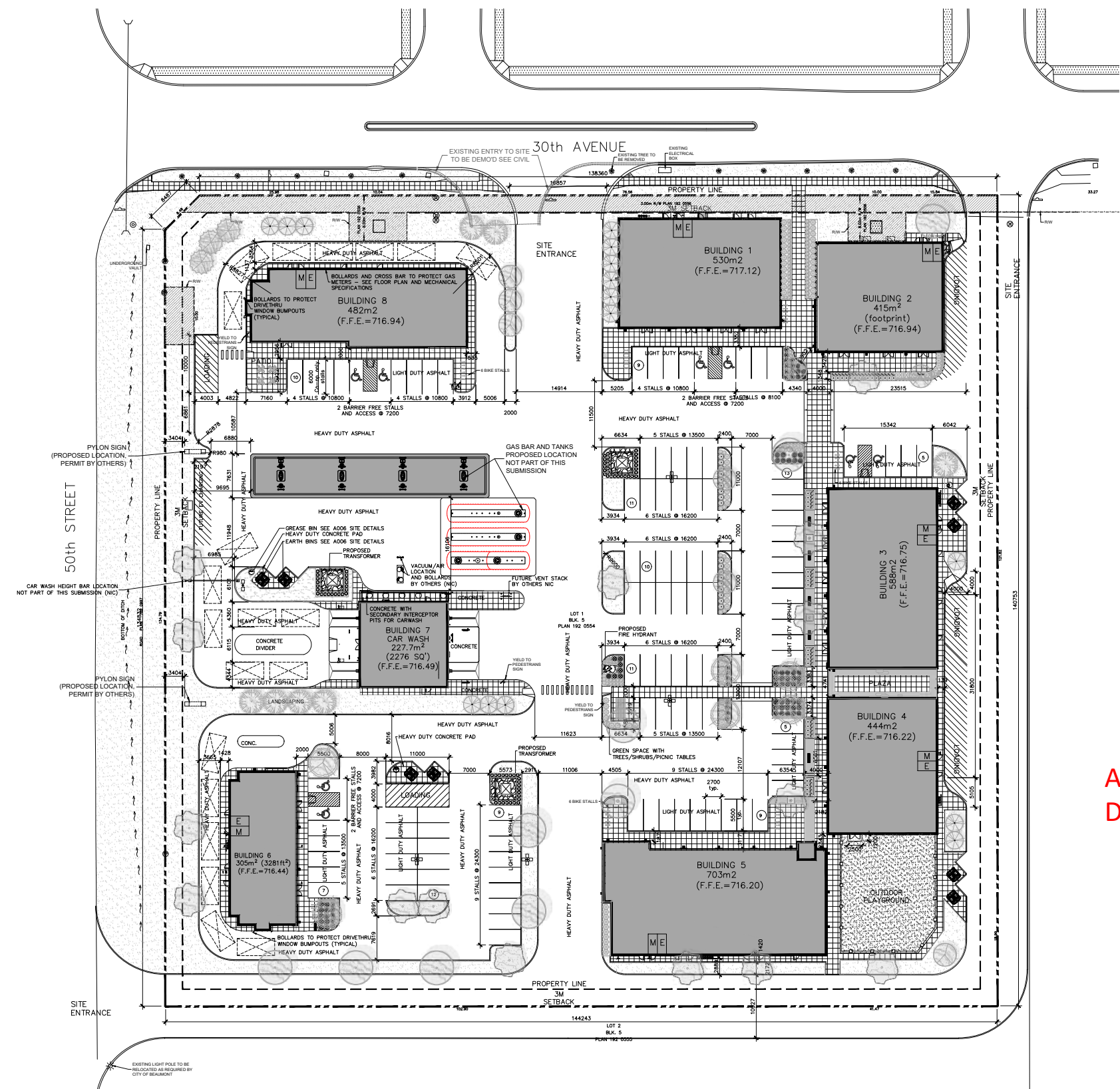
OUTDOOR PLAYGROUND

BIKE RACKS - EACH BIKE STALL IS 600mm x 1800mm

PROPOSED EARTH BIN FOR GARBAGE AND RECYCLING SEE ADOE SITE DETAILS
PROPOSED EARTH BIN SILO FOR GREASE SEE ADOE SITE DETAILS
GRATING FOR TREES
CONCRETE BLOCK PLANTERS

NOTE: CONFIRM UTILITY LOCATIONS AND FFE OF ALL BUILDINGS WITH CIVIL DRAWINGS

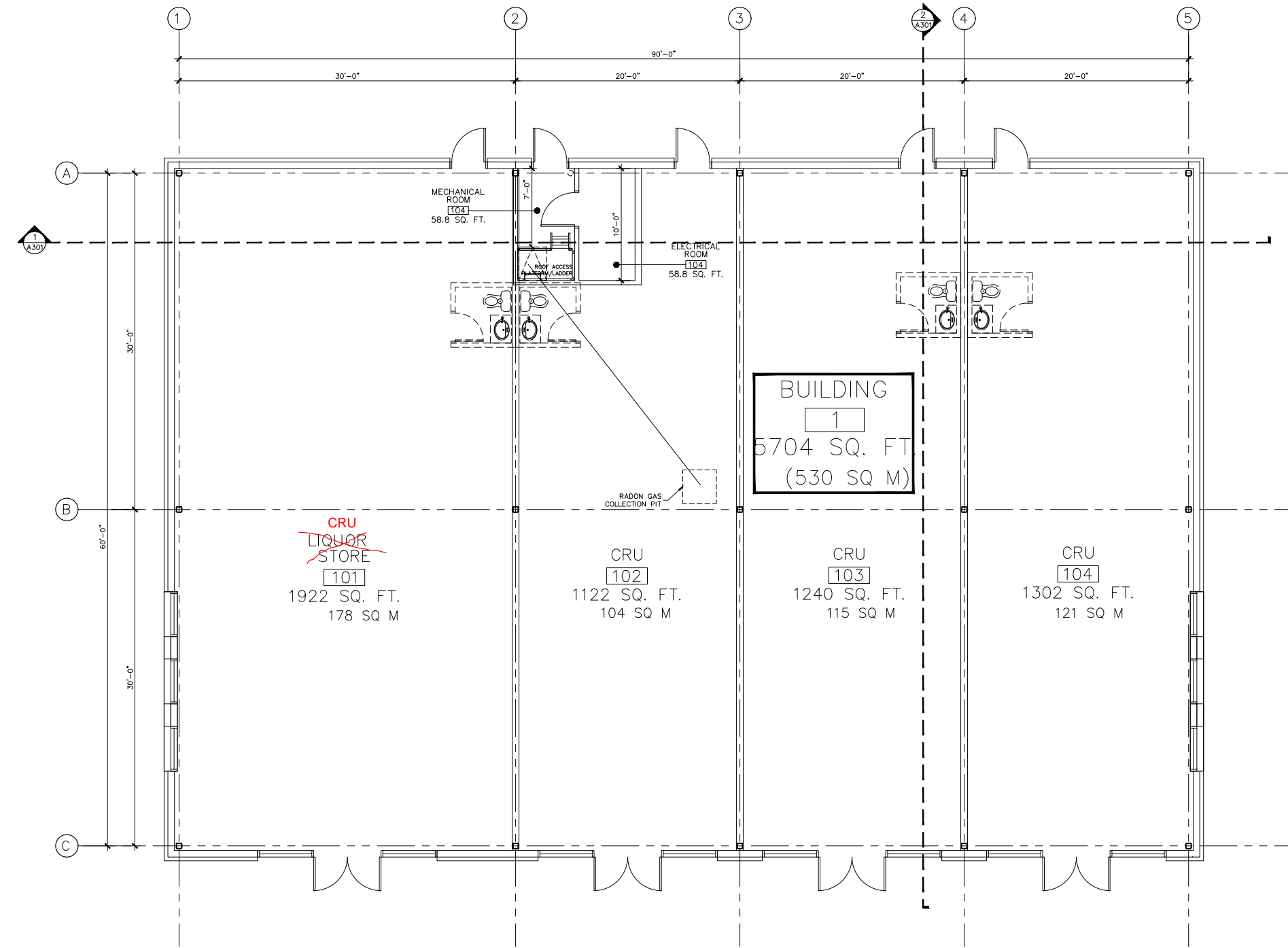
Approved April 8, 2024
Development Planner



1 OVERALL SITE PLAN
A004 SCALE 1 : 400

© This drawing is the copyright of
 Claroscuro Architecture Inc. and may
 not be reproduced without permission.

Contractor shall read drawing in
 conjunction with written specifications.
 All area calculations, dimensions and
 conditions shall be verified on site.
 Readers are advised to use at your own
 risk.
 Any questions shall be directed to the
 Architect prior to proceeding with
 construction.
 Do not scale drawings.



1 MAIN FLOOR PLAN
 A101
 3/16" = 1'-0"

Approved September 8, 2023
 Development Planner



PRELIMINARY
 NOT FOR CONSTRUCTION



REVISIONS		YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL COMMERCIAL

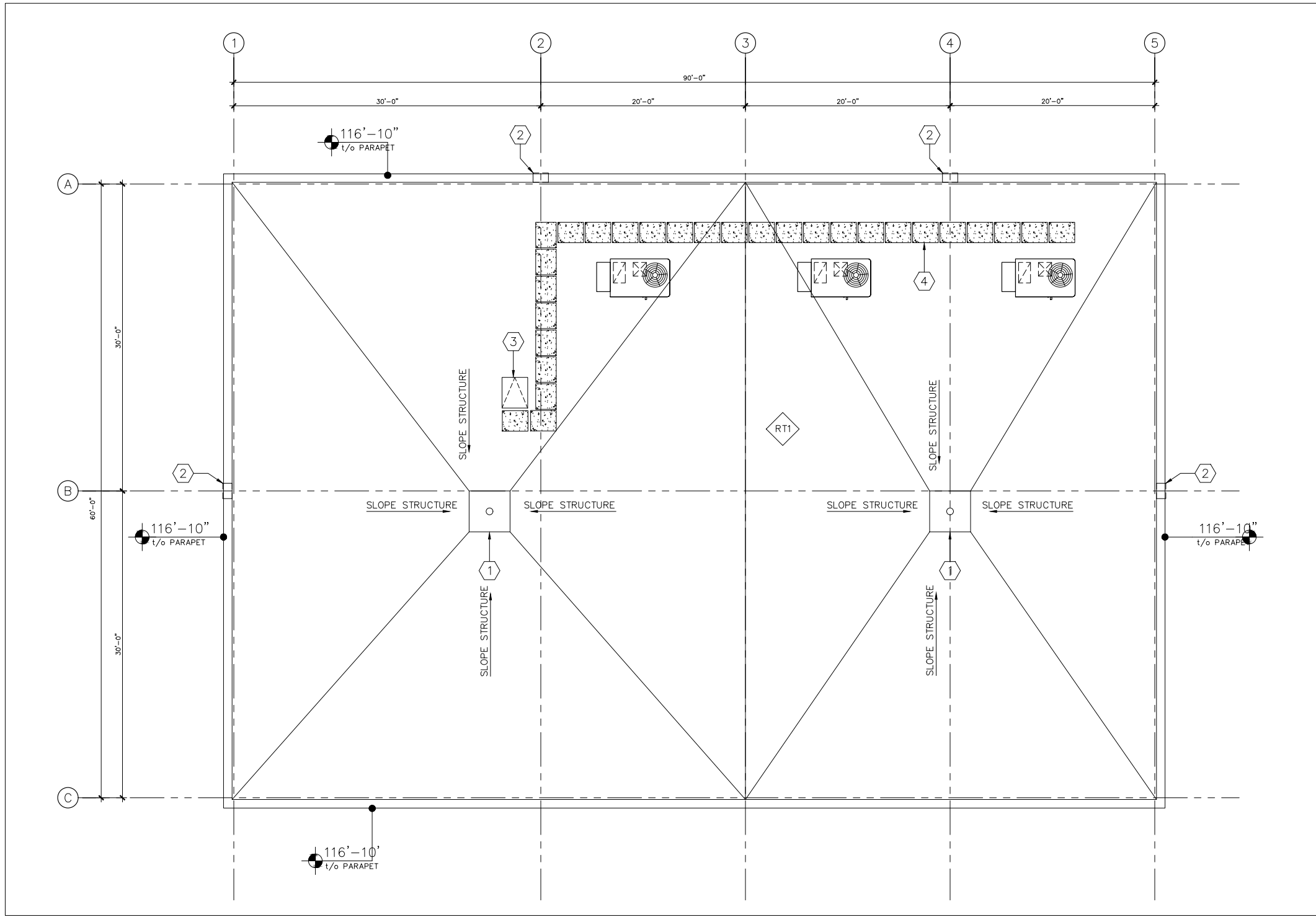
BLDG '1'

4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

MAIN FLOOR PLAN	
DATE PRINTED: April 25, 2023 <small>FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE</small>	A101
JOB # 2314	
DRAWN BY: TM	

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



- ROOF LEGEND:**
- ① ROOF DRAIN (REFER TO DETAIL A/A103)
 - ② ROOF SCUPPER (REFER TO DETAIL B/A103)
 - ③ ROOF HATCH (REFER TO DETAIL C/A103)
 - ④ CONCRETE PAVERS



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1 ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

Approved September 8, 2023
Development Planner



BEAU VAL COMMERCIAL

BLDG '1'

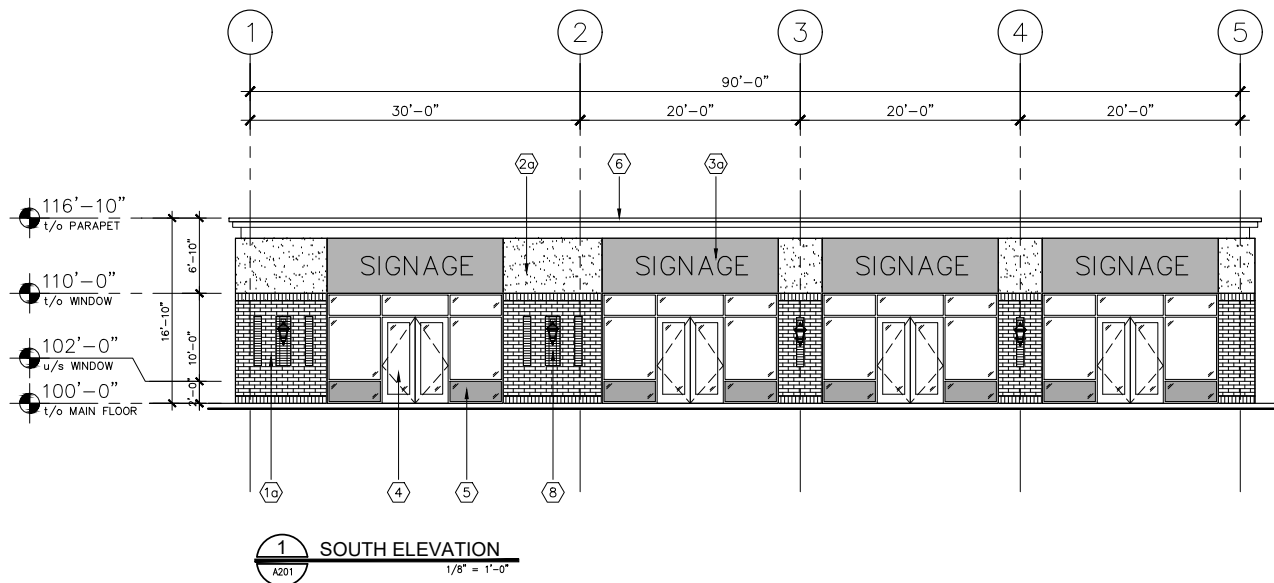
4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

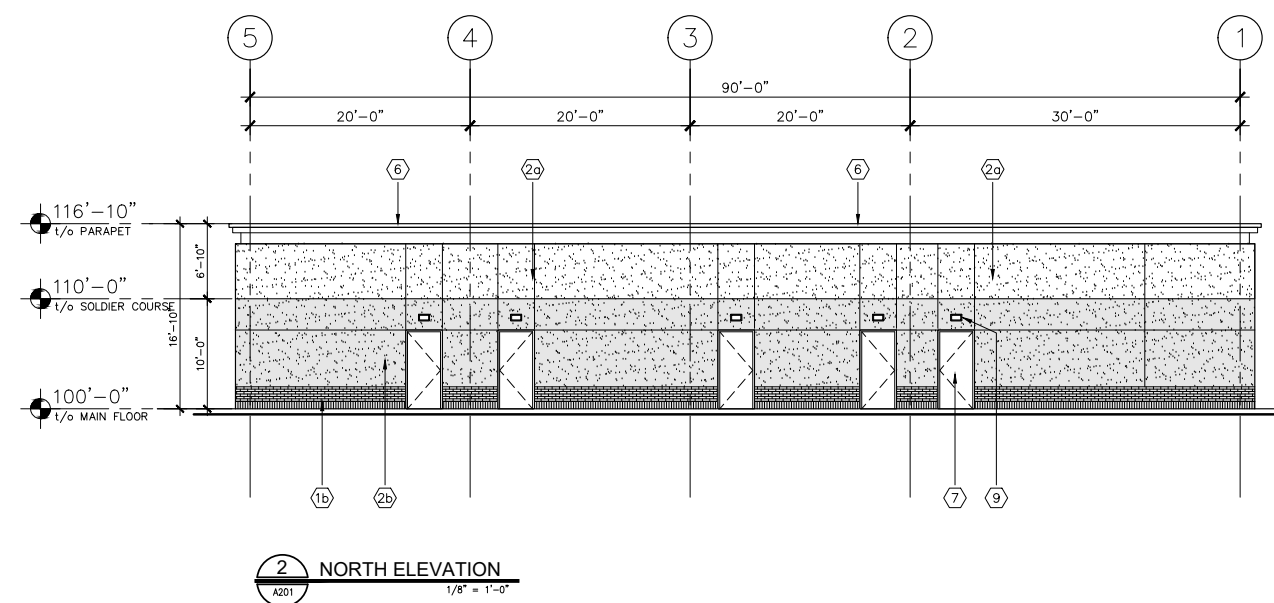
1 ROOF PLAN
A102 3/16" = 1'-0"

ROOF PLAN	
DATE PRINTED: April 25, 2023 FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE	A102
JOB # 2314	
DRAWN BY: TM	

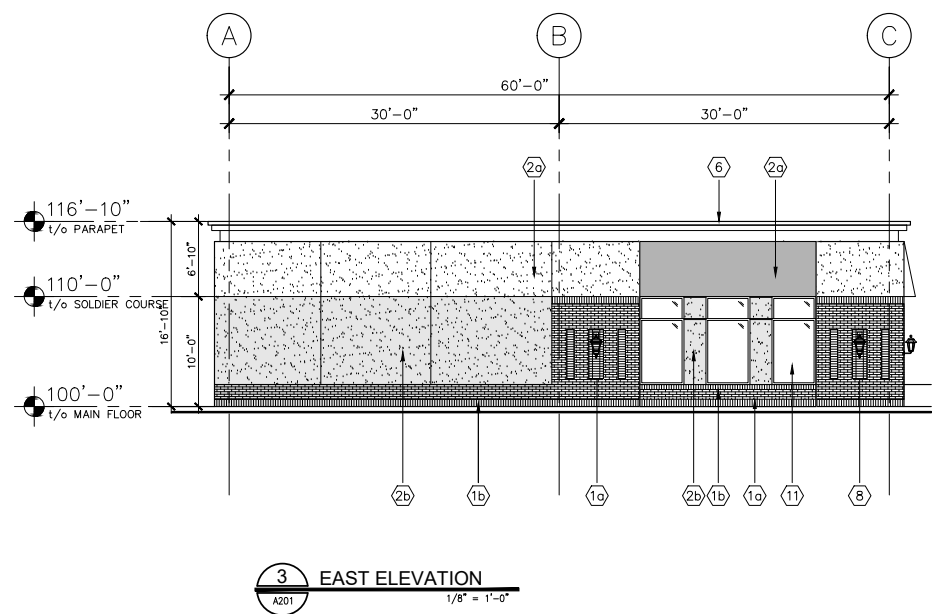
Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



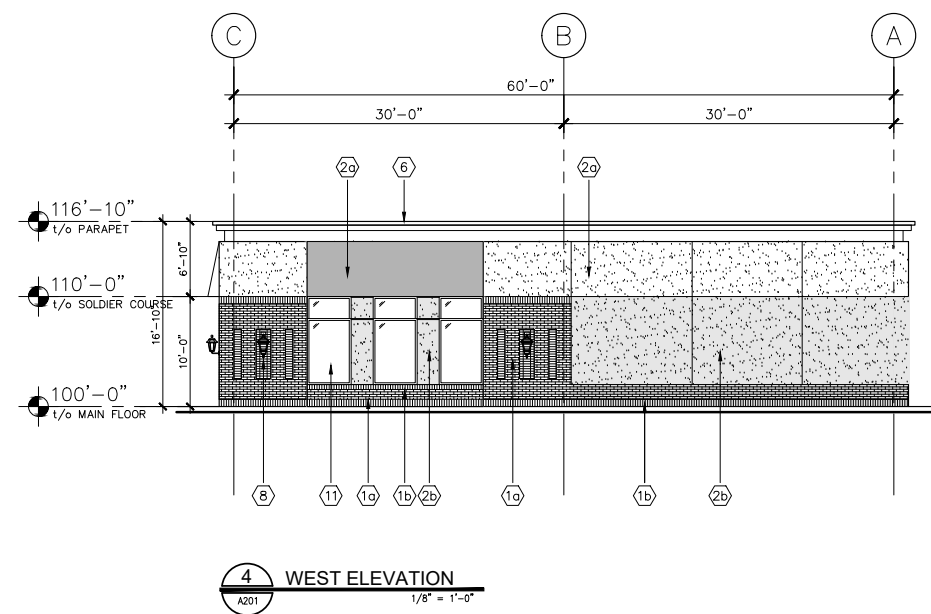
1 SOUTH ELEVATION
A201
1/8" = 1'-0"



2 NORTH ELEVATION
A201
1/8" = 1'-0"



3 EAST ELEVATION
A201
1/8" = 1'-0"



4 WEST ELEVATION
A201
1/8" = 1'-0"

- ELEVATION KEYNOTES**
- 1a BRICK 1a- MODULAR SIZE
MANUFACTURER: GLEN-GERY
COLOUR: TBC
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY.
 - 1b BRICK 1b- MODULAR SIZE
MANUFACTURER: GLEN-GERY
COLOUR: COAL CITY BLACK
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY
 - 2a EIFS - WHITE
MANUFACTURER - TBD
COLOUR: BM CALM or equivalent
TEXTURE: MARBLE COAT 1.5
 - 2b EIFS - BLACK
MANUFACTURER - TBD
COLOUR: TBC
TEXTURE: MARBLE COAT 1.5
 - 3a TENANT SIGNAGE ON BLACK FABRIC
AWNING ON LIGHT METAL FRAME
 - 3b BLACK FABRIC AWNING
ON LIGHT METAL FRAME
 - 4 BLACK ALUMINUM STOREFRONT DOORS AND WINDOWS
w/ SEALED UNIT GLAZING
 - 5 BLACK SPANDREL GLASS
 - 6 PREFINISHED ALUMINUM CAP FLASHING
CASCADIA - BLACK
CODE: QCB262
 - 7 INSULATED HOLLOW METAL DOOR
c/w PRESSED STEEL FRAME
COLOUR: BLACK
 - 8 EXTERIOR WALL SCONCE
COL12/XCA-UP
 - 9 WALL PACK.
SEE ELECTRICAL.
Align base of fixture with brick coursing
 - 10 CONTROL JOINT
 - 11 BLACK ALUMINUM PUNCH WINDOW
 - 12 DRIVE THRU WINDOW WITH AIR CURTAIN
 - 13 FIBER CEMENT PANEL
 - 14 ACM PANELS IN CO-OP RED

Approved September 8, 2023
Development Planner



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL COMMERCIAL

BLDG '1'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

EXTERIOR ELEVATIONS

DATE PRINTED: April 25, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

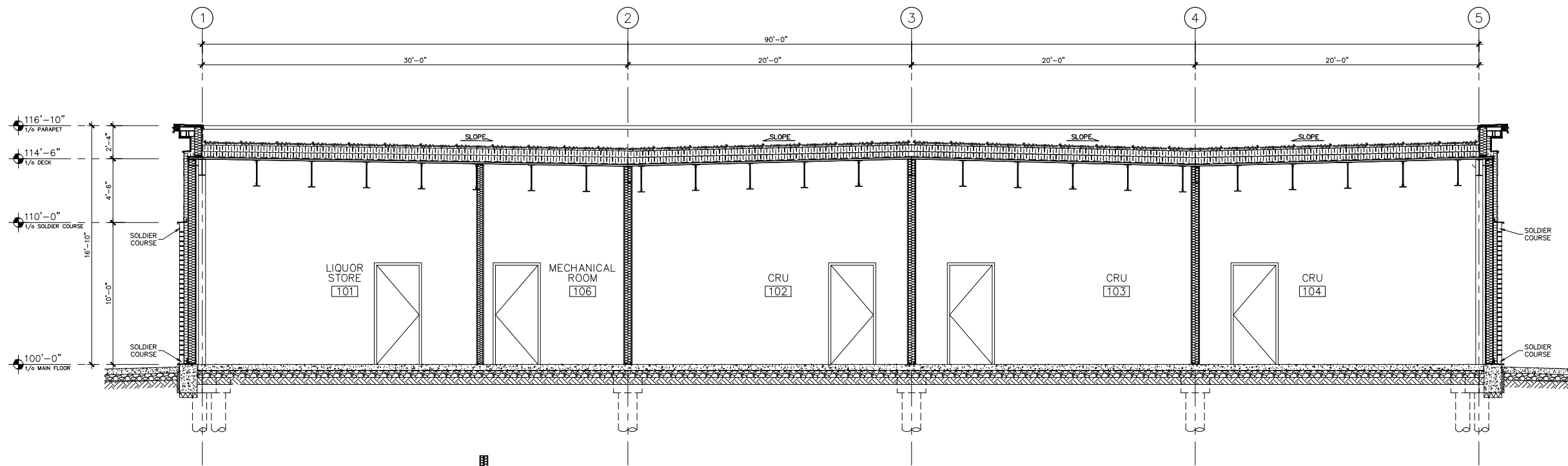
JOB # 2314

DRAWN BY: TM

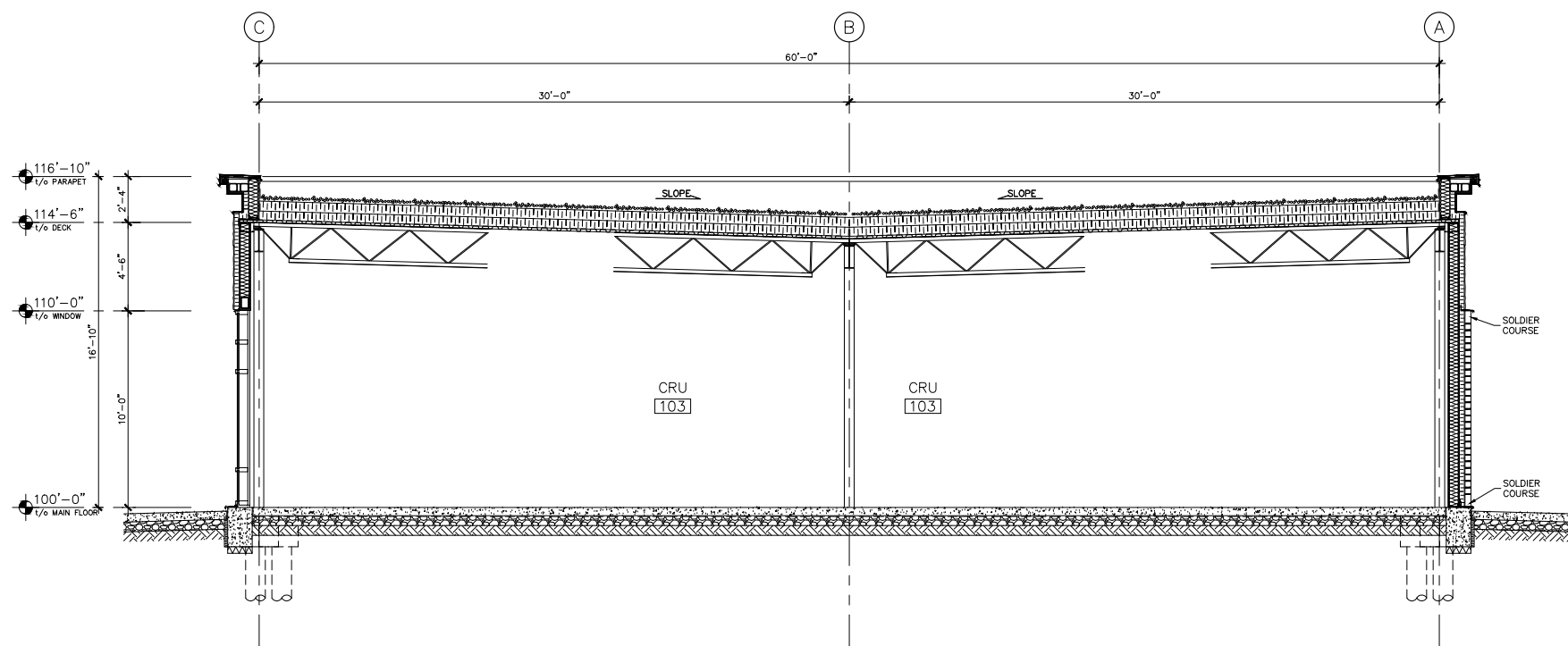
A201

© This drawing is the copyright of
 Claroscuro Architecture Inc. and may
 not be reproduced without permission.

Contractor shall read drawing in
 conjunction with written specifications.
 All area calculations, dimensions and
 conditions shall be verified on site.
 Readers are advised to use at your own
 risk.
 Any questions shall be directed to the
 Architect prior to proceeding with
 construction.
 Do not scale drawings.



1 BUILDING SECTION
 A301 1/4" = 1'-0"



2 BUILDING SECTION
 A301 1/4" = 1'-0"

Approved September 8, 2023
 Development Planner



PRELIMINARY
 NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1 ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL
 COMMERCIAL

BLDG '1'

4901 - 30 AVENUE
 Beaumont, Alberta

BUILDING SECTIONS

DATE PRINTED: April 25, 2023
 FOR MILESTONE DATES SEE
 REVISIONS COLUMN ABOVE.

JOB # 2314

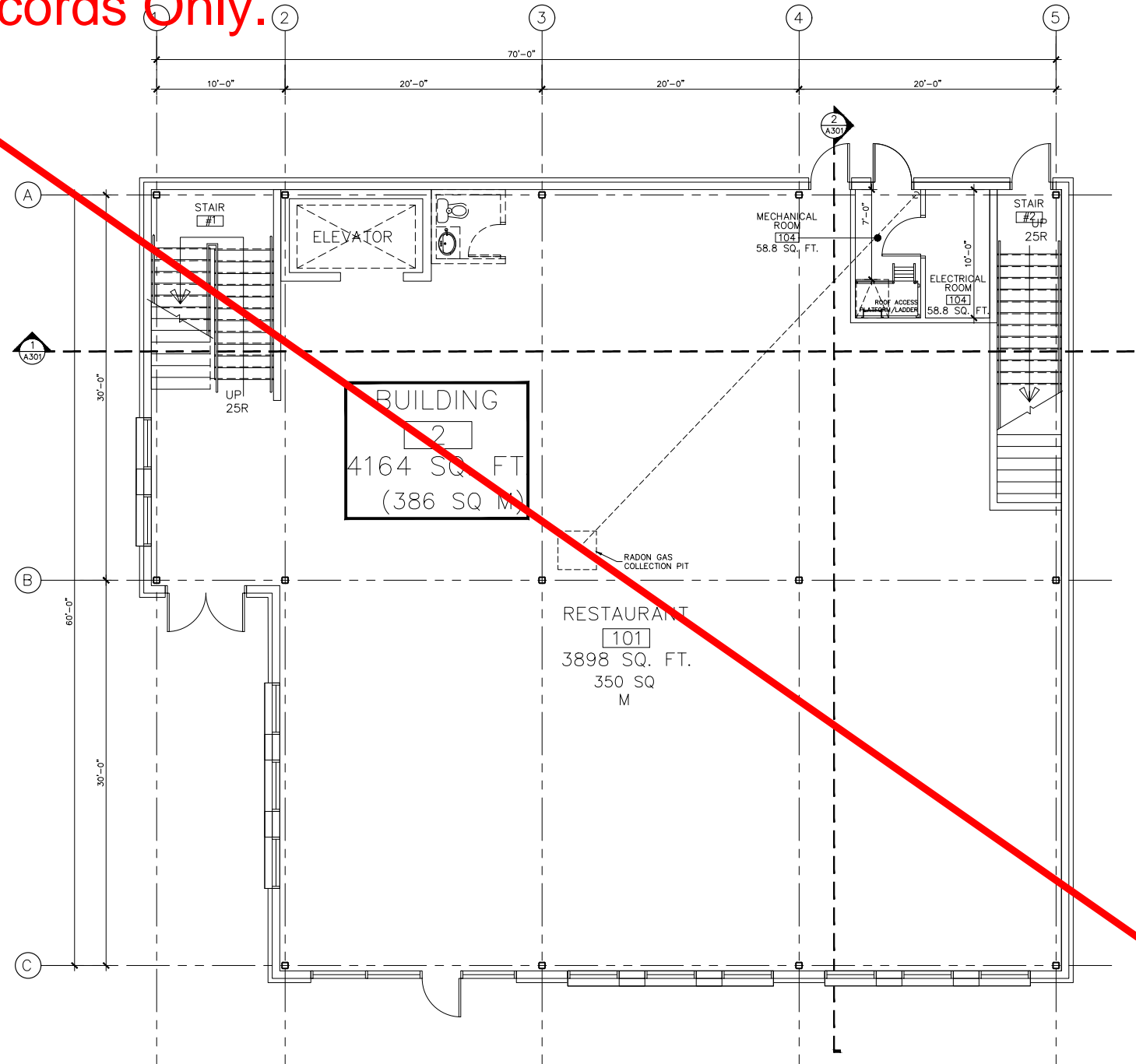
DRAWN BY: TM

A301

Replaced. Void. For
Records Only.

© This drawing is the copyright of
Clarscuro Architecture Inc. and may
not be reproduced without permission.

Contractor shall read drawing in
conjunction with written specifications.
All area calculations, dimensions and
conditions shall be verified on site.
Readers are advised to use at your own
risk.
Any questions shall be directed to the
Architect prior to proceeding with
construction.
Do not scale drawings.



Approved September 8, 2023
Development Planner



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL
COMMERCIAL

BLDG '2'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

MAIN FLOOR
PLAN

DATE PRINTED: April 25, 2023
FOR MILESTONE DATES SEE
REVISIONS COLUMN ABOVE

JOB # 2314

DRAWN BY: TM

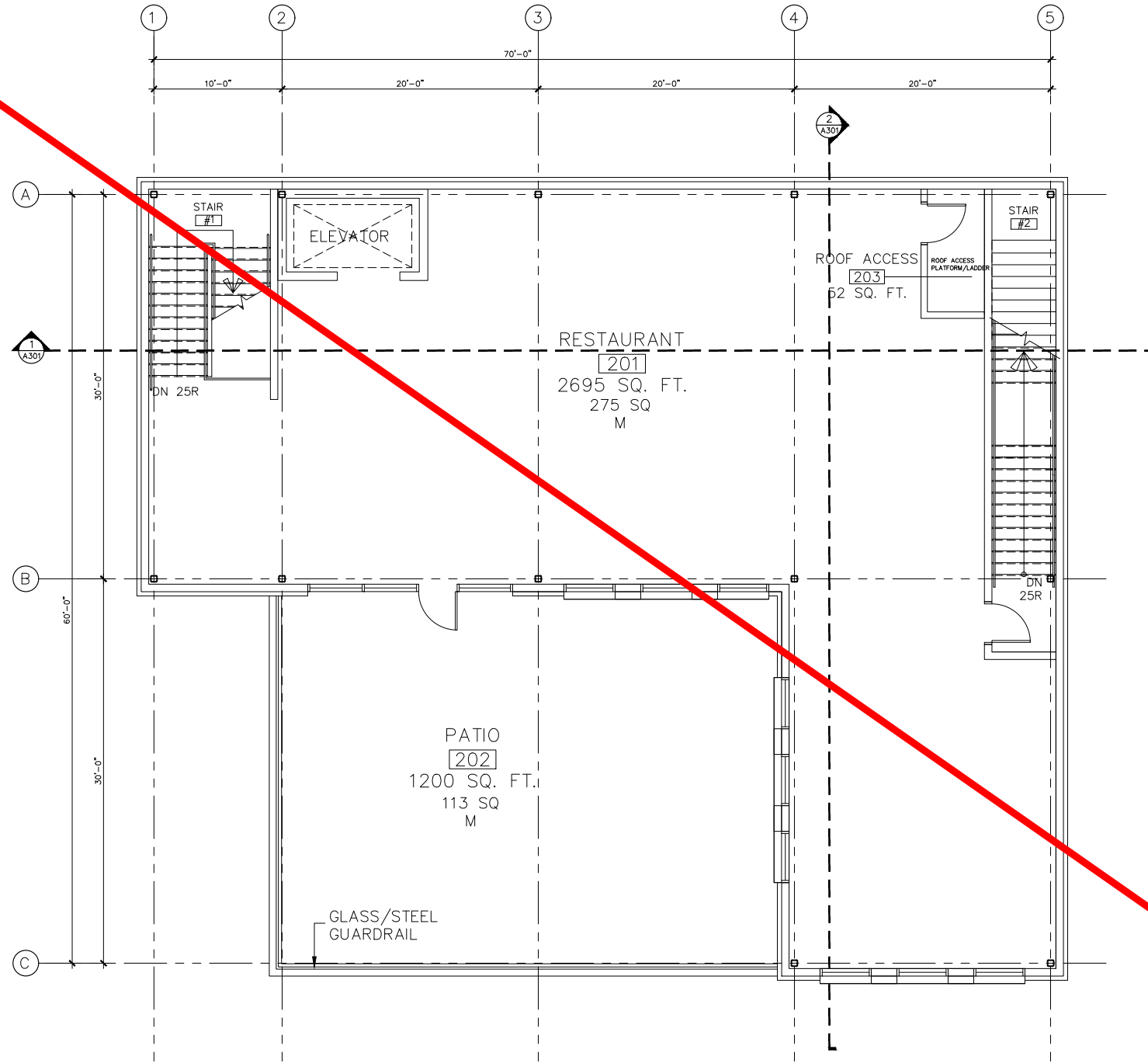
A101

1 MAIN FLOOR PLAN
A101
3/16" = 1'-0"

Replaced. Void. For
Records Only.

© This drawing is the copyright of
Clarscuro Architecture Inc. and may
not be reproduced without permission.

Contractor shall read drawing in
conjunction with written specifications.
All area calculations, dimensions and
conditions shall be verified on site.
Readers are advised to use at your own
risk.
Any questions shall be directed to the
Architect prior to proceeding with
construction.
Do not scale drawings.



Approved September 8, 2023
Development Planner



1 SECOND FLOOR PLAN
A102
3/16" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL
COMMERCIAL

BLDG '2'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

SECOND FLOOR
PLAN

DATE PRINTED: April 25, 2023
FOR MILESTONE DATES SEE
REVISIONS COLUMN ABOVE

JOB # 2314

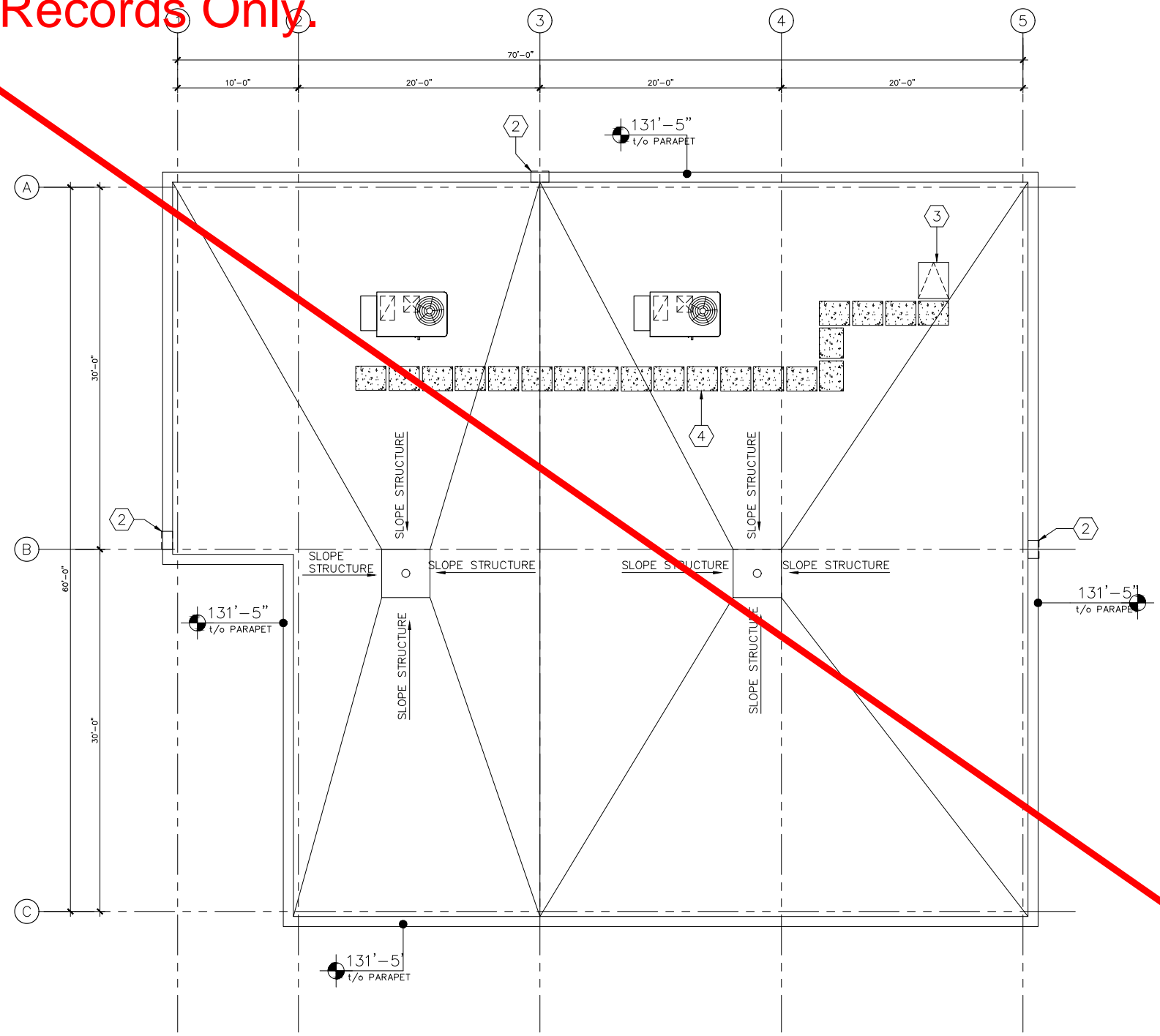
DRAWN BY: TM

A102

Replaced. Void. For
Records Only.

© This drawing is the copyright of
Clarosuro Architecture Inc. and may
not be reproduced without permission.

Contractor shall read drawing in
conjunction with written specifications.
All area calculations, dimensions and
conditions shall be verified on site.
Readers are advised to use at your own
risk.
Any questions shall be directed to the
Architect prior to proceeding with
construction.
Do not scale drawings.



ROOF LEGEND:

- ① ROOF DRAIN
(REFER TO DETAIL
A/A103)
- ② ROOF SCUPPER
(REFER TO DETAIL
B/A103)
- ③ ROOF HATCH
(REFER TO DETAIL
C/A103)
- ④ CONCRETE PAVERS



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

Approved September 8, 2023
Development Planner



BEAU VAL
COMMERCIAL

BLDG '2'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

1 ROOF PLAN
A103 3/16" = 1'-0"

ROOF PLAN	
DATE PRINTED: April 25, 2023 FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE	A103
JOB # 2314	
DRAWN BY: TM	

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL COMMERCIAL

BLDG '2'

4901 - 30 AVENUE
Beaumont, Alberta

DATE PRINTED: April 25, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

JOB # 2314

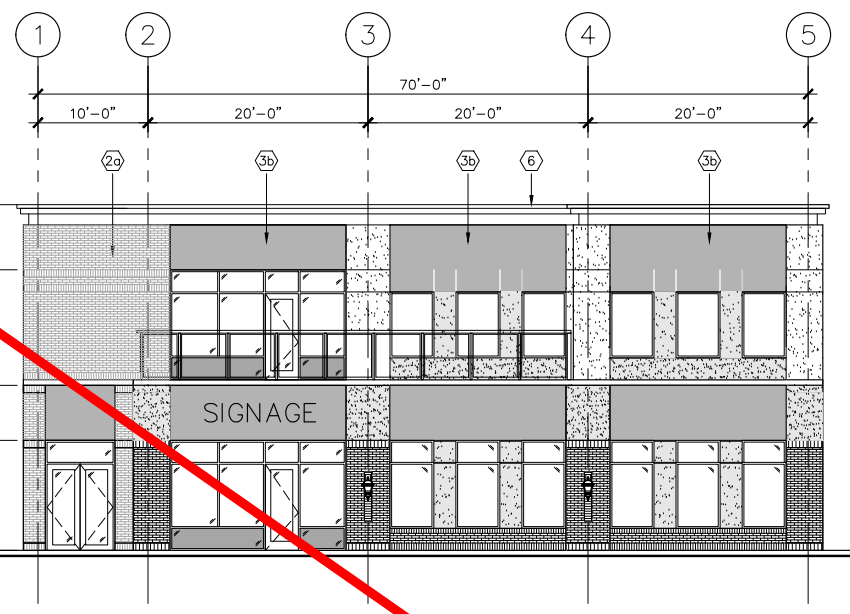
DRAWN BY: TM

A201

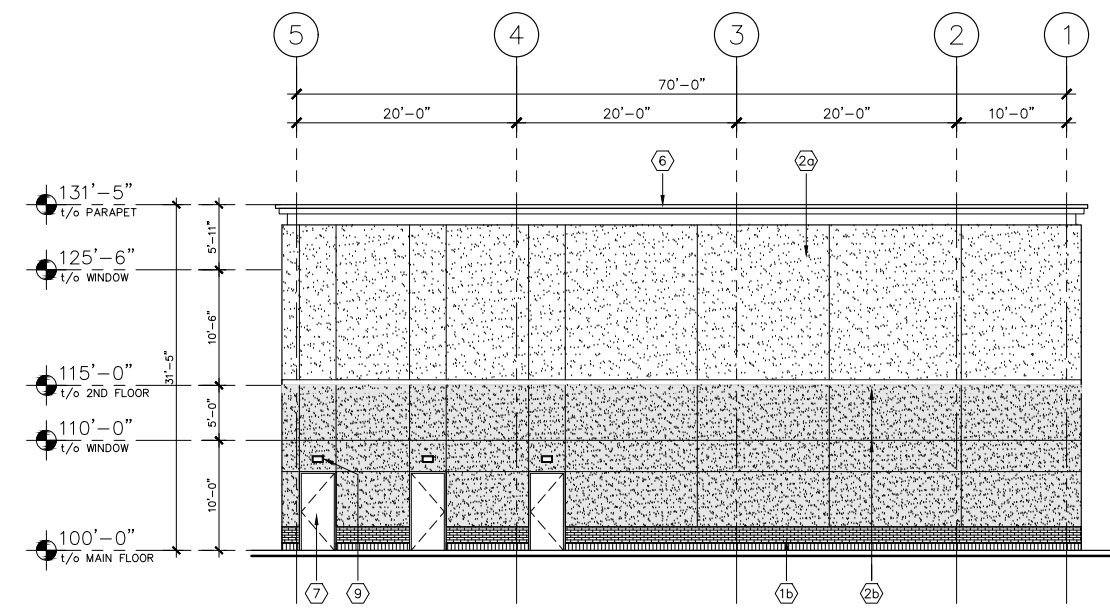
Replaced. Void. For Records Only.

Approved September 8, 2023
Development Planner

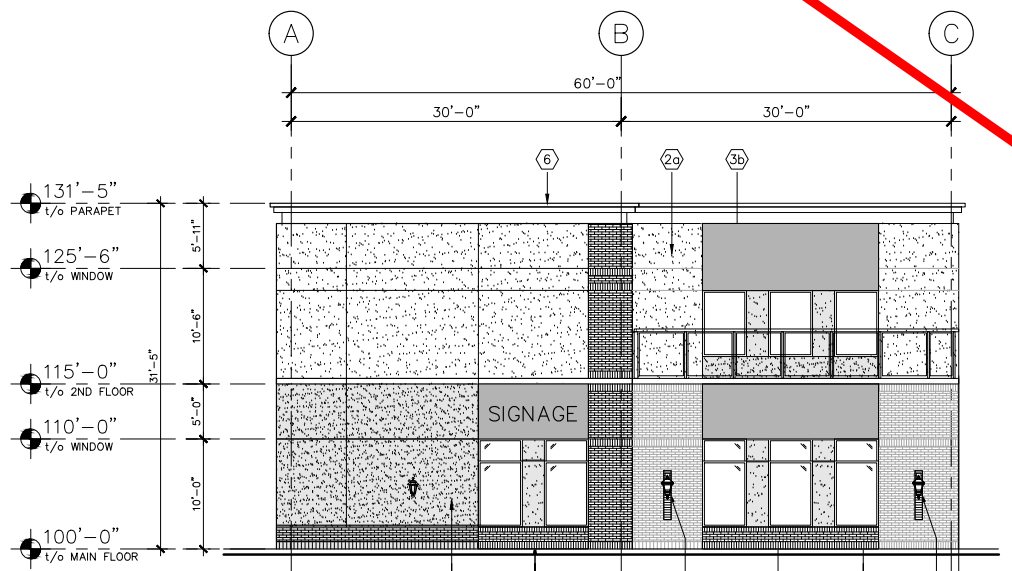
- ELEVATION KEYNOTES**
- 1a) BRICK 1a-- MODULAR SIZE
MANUFACTURER: GLEN-GERY
COLOUR: TBC
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY.
 - 1b) BRICK 1b-- MODULAR SIZE
MANUFACTURER: GLEN-GERY
COLOUR: COAL CITY BLACK
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY
 - 2a) EIFS - WHITE
MANUFACTURER - TBD
COLOUR: BM CALM or equivalent
TEXTURE: MARBLE COAT 1.5
 - 2b) EIFS - BLACK
MANUFACTURER - TBD
COLOUR: TBC
TEXTURE: MARBLE COAT 1.5
 - 3a) TENANT SIGNAGE ON BLACK FABRIC
AWNING ON LIGHT METAL FRAME
 - 3b) BLACK FABRIC AWNING
ON LIGHT METAL FRAME
 - 4) BLACK ALUMINUM STOREFRONT DOORS AND WINDOWS
w/ SEALED UNIT GLAZING
 - 5) BLACK SPANDREL GLASS
 - 6) PREFINISHED ALUMINUM CAP FLASHING
CASCADIA - BLACK
CODE: QC8262
 - 7) INSULATED HOLLOW METAL DOOR
c/w PRESSED STEEL FRAME
COLOUR: BLACK
 - 8) EXTERIOR WALL SCONCE
COL12/XCA-UP
 - 9) WALL PACK.
SEE ELECTRICAL.
Align base of fixture with brick coursing
 - 10) CONTROL JOINT
 - 11) BLACK ALUMINUM PUNCH WINDOW
 - 12) DRIVE THRU WINDOW WITH AIR CURTAIN
 - 13) FIBER CEMENT PANEL
 - 14) ACM PANELS IN CO-OP RED



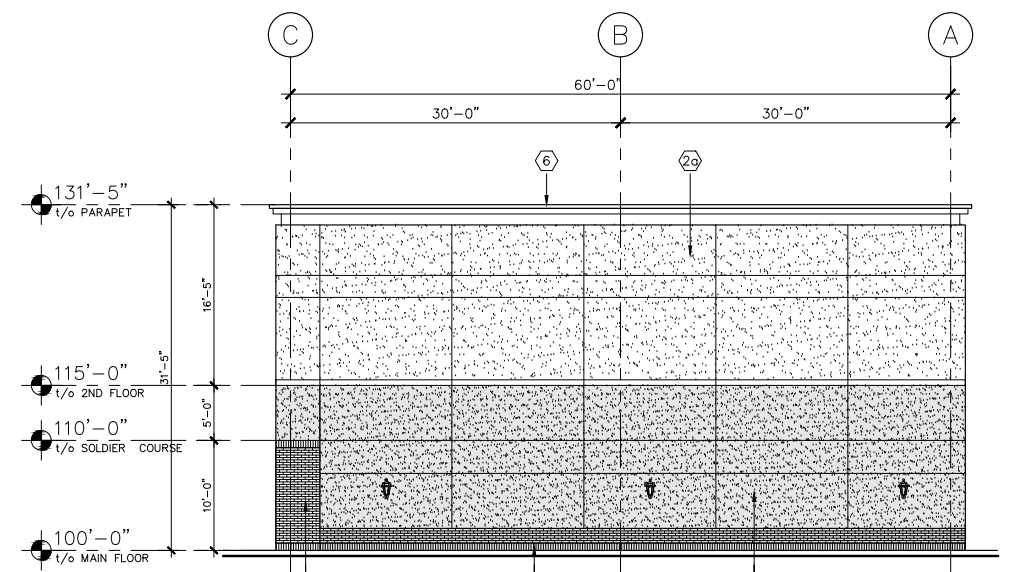
1 SOUTH ELEVATION
A201 1/8" = 1'-0"



2 NORTH ELEVATION
A201 1/8" = 1'-0"



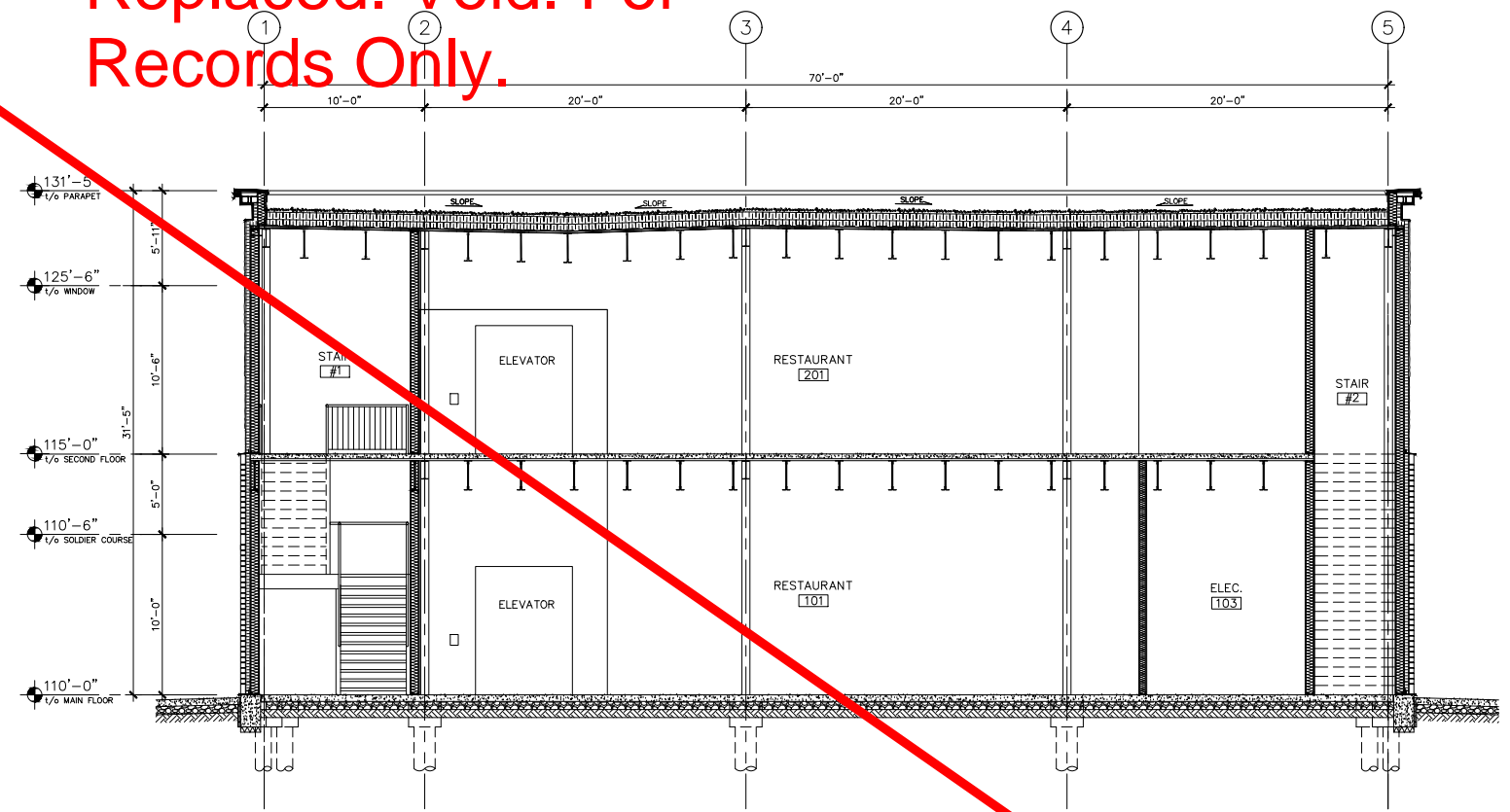
3 WEST ELEVATION
A201 1/8" = 1'-0"



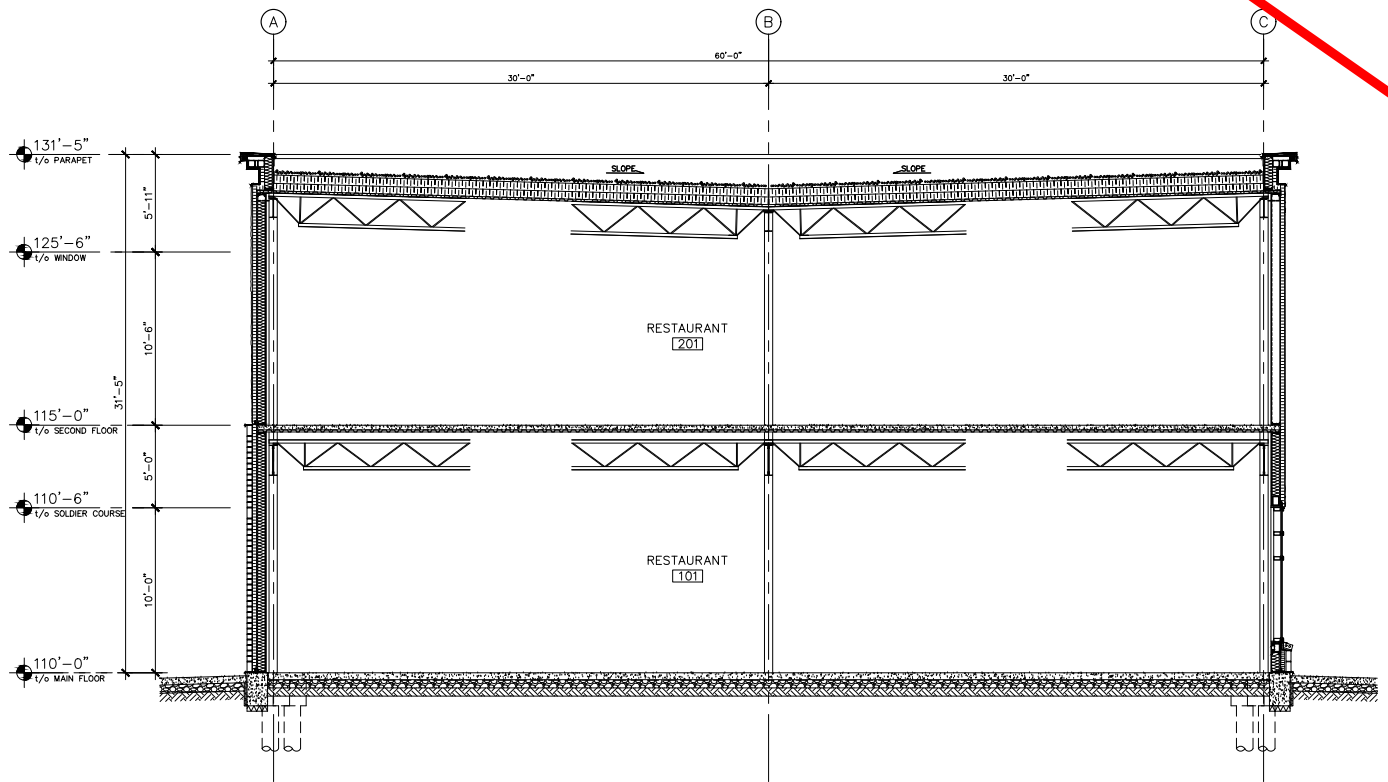
4 EAST ELEVATION
A201 1/8" = 1'-0"

Replaced. Void. For Records Only.

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.
 Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



1 BUILDING SECTION
 3/16" = 1'-0"



2 BUILDING SECTION
 1/4" = 1'-0"

Approved September 8, 2023
 Development Planner



PRELIMINARY
 NOT FOR CONSTRUCTION

CLAROSCURO
 Architecture Inc
 www.claroscuro.ca
 902-3018 103 St. NW
 Edmonton, AB, T5J 0R6

REVISIONS		YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL
 COMMERCIAL

BLDG '2'

4901 - 30 AVENUE
 Beaumont, Alberta

BUILDING
 SECTIONS

DATE PRINTED: April 25, 2023
 FOR MILESTONE DATES SEE
 REVISIONS COLUMN ABOVE.

JOB # 2314

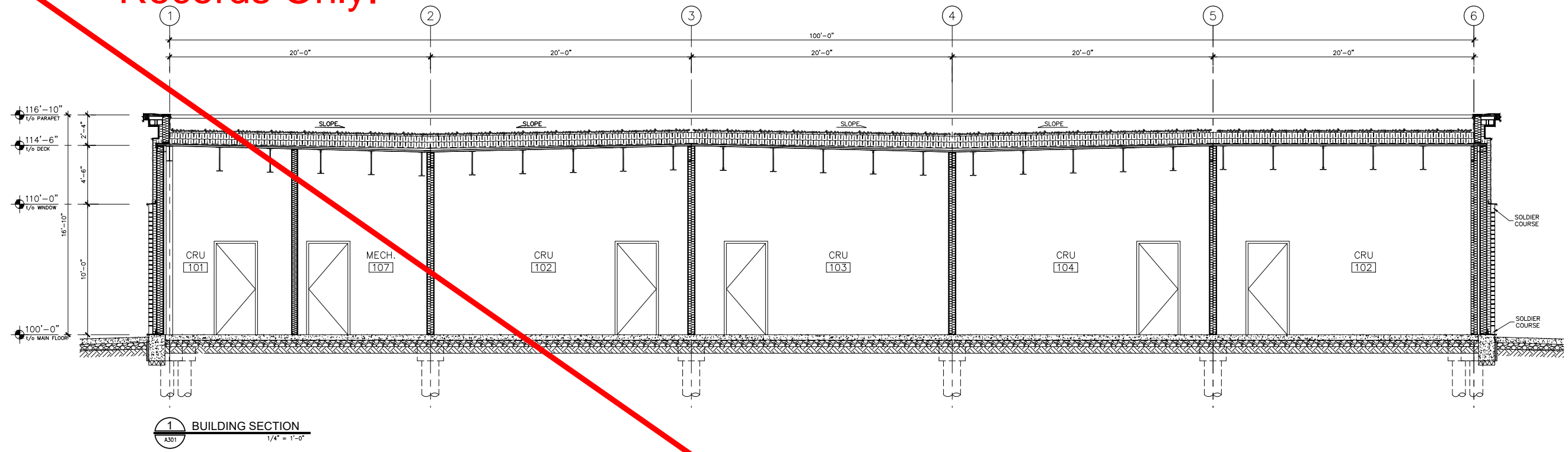
DRAWN BY: TM

A301

Replaced. Void. For
Records Only.

© This drawing is the copyright of
Clarscuro Architecture Inc. and may
not be reproduced without permission.

Contractor shall read drawing in
conjunction with written specifications.
All area calculations, dimensions and
conditions shall be verified on site.
Readers are advised to use at your own
risk.
Any questions shall be directed to the
Architect prior to proceeding with
construction.
Do not scale drawings.

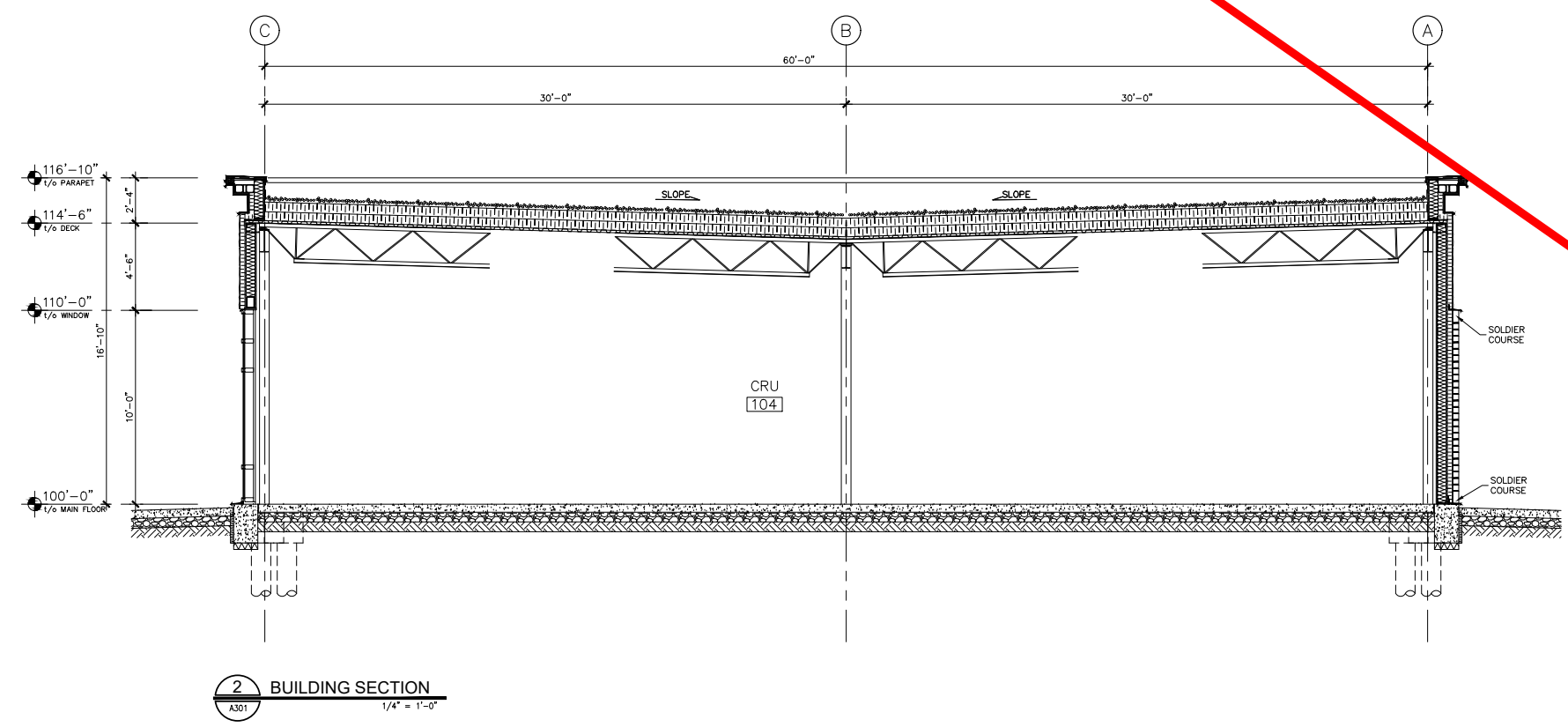


PRELIMINARY
NOT FOR CONSTRUCTION



Approved September 8, 2023
Development Planner [Redacted]

REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25



BEAU VAL
COMMERCIAL

BLDG '2'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

BUILDING
SECTIONS

DATE PRINTED: April 25, 2023
FOR MILESTONE DATES SEE
REVISIONS COLUMN ABOVE.

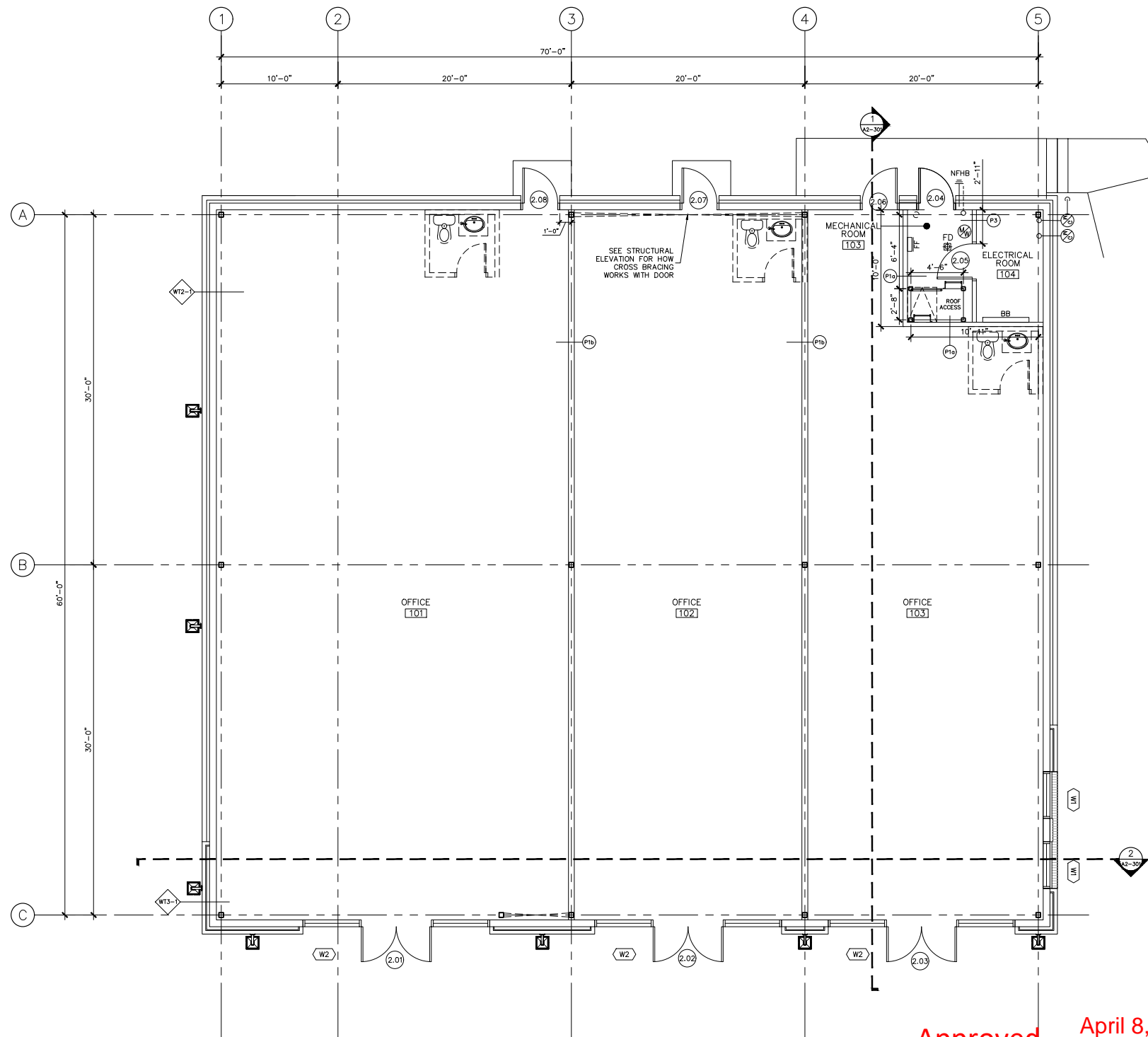
JOB # 2314

DRAWN BY: TM

A301

© This drawing is the copyright of Clarosuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



OVERALL BUILDING 4464 SQ FT
MEASURED TO OUTSIDE EDGE OF
SHEATHING

Approved April 8, 2024
Development Planner



DP REVISION
(bldg 2 REDESIGN)

CLAROSURO
Architecture Inc
www.clarosuro.ca
502-10158 103 St. NW
Edmonton, AB, T5J 0X6

REVISIONS	YYYY.MM.DD
17	DP MAJOR REVISION (BLDG 2) 2023.12.15
16	RE-IFC FULL PKG (BLDG 1) 2023.12.13
15	RE-IFC FULL PKG (BLDG 3) 2023.12.13
15	RE-IFC FULL PKG (BLDG 4) 2023.12.12
14	RE-IFC FULL PKG (BLDG 6) 2023.12.11
13	RE-IFC FULL PKG (BLDG 7) 2023.11.29
12	RE-IFC FULL PKG (BLDG 8) 2023.11.24
FIRST ISSUE FOR EXPEDITING FOUNDATIONS. FULL IFC. WILL BE RE-ISSUED FOR ALL BUILDINGS WITH MORE DETAIL	
11	ISSUE FOR CONSTRUCTION (BLDG 2) 2023.11.21
10	ISSUE FOR CONSTRUCTION (BLDG 1) 2023.11.02
9	ISSUE FOR CONSTRUCTION (BLDG 3) 2023.10.31
8	ISSUE FOR CONSTRUCTION (BLDG 4) 2023.10.30
7	ISSUE FOR CONSTRUCTION (BLDG 5) 2023.10.25
6	ISSUE FOR CONSTRUCTION (BLDG 6) 2023.10.17
5	ISSUE FOR CONSTRUCTION (BLDG 8) 2023.10.03
4	RE-ISSUE FOR BUILDING PERMIT 2023.10.03
3	ISSUE FOR BUILDING PERMIT 2023.08.25
2	RE-ISSUED FOR DP w/ additional info 2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL
COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

FLOOR PLAN

DATE PRINTED: December 15, 2023

FOR MILESTONE DATES SEE
REVISIONS COLUMN ABOVE.

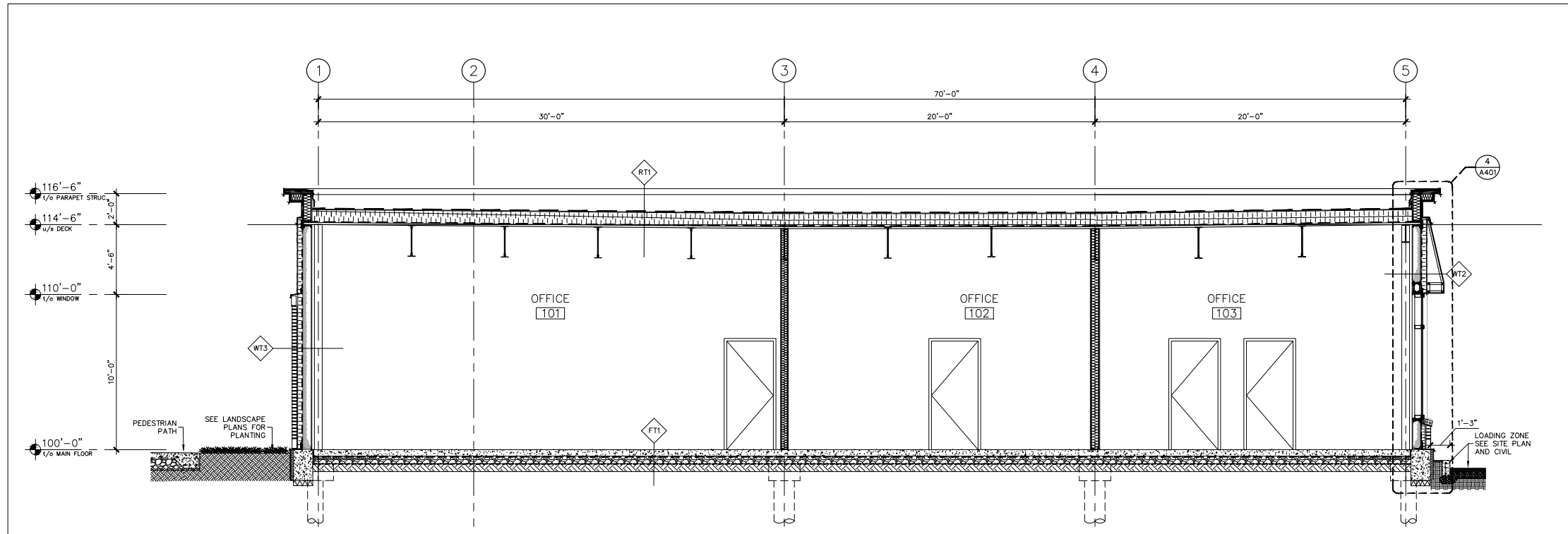
JOB # 2314

DRAWN BY: TM

A001

© This drawing is the copyright of Clarosuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



1 BUILDING SECTION
A301
1/4" = 1'-0"

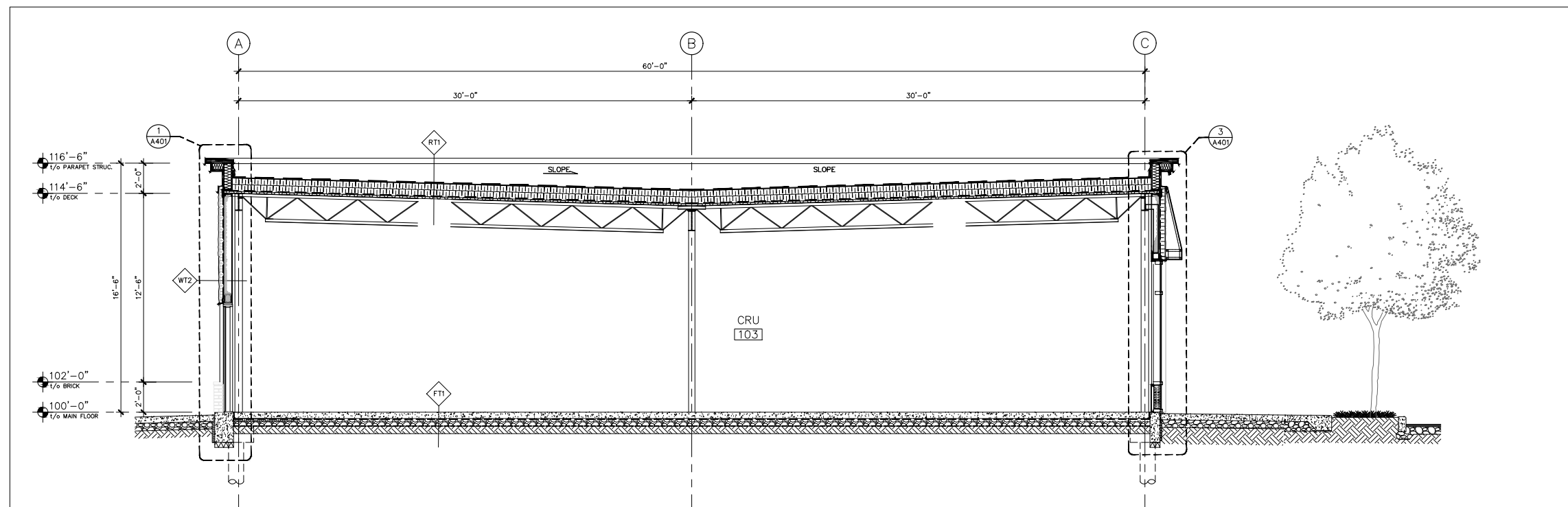
Approved April 8, 2024
Development Planner



DP REVISION
(bldg 2 REDESIGN)



REVISIONS	YYYY.MM.DD
17	DP MAJOR REVISION (BLDG 2) 2023.12.15
16	RE-IFC FULL PKG (BLDG 1) 2023.12.13
15	RE-IFC FULL PKG (BLDG 3) 2023.12.13
15	RE-IFC FULL PKG (BLDG 4) 2023.12.12
14	RE-IFC FULL PKG (BLDG 6) 2023.12.11
13	RE-IFC FULL PKG (BLDG 7) 2023.11.29
12	RE-IFC FULL PKG (BLDG 8) 2023.11.24
11	ISSUE FOR CONSTRUCTION (BLDG 2) 2023.11.21
10	ISSUE FOR CONSTRUCTION (BLDG 1) 2023.11.02
9	ISSUE FOR CONSTRUCTION (BLDG 3) 2023.10.31
8	ISSUE FOR CONSTRUCTION (BLDG 4) 2023.10.30
7	ISSUE FOR CONSTRUCTION (BLDG 5) 2023.10.25
6	ISSUE FOR CONSTRUCTION (BLDG 6) 2023.10.17
5	ISSUE FOR CONSTRUCTION (BLDG 8) 2023.10.03
4	RE-ISSUE FOR BUILDING PERMIT 2023.10.03
3	ISSUE FOR BUILDING PERMIT 2023.09.25
2	RE-ISSUED FOR DP w/ additional info 2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25



2 BUILDING SECTION
A301
1/4" = 1'-0"

BEAU VAL
COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP

BUILDING
SECTIONS

DATE PRINTED: December 15, 2023

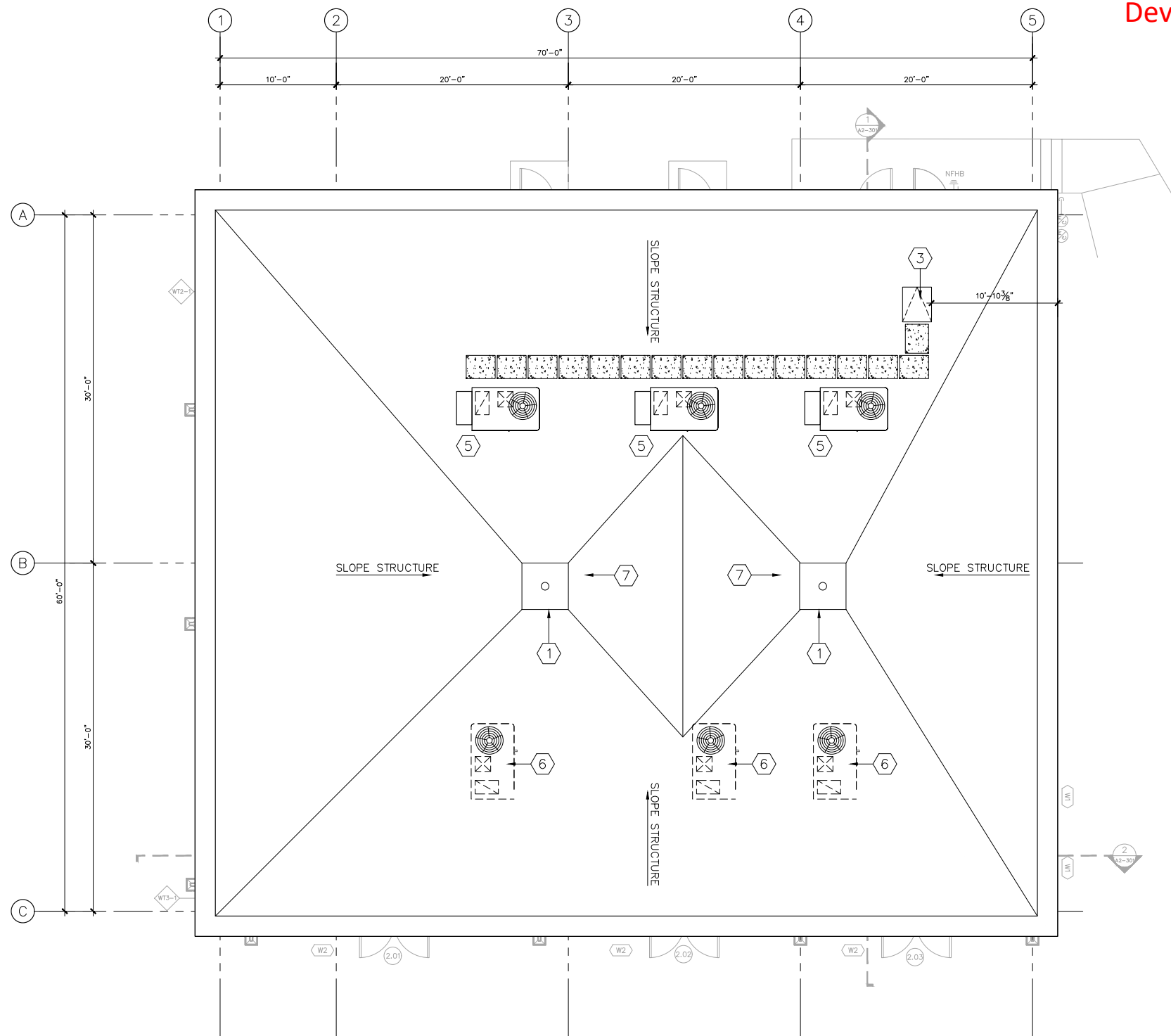
FOR MILESTONE DATES SEE
REVISIONS COLUMN ABOVE.

JOB # 2314

DRAWN BY: TM

A2-301
RI

Approved April 8, 2024
Development Planner



ROOF LEGEND:

- ① ROOF DRAIN (REFER TO DETAIL 5/A103)
- ② ROOF OVERFLOW SCUPPER (REFER TO DETAIL 4/A103)
- ③ ROOF HATCH (REFER TO DETAIL 2/A103 & 3/A103)
- ④ CONCRETE PAVERS
- ⑤ RTU
- ⑥ FUTURE RTU
- ⑦ SLOPED INSULATION
- ⑧ CURB FOR FUTURE
- ⑨ GAS LINE
- ⑩ FUTURE HRV
- ⑪ CHIMNEY
- ⑫ PLUMBING VENT
- ⑬ TRAFFIC PATH PAD (MIN 900mm)
- ⑭ EXHAUST FAN
- ⑮ FUTURE MAU

ROOF NOTES:

1. SEE STRUCTURAL FOR DEPTH OF ROOF SLOPES
2. SEE SECTION DETAILS FOR PARAPET DEPTH



DP REVISION
(bldg 2 REDESIGN)



REVISIONS		YYYY.MM.DD
17	DP MAJOR REVISION (BLDG 2)	2023.12.15
16	RE-IFC FULL PKG (BLDG 1)	2023.12.13
15	RE-IFC FULL PKG (BLDG 3)	2023.12.13
15	RE-IFC FULL PKG (BLDG 4)	2023.12.12
14	RE-IFC FULL PKG (BLDG 6)	2023.12.11
13	RE-IFC FULL PKG (BLDG 7)	2023.11.29
12	RE-IFC FULL PKG (BLDG 8)	2023.11.24
FIRST ISSUE FOR EXPEDITING FOUNDATIONS. FULL IFC WILL BE RE-ISSUED FOR ALL BUILDINGS WITH MORE DETAIL.		
11	ISSUE FOR CONSTRUCTION (BLDG 2)	2023.11.21
10	ISSUE FOR CONSTRUCTION (BLDG 1)	2023.11.02
9	ISSUE FOR CONSTRUCTION (BLDG 3)	2023.10.31
8	ISSUE FOR CONSTRUCTION (BLDG 4)	2023.10.30
7	ISSUE FOR CONSTRUCTION (BLDG 5)	2023.10.25
6	ISSUE FOR CONSTRUCTION (BLDG 6)	2023.10.17
5	ISSUE FOR CONSTRUCTION (BLDG 8)	2023.10.03
4	RE-ISSUE FOR BUILDING PERMIT	2023.10.03
3	ISSUE FOR BUILDING PERMIT	2023.08.25
2	RE-ISSUED FOR DP w/ additional info	2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL
COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

ROOF PLAN

DATE PRINTED: December 15, 2023

FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

JOB # 2314

DRAWN BY: TM

A102

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



DP REVISION
(bldg 2 REDESIGN)



REVISIONS	YYYY.MM.DD
17	DP MAJOR REVISION (BLDG 2) 2023.12.15
16	RE-IFC FULL PKG (BLDG 1) 2023.12.13
15	RE-IFC FULL PKG (BLDG 3) 2023.12.13
15	RE-IFC FULL PKG (BLDG 4) 2023.12.12
14	RE-IFC FULL PKG (BLDG 6) 2023.12.11
13	RE-IFC FULL PKG (BLDG 7) 2023.11.29
12	RE-IFC FULL PKG (BLDG 8) 2023.11.24
FIRST ISSUE FOR EXPEDITING FOUNDATIONS. FULL IFC WILL BE RE-ISSUED FOR ALL BUILDINGS WITH MORE DETAIL.	
11	ISSUE FOR CONSTRUCTION (BLDG 2) 2023.11.21
10	ISSUE FOR CONSTRUCTION (BLDG 1) 2023.11.02
9	ISSUE FOR CONSTRUCTION (BLDG 3) 2023.10.31
8	ISSUE FOR CONSTRUCTION (BLDG 4) 2023.10.30
7	ISSUE FOR CONSTRUCTION (BLDG 5) 2023.10.25
6	ISSUE FOR CONSTRUCTION (BLDG 6) 2023.10.17
5	ISSUE FOR CONSTRUCTION (BLDG 8) 2023.10.03
4	RE-ISSUE FOR BUILDING PERMIT 2023.10.03
3	ISSUE FOR BUILDING PERMIT 2023.09.25
2	RE-ISSUED FOR DP w/ additional info 2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL
COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP

ELEVATIONS

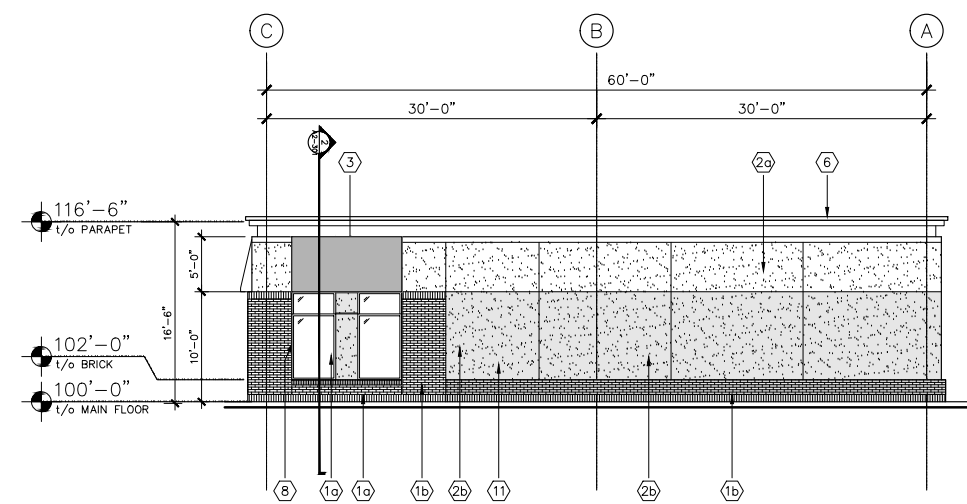
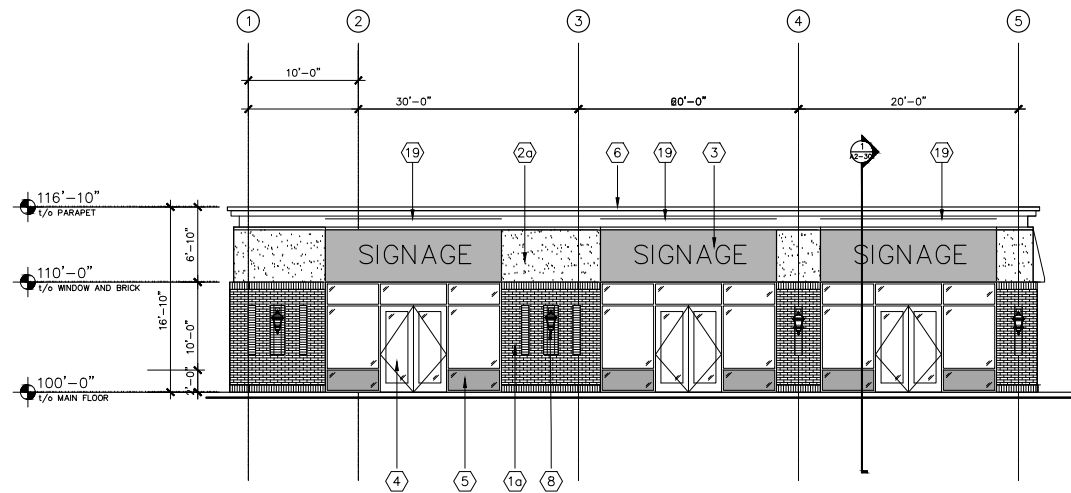
DATE PRINTED: December 15, 2023

FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

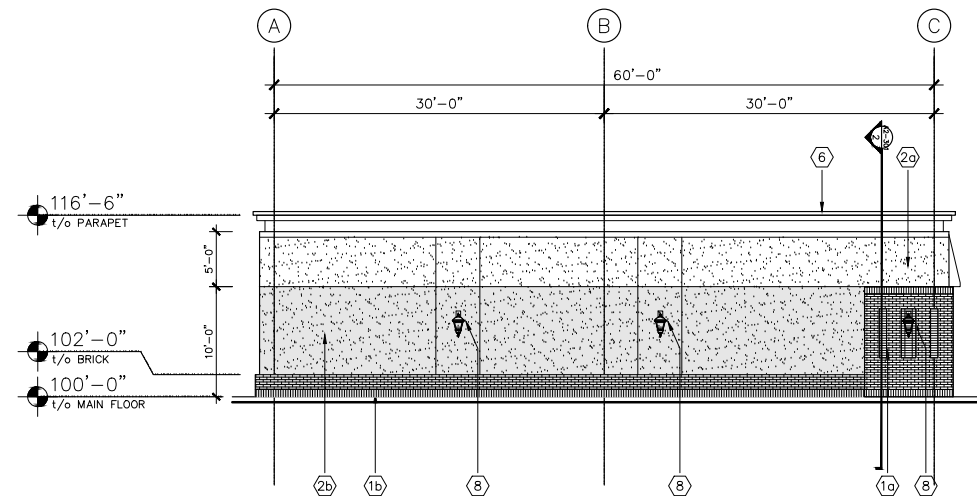
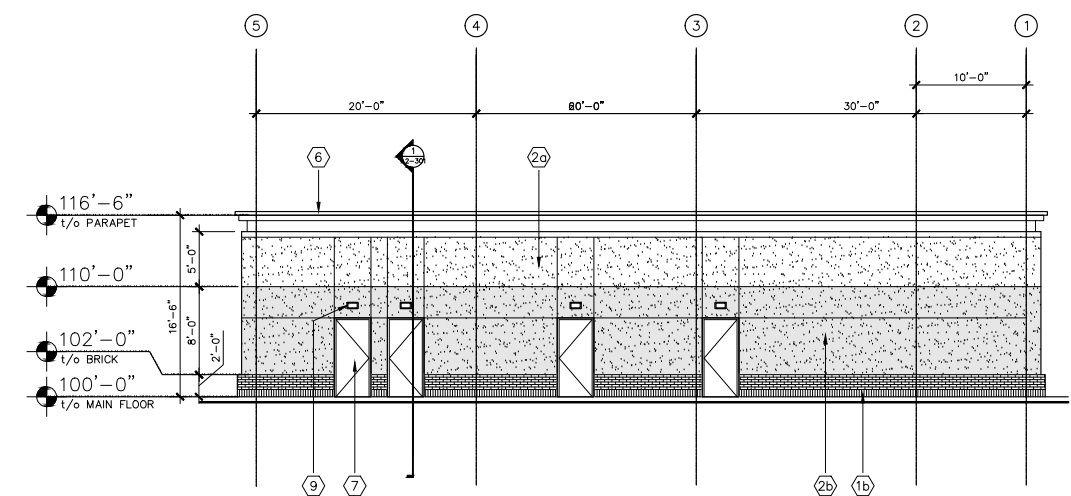
JOB # 2314

DRAWN BY: TM

A201

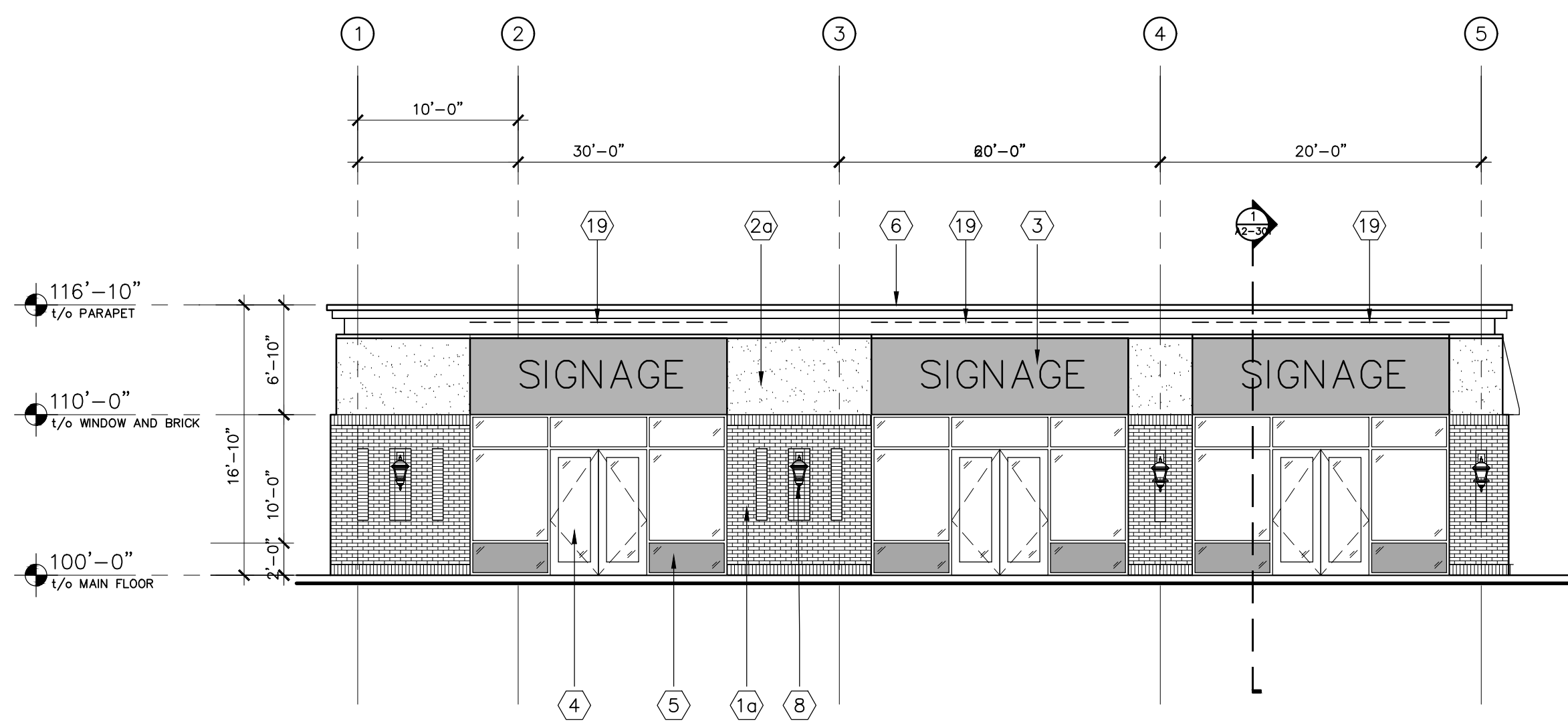


EAST ELEVATION



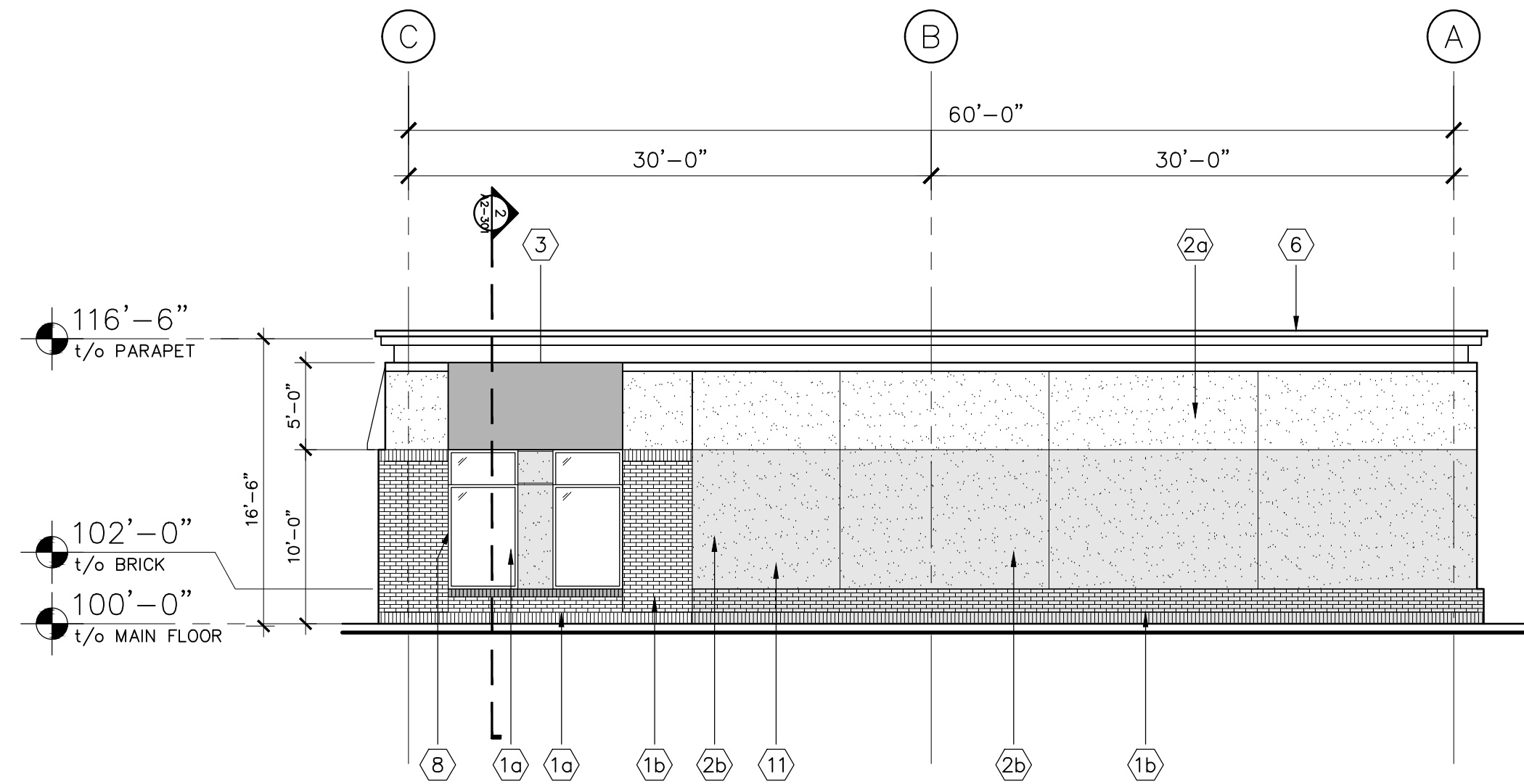
Approved April 8, 2024
Development Planner

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



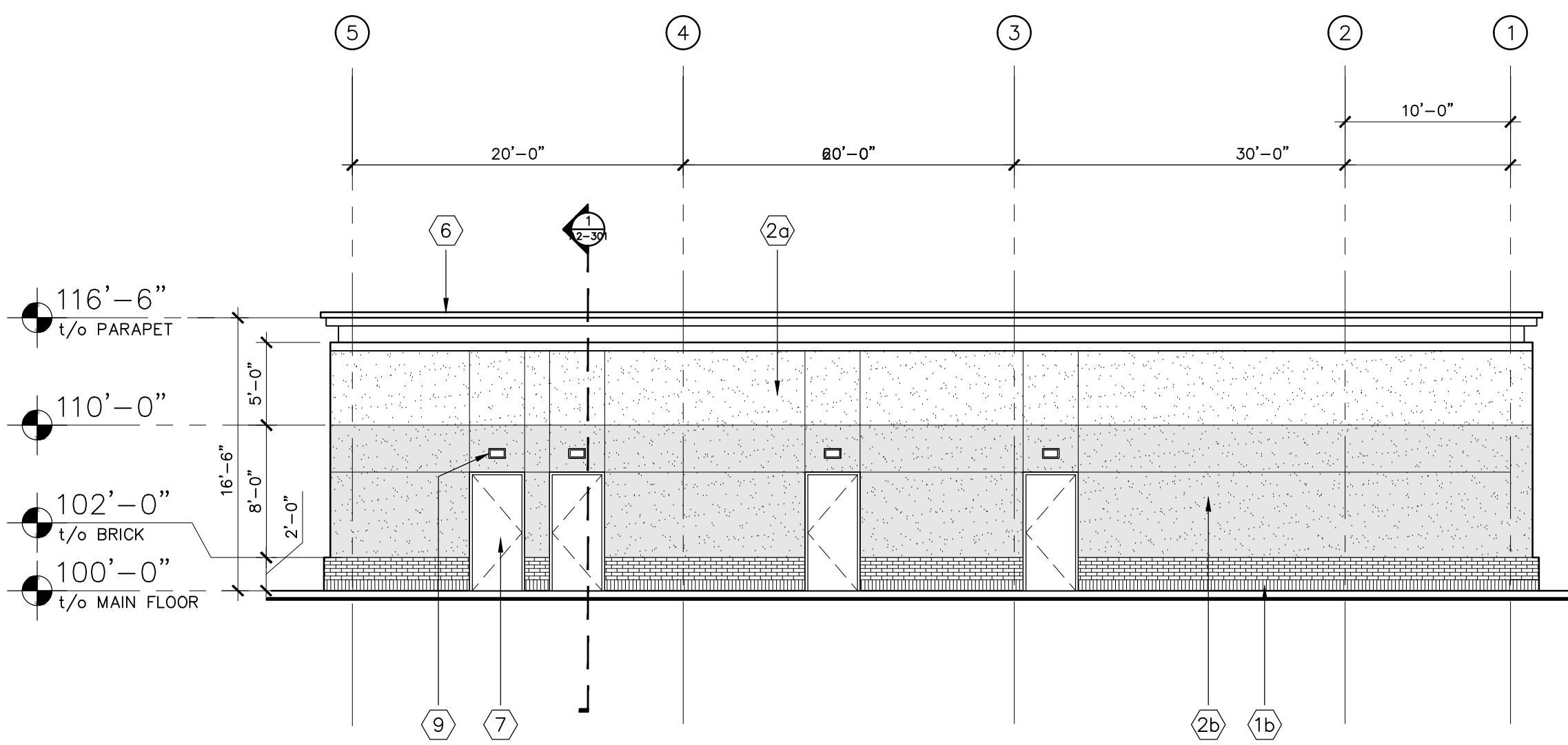
1 SOUTH ELEVATION
A6-201 1/8" = 1'-0"

Approved April 8, 2024
Development Planner

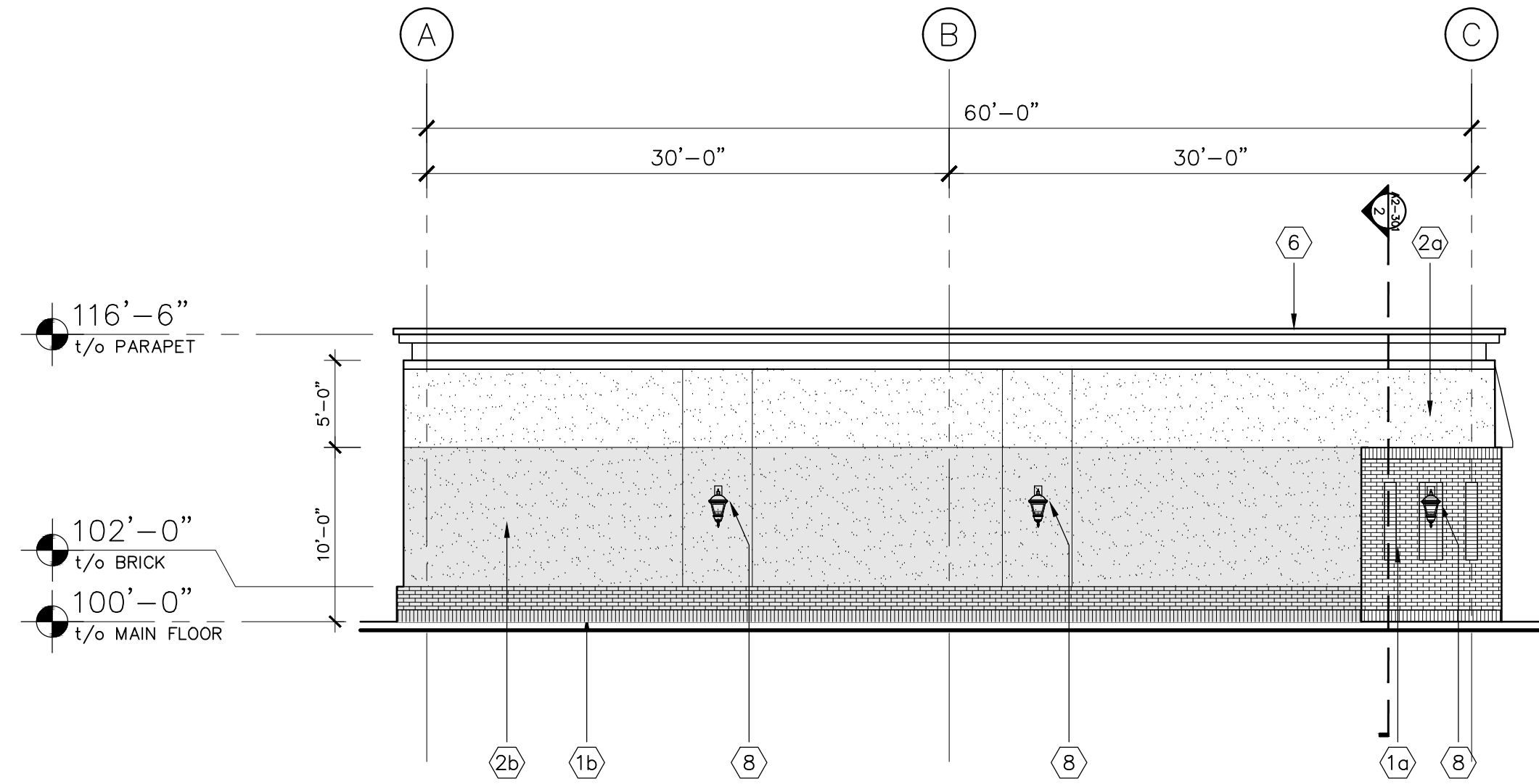


2 EAST ELEVATION
A6-201 1/8" = 1'-0"

Approved April 5, 2024
Development Planner



3 NORTH ELEVATION
A6-201 1/8" = 1'-0"



4 WEST ELEVATION
A6-201 1/8" = 1'-0"

ELEVATION KEYNOTES

- 10 BRICK 1a- MODULAR SIZE - FULL BRICK
MANUFACTURER: GLEN-GERY
COLOUR: 51-dx (RED)
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY.
- 1b BRICK 1b- MODULAR SIZE - FULL BRICK
MANUFACTURER: GLEN-GERY
COLOUR: VINTAGE BLACK VELOUR
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY
- 2a EFS - WHITE
MANUFACTURER - TBD
COLOUR: BM CALM or equivalent
TEXTURE: MARBLE COAT 1.5
- 2b EFS - BLACK
MANUFACTURER - TBD
COLOUR: DARK CHARCOAL
TEXTURE: MARBLE COAT 1.5
- 3 BLACK FABRIC AWNING LIGHT METAL FRAME (SIGNAGE PRINTED ON AWNING)
- NOTE: STUCCO BEHIND AWNING WHERE BRICK STOPS AT 10'. BRICK BEHIND AWNING WHERE BRICK EXTENDS ABOVE 10'.
- 4 BLACK ALUMINUM STOREFRONT DOORS AND/OR WINDOWS w/ SEALED UNIT GLAZING
- 5 BLACK SPANDEL GLASS
- 6 PREFINISHED ALUMINUM CAP FLASHING CASCADIA - BLACK
CODE: 0C8262
- 7 INSULATED HOLLOW METAL DOOR
c/w PRESSED STEEL FRAME
COLOUR: BLACK
- 8 EXTERIOR WALL SCONCE
SEE ELECTRICAL FIXTURE B
- 9 WALL PACK
SEE ELECTRICAL FIXTURE D
Align base of fixture with brick coursing
- 10 CONTROL JOINT
- 11 BLACK ALUMINUM PUNCH WINDOW
- 12 DRIVE THRU WINDOW WITH AIR CURTAIN
- 13 REINFORCED CEMENTITIOUS FIBER CEMENT PANEL
DIMENSION: 2'x4' PANELS
COLOUR: GREY SLATE (HARDIE BOARD)
TRIM TO MATCH PANELS
TRIM TO BE CONTINUOUS ON THE HORIZONTAL AND VERTICAL TRIM TO BREAK AT HORIZONTAL.
- 14 FUTURE FCL SUPPLIED AND INSTALLED CO-OP SIGNAGE
FIRST ISSUE FOR EXPEDITING FOUNDATIONS. FULL IFC WILL BE REISSUED FOR ALL BUILDINGS WITH MORE DETAIL
- 15 CO-OP SHIELD, FCL SUPPLIED AND INSTALLED
- 16 OVERFLOW SCUPPER
- 17 OVERHEAD DOOR
- 18 NOT USED
- 19 COVE LIGHTING ILLUMINATING SIGNAGE
SEE ELECTRICAL FIXTURE F
SEE 1/A601 ARCHITECTURAL PARAPET DETAIL
- 20 RAISED GRADEBEAM
SEE STRUCTURAL
- 21 BLACK METAL ROOFING



DP REVISION
(bldg 2 REDESIGN)



REVISIONS	YYYY.MM.DD	
19	ISSUE FOR REVISION (BLDG 6/8)	2024.02.28
18	RE-IFC FULL PKG (BLDG 5)	2023.12.22
17	DP MAJOR REVISION (BLDG 2)	2023.12.15
16	RE-IFC FULL PKG (BLDG 1)	2023.12.13
15	RE-IFC FULL PKG (BLDG 3)	2023.12.13
15	RE-IFC FULL PKG (BLDG 4)	2023.12.12
14	RE-IFC FULL PKG (BLDG 6)	2023.12.11
13	RE-IFC FULL PKG (BLDG 7)	2023.11.29
12	RE-IFC FULL PKG (BLDG 8)	2023.11.24
11	ISSUE FOR CONSTRUCTION (BLDG 2)	2023.11.21
10	ISSUE FOR CONSTRUCTION (BLDG 1)	2023.11.02
9	ISSUE FOR CONSTRUCTION (BLDG 3)	2023.10.31
8	ISSUE FOR CONSTRUCTION (BLDG 4)	2023.10.30
7	ISSUE FOR CONSTRUCTION (BLDG 5)	2023.10.25
6	ISSUE FOR CONSTRUCTION (BLDG 6)	2023.10.17
5	ISSUE FOR CONSTRUCTION (BLDG 8)	2023.10.03
4	RE-ISSUE FOR BUILDING PERMIT	2023.10.03
3	ISSUE FOR BUILDING PERMIT	2023.08.25
2	RE-ISSUED FOR DP w/ additional info	2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.28

BEAU VAL COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

ELEVATIONS

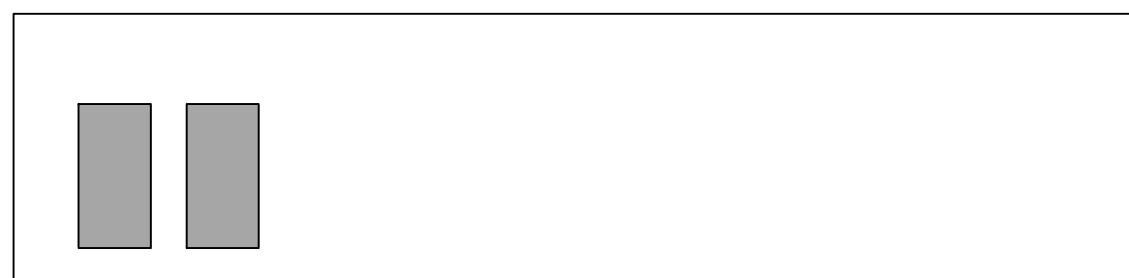
DATE PRINTED: March 1, 2024
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

JOB # 2314

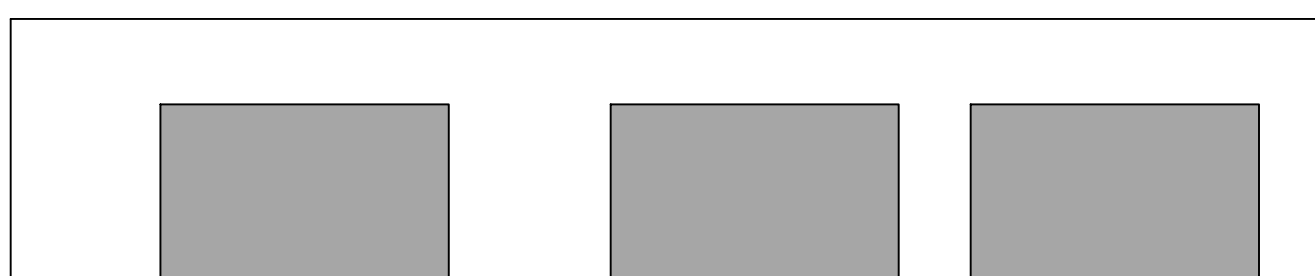
DRAWN BY: TM

A201

= DEVELOPMENT OFFICER REQUEST FOR % GLAZING



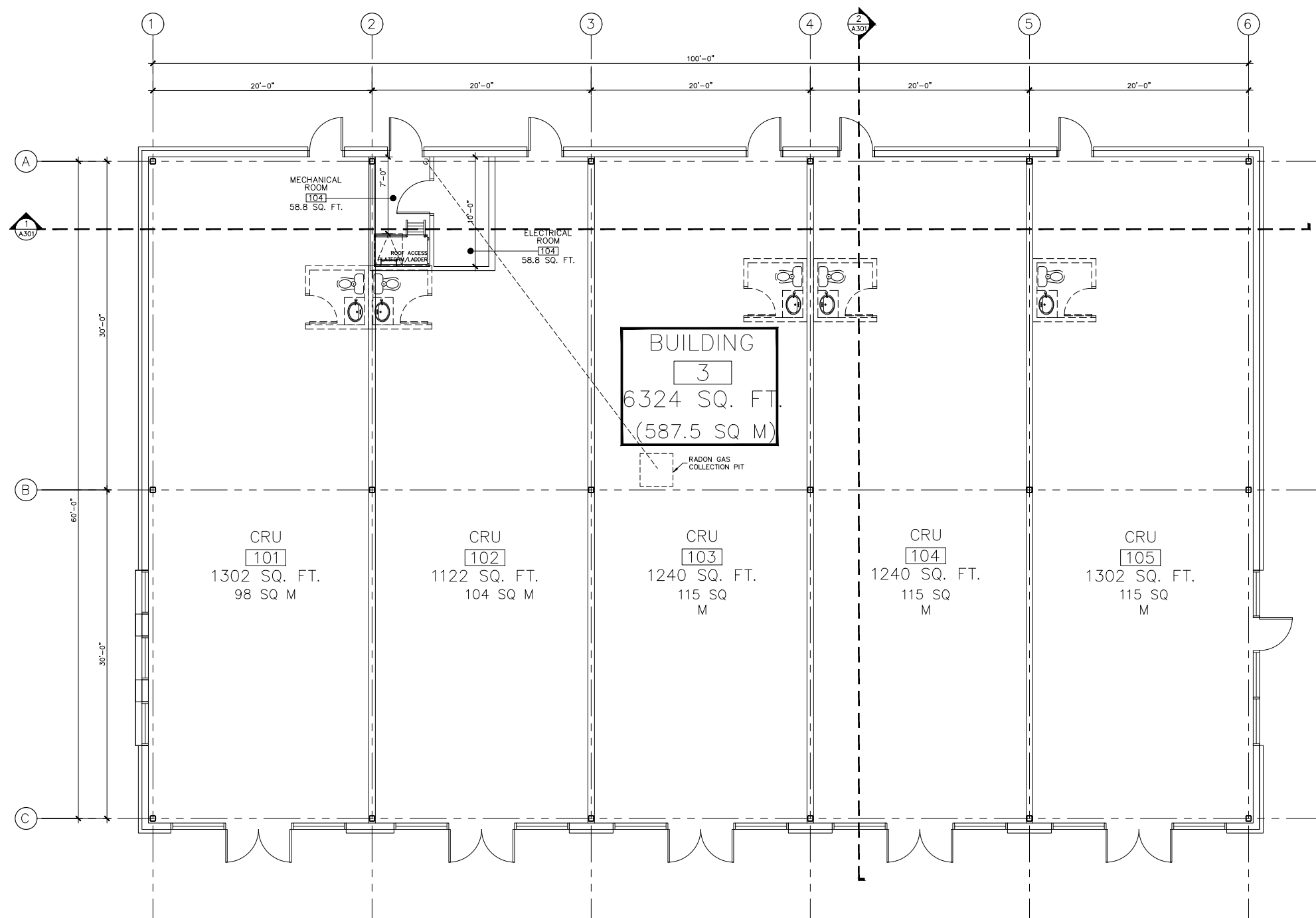
EAST ELEVATION
940 SQFT TOTAL
32X2 = 64 SQFT OPENINGS
= 6.8% GLAZING



SOUTH ELEVATION
1077 SQFT TOTAL
480 SQFT OPENINGS
= 44.5% GLAZING

© This drawing is the copyright of
 Claroscuro Architecture Inc. and may
 not be reproduced without permission.

Contractor shall read drawing in
 conjunction with written specifications.
 All area calculations, dimensions and
 conditions shall be verified on site.
 Readers are advised to use at your own
 risk.
 Any questions shall be directed to the
 Architect prior to proceeding with
 construction.
 Do not scale drawings.



1 MAIN FLOOR PLAN
 A101
 3/16" = 1'-0"

Approved September 8, 2023
Development Planner



PRELIMINARY
 NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL COMMERCIAL

BLDG '3'

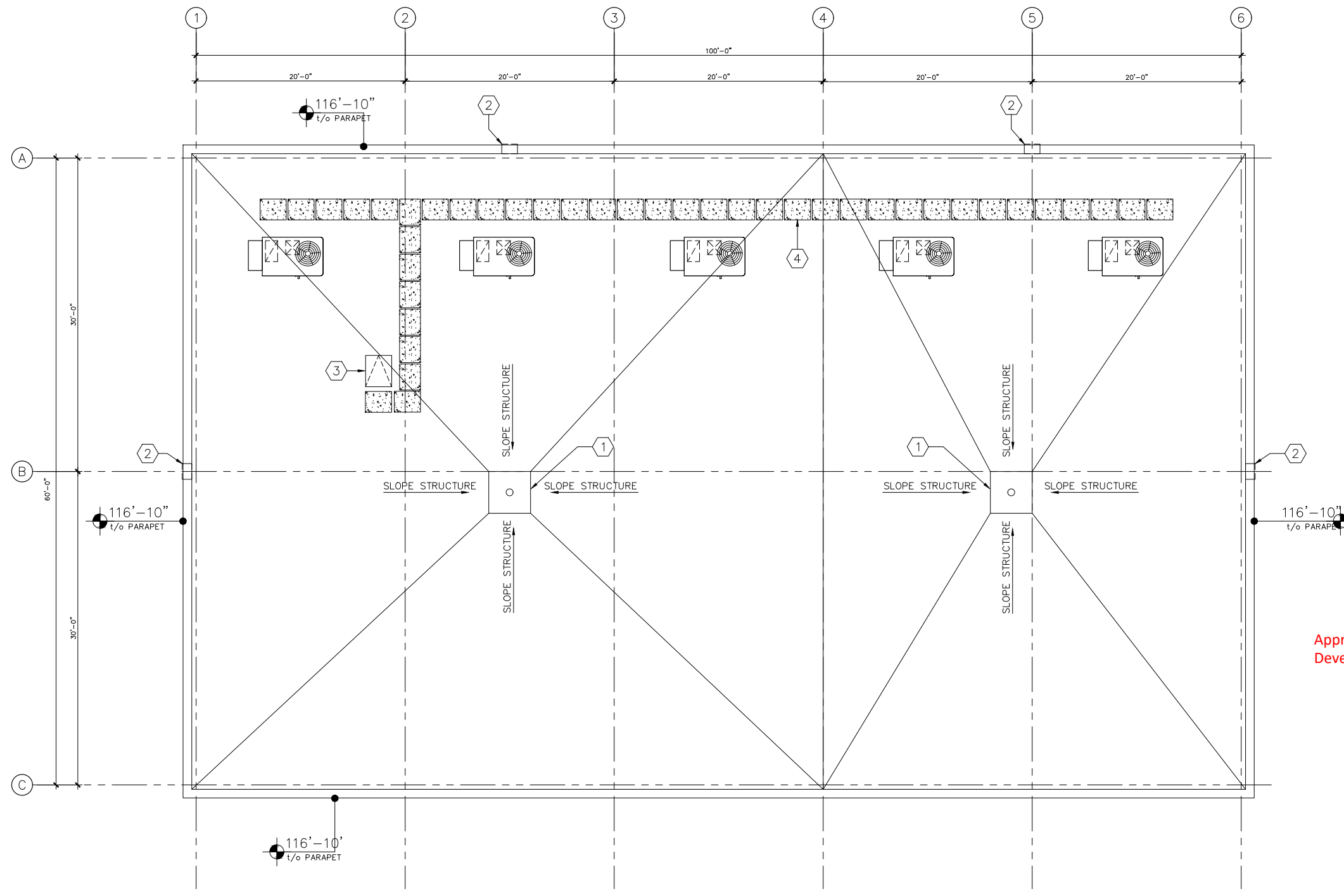
4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

MAIN FLOOR PLAN	
DATE PRINTED: April 25, 2023 <small>FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE</small>	A101
JOB # 2314	
DRAWN BY: TM	

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



ROOF LEGEND:

- ① ROOF DRAIN (REFER TO DETAIL A/A103)
- ② ROOF SCUPPER (REFER TO DETAIL B/A103)
- ③ ROOF HATCH (REFER TO DETAIL C/A103)
- ④ CONCRETE PAVERS



PRELIMINARY
NOT FOR CONSTRUCTION

CLAROSCURO
Architecture Inc
www.claroscuro.ca
502-10158 103 St. NW
Edmonton, AB, T5J 0R6

REVISIONS	YYYY.MM.DD
1 ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

Approved September 8, 2023
Development Planner [Redacted]

1 ROOF PLAN
A102
3/16" = 1'-0"

BEAU VAL COMMERCIAL

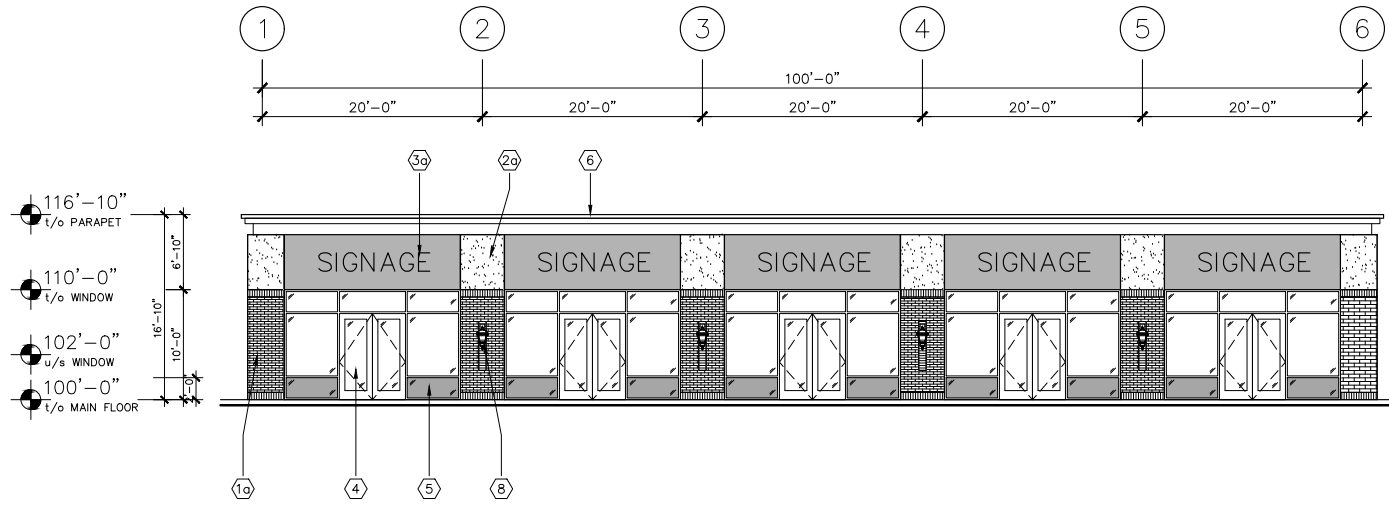
BLDG '3'

4901 - 30 AVENUE
Beaumont, Alberta

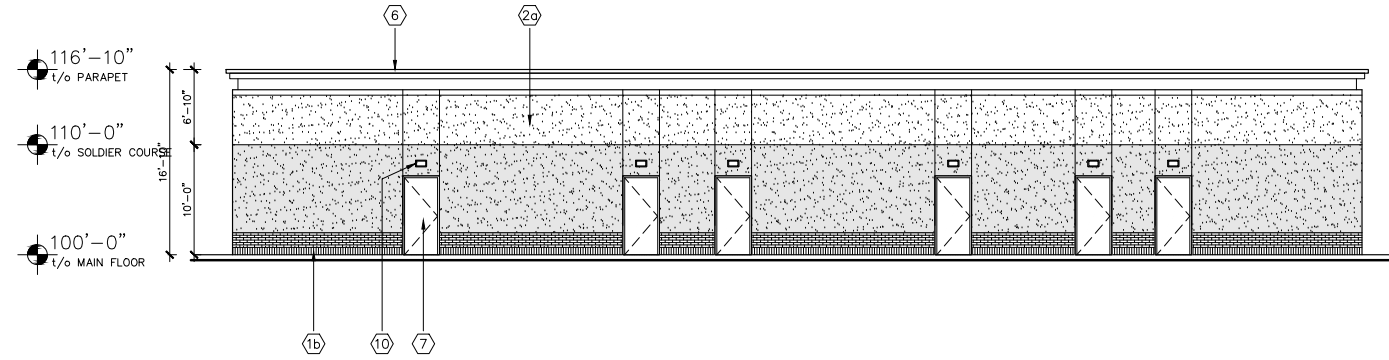
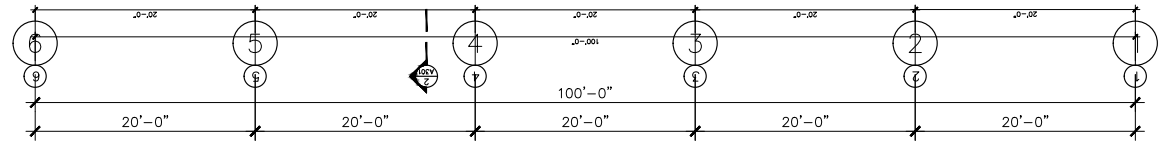
CONSULTANT STAMP:

ROOF PLAN	
DATE PRINTED: April 25, 2023 FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE	A102
JOB # 2314	
DRAWN BY: TM	

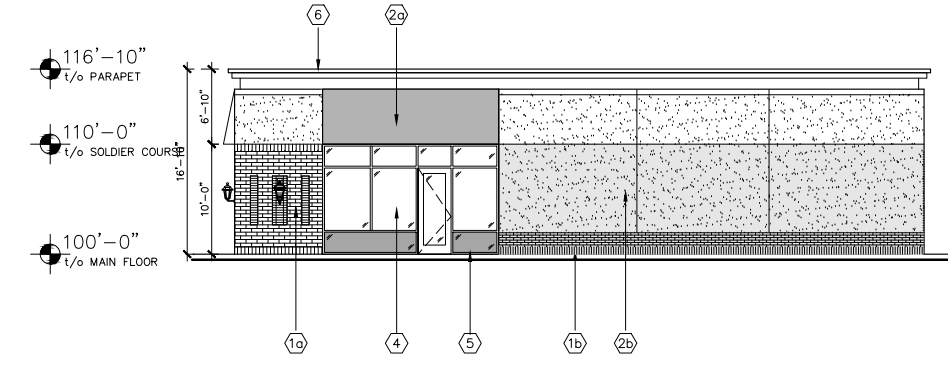
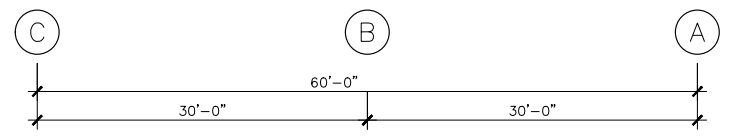
Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



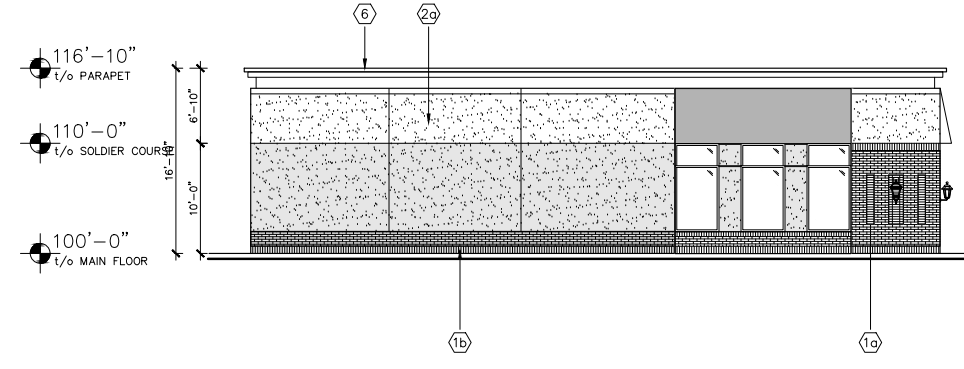
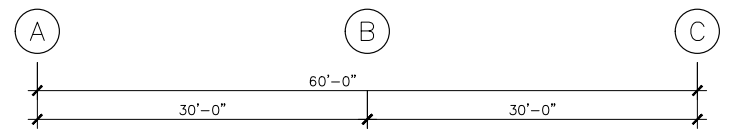
1 WEST ELEVATION
A201
1/8" = 1'-0"



2 EAST ELEVATION
A201
1/8" = 1'-0"



3 SOUTH ELEVATION
A201
1/8" = 1'-0"



4 NORTH ELEVATION
A201
1/8" = 1'-0"

- ELEVATION KEYNOTES**
- 1a) BRICK 1a- MODULAR SIZE
MANUFACTURER: GLEN-GERY
COLOUR: TBC
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY.
 - 1b) BRICK 1b- MODULAR SIZE
MANUFACTURER: GLEN-GERY
COLOUR: COAL CITY BLACK
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY.
 - 2a) EIFS - WHITE
MANUFACTURER - TBD
COLOUR: BM CALM or equivalent
TEXTURE: MARBLE COAT 1.5
 - 2b) EIFS - BLACK
MANUFACTURER - TBD
COLOUR: TBC
TEXTURE: MARBLE COAT 1.5
 - 3a) TENANT SIGNAGE ON BLACK FABRIC
AWNING ON LIGHT METAL FRAME
 - 3b) BLACK FABRIC AWNING
ON LIGHT METAL FRAME
 - 4) BLACK ALUMINUM STOREFRONT DOORS AND WINDOWS
w/ SEALED UNIT GLAZING
 - 5) BLACK SPANDREL GLASS
 - 6) PREFINISHED ALUMINUM CAP FLASHING
CASCADIA - BLACK
CODE: QCB262
 - 7) INSULATED HOLLOW METAL DOOR
c/w PRESSED STEEL FRAME
COLOUR: BLACK
 - 8) EXTERIOR WALL SCONCE
COL12/XCA-UP
 - 9) WALL PACK.
SEE ELECTRICAL.
Align base of fixture with brick coursing
 - 10) CONTROL JOINT
 - 11) BLACK ALUMINUM PUNCH WINDOW
 - 12) DRIVE THRU WINDOW WITH AIR CURTAIN
 - 13) FIBER CEMENT PANEL
 - 14) ACM PANELS IN CO-OP RED



PRELIMINARY
NOT FOR CONSTRUCTION



Approved September 8, 2023
Development Planner



REVISIONS	YYYY.MM.DD
1 ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL COMMERCIAL

BLDG '3'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

EXTERIOR ELEVATIONS

DATE PRINTED: April 25, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

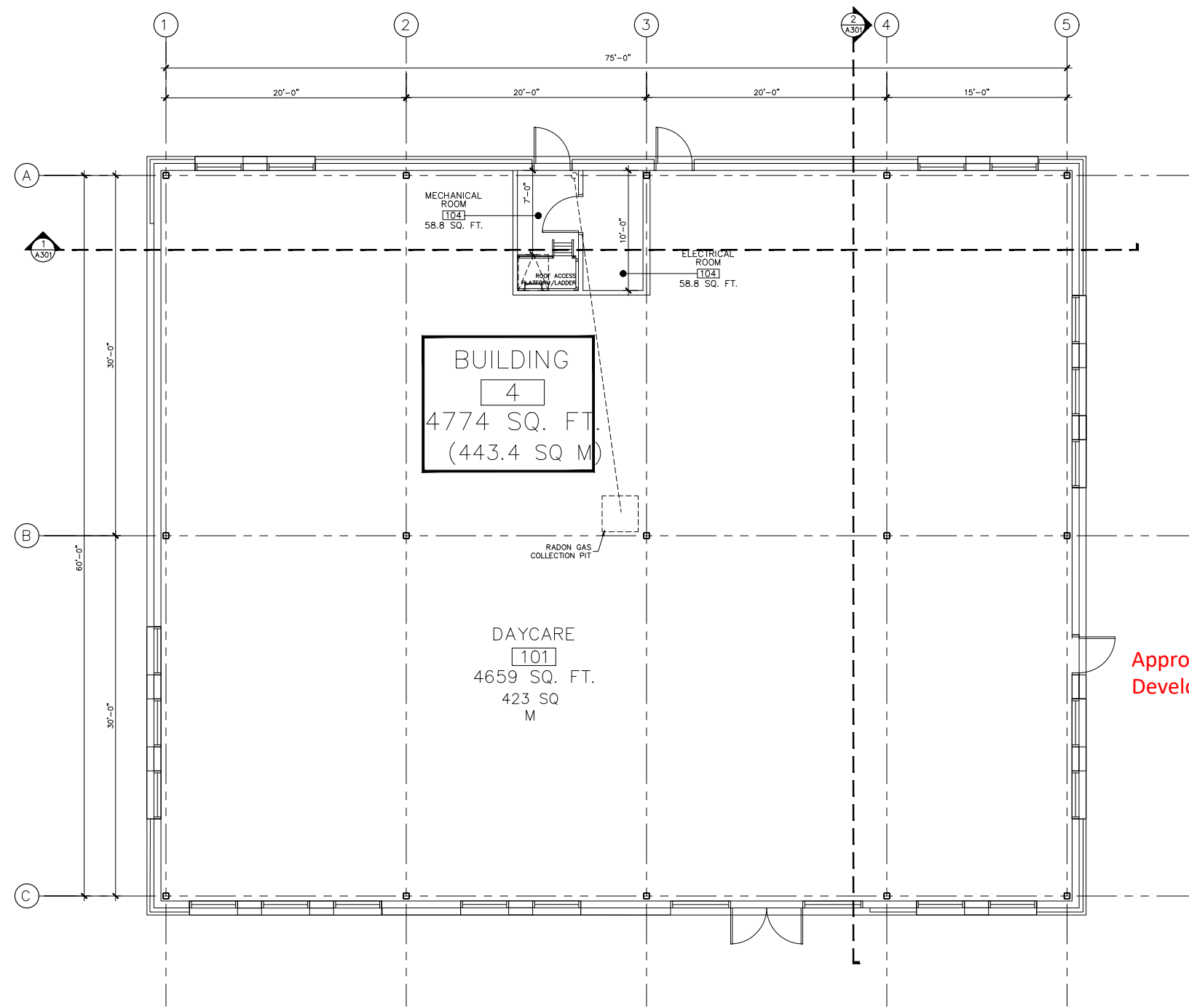
JOB # 2314

DRAWN BY: TM

A201

© This drawing is the copyright of
 Claroscuro Architecture Inc. and may
 not be reproduced without permission.

Contractor shall read drawing in
 conjunction with written specifications.
 All area calculations, dimensions and
 conditions shall be verified on site.
 Readers are advised to use at your own
 risk.
 Any questions shall be directed to the
 Architect prior to proceeding with
 construction.
 Do not scale drawings.



Approved September 8, 2023
 Development Planner [Redacted]

1 MAIN FLOOR PLAN
 A101
 3/16" = 1'-0"



PRELIMINARY
 NOT FOR CONSTRUCTION



REVISIONS		YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL
 COMMERCIAL

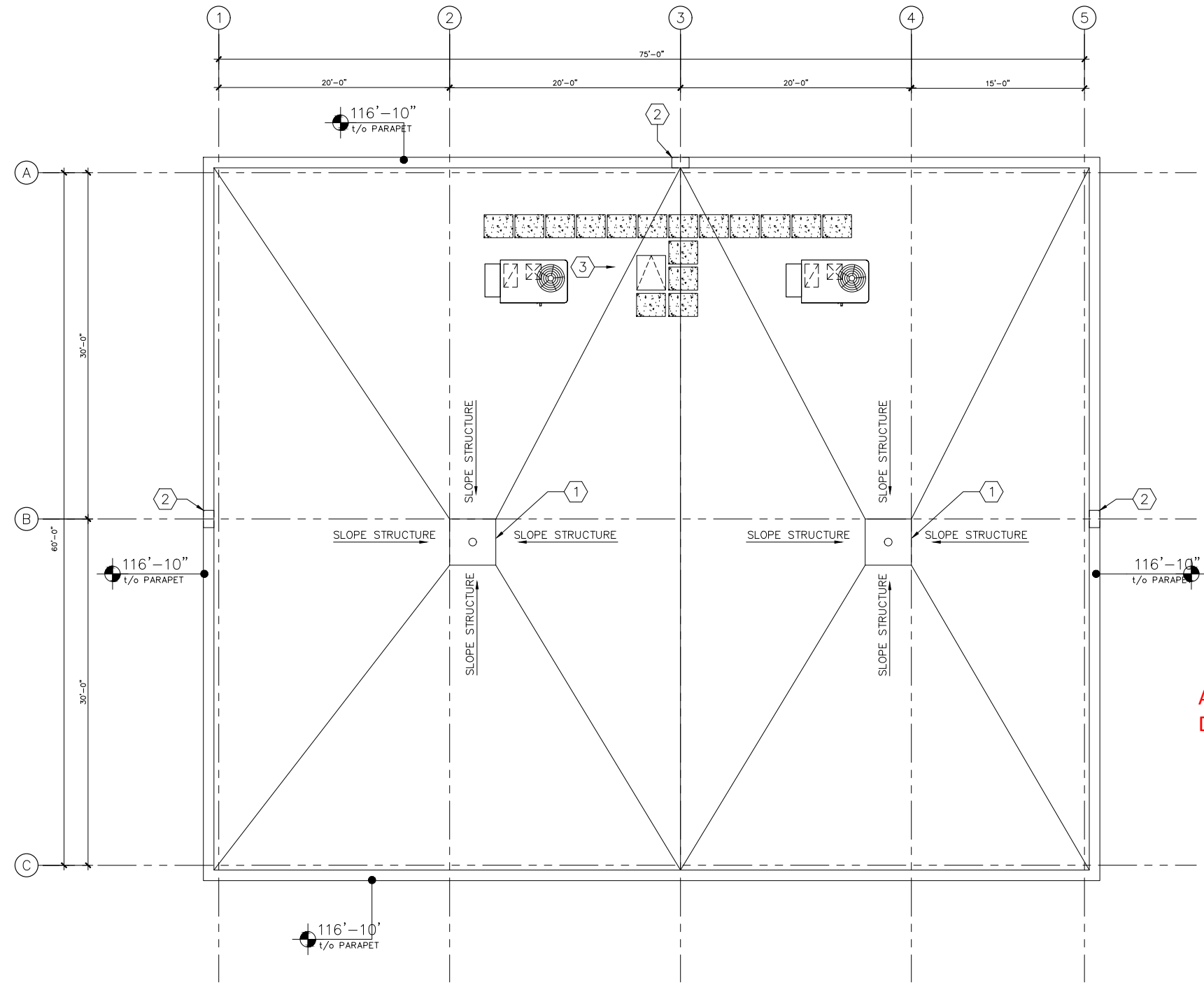
BLDG '4'

4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

MAIN FLOOR PLAN	
DATE PRINTED: April 25, 2023 <small>FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE</small>	A101
JOB # 2314	
DRAWN BY: TM	

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



ROOF LEGEND:

- ① ROOF DRAIN (REFER TO DETAIL A/A103)
- ② ROOF SCUPPER (REFER TO DETAIL B/A103)
- ③ ROOF HATCH (REFER TO DETAIL C/A103)

CONCRETE PAVERS

Approved September 8, 2023
 Development Planner

1 ROOF PLAN
 A102 3/16" = 1'-0"



PRELIMINARY
 NOT FOR CONSTRUCTION

CLAROSCURO
 Architecture Inc
 www.claroscuro.ca
 502-10158 103 St. NW
 Edmonton, AB, T5J 0R6

REVISIONS		YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL
 COMMERCIAL

BLDG '4'

4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

ROOF PLAN

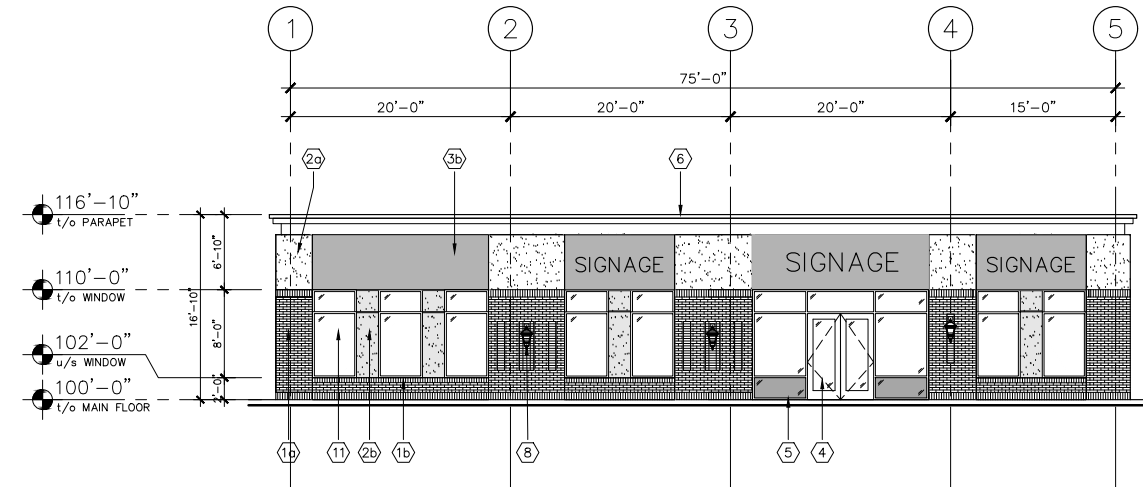
DATE PRINTED: April 25, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE

JOB # 2314

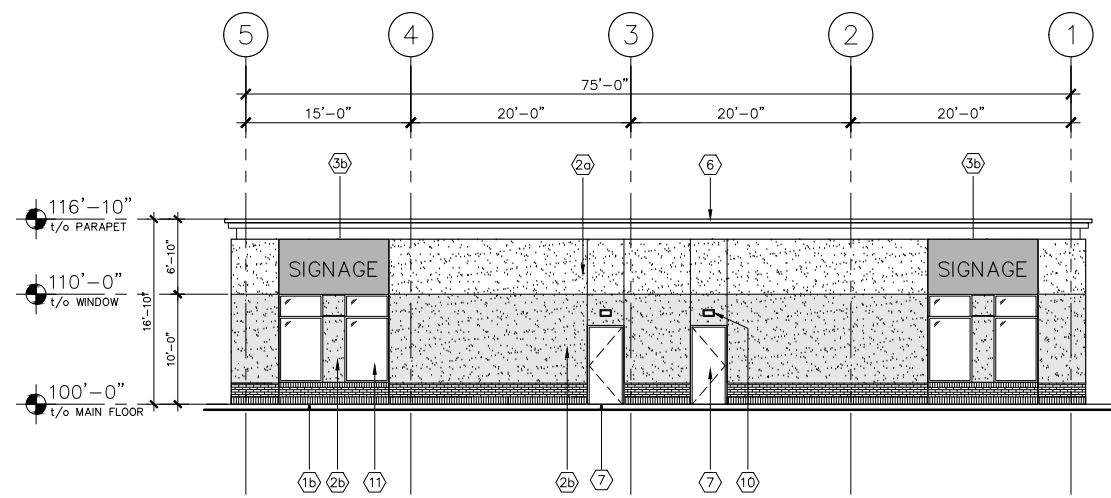
DRAWN BY: TM

A102

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



1 WEST ELEVATIONS
A201
1/8" = 1'-0"



2 EAST ELEVATION
A201
1/8" = 1'-0"

ELEVATION KEYNOTES

10a	BRICK 1a- MODULAR SIZE MANUFACTURER: GLEN-GERY COLOUR: TBC INSTALL: SEE ELEVATIONS FOR CONFIGURATION MORTAR: STANDARD GRAY.	
1b	BRICK 1b- MODULAR SIZE MANUFACTURER: GLEN-GERY COLOUR: COAL CITY BLACK INSTALL: SEE ELEVATIONS FOR CONFIGURATION MORTAR: STANDARD GRAY	
2a	EIFS - WHITE MANUFACTURER - TBD COLOUR: BM CALM or equivalent TEXTURE: MARBLE COAT 1.5	
2b	EIFS - BLACK MANUFACTURER - TBD COLOUR: TBC TEXTURE: MARBLE COAT 1.5	
3a	TENANT SIGNAGE ON BLACK FABRIC AWNING ON LIGHT METAL FRAME	
3b	BLACK FABRIC AWNING ON LIGHT METAL FRAME	
4	BLACK ALUMINUM STOREFRONT DOORS AND WINDOWS w/ SEALED UNIT GLAZING	
5	BLACK SPANDREL GLASS	
6	PREFINISHED ALUMINUM CAP FLASHING CASCADIA - BLACK CODE: QCB262	
7	INSULATED HOLLOW METAL DOOR c/w PRESSED STEEL FRAME COLOUR: BLACK	
8	EXTERIOR WALL SCONCE COL12/XCA-UP	
9	WALL PACK. SEE ELECTRICAL. Align base of fixture with brick coursing	
10	CONTROL JOINT	
11	BLACK ALUMINUM PUNCH WINDOW	
12	DRIVE THRU WINDOW WITH AIR CURTAIN	
13	FIBER CEMENT PANEL	
14	ACM PANELS IN CO-OP RED	

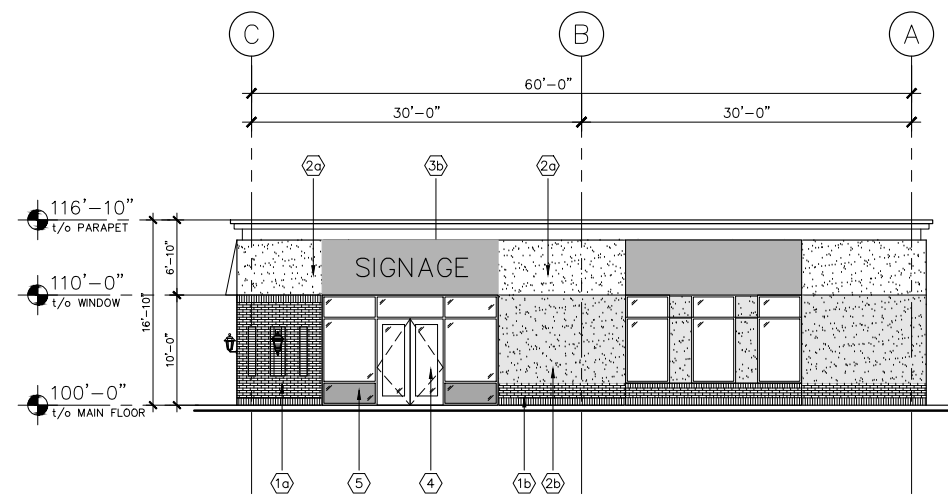


PRELIMINARY
NOT FOR CONSTRUCTION

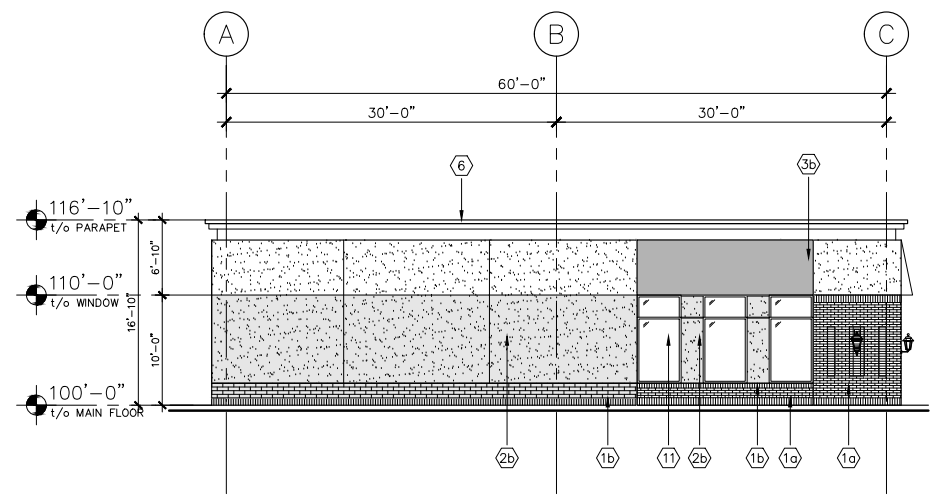


REVISIONS	YYYY.MM.DD
1 ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

Approved September 8, 2023
Development Planner



3 SOUTH ELEVATION
A201
1/8" = 1'-0"



4 NORTH ELEVATION
A201
1/8" = 1'-0"

BEAU VAL COMMERCIAL

BLDG '4'

4901 - 30 AVENUE
Beaumont, Alberta

EXTERIOR ELEVATIONS

DATE PRINTED: April 25, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

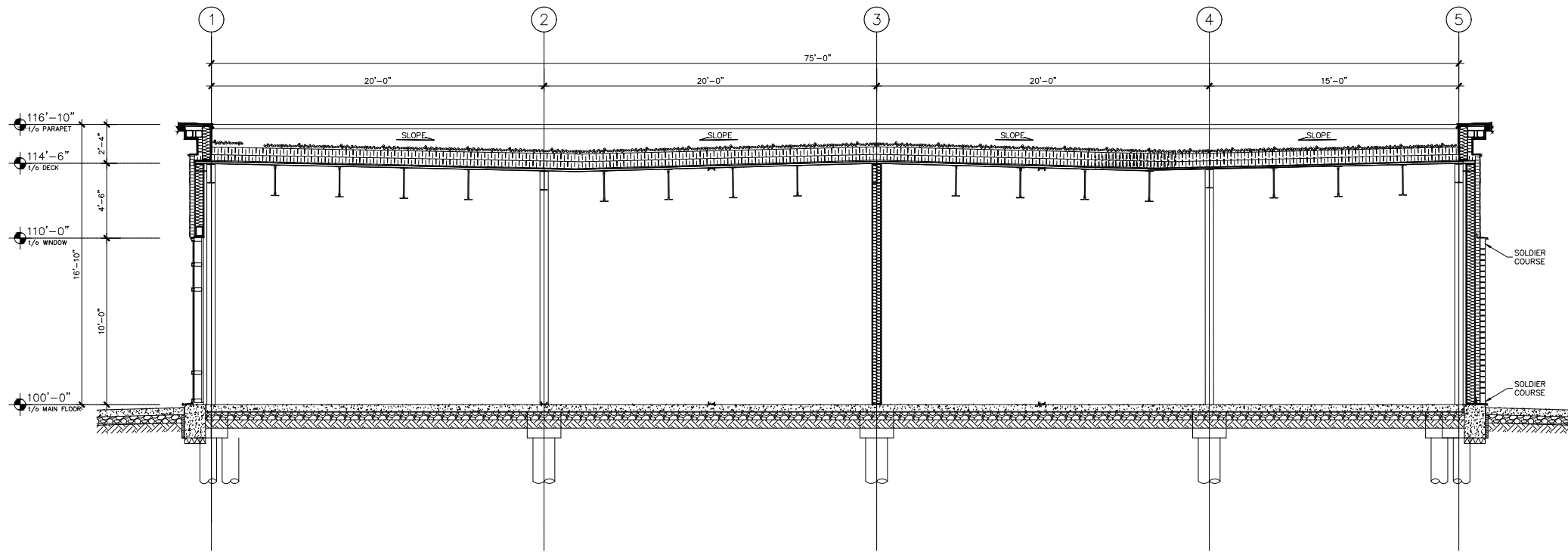
JOB # 2314

DRAWN BY: TM

A201

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



1 BUILDING SECTION
A301 1/4" = 1'-0"

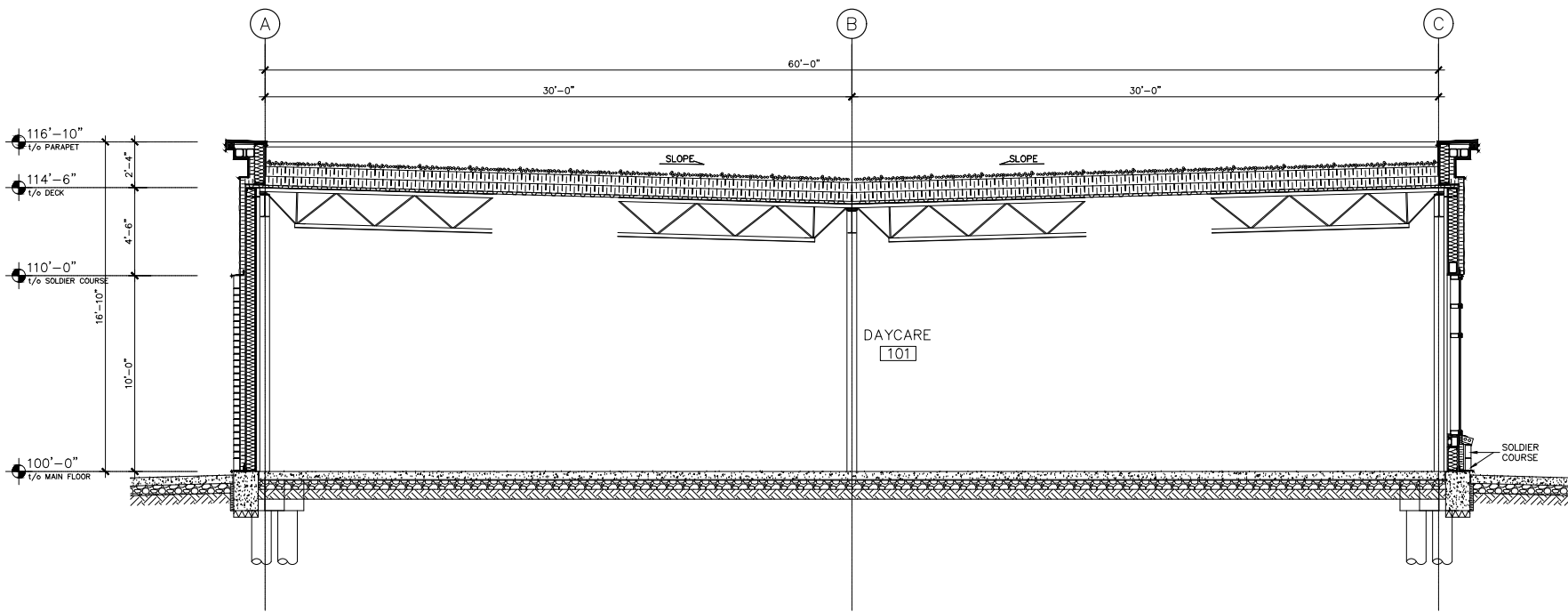
Approved September 8, 2023
Development Planner



PRELIMINARY
NOT FOR CONSTRUCTION

CLAROSCURO
Architecture Inc
www.claroscuro.ca
502-10158 103 St. NW
Edmonton, AB, T5J 0X6

REVISIONS	YYYY.MM.DD
1 ISSUED FOR DEVELOPMENT PERMIT	2023.04.25



2 BUILDING SECTION
A301 1/4" = 1'-0"

BEAU VAL
COMMERCIAL

BLDG '4'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

BUILDING SECTIONS

DATE PRINTED: April 25, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

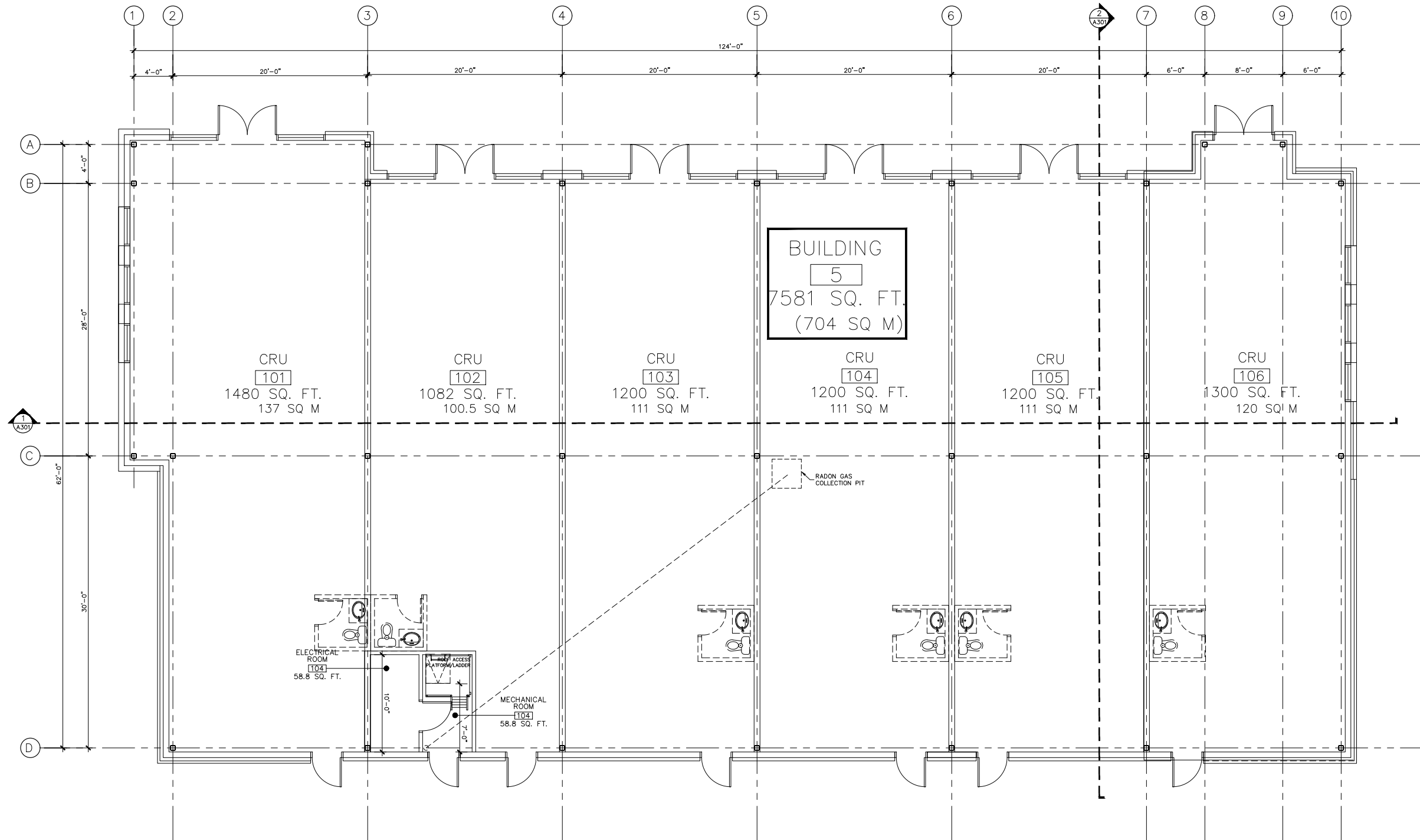
JOB # 2314

DRAWN BY: TM

A301

© This drawing is the copyright of Brian Allsopp Architect Ltd. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



PRELIMINARY
NOT FOR CONSTRUCTION

REVISION	MM.DD.YYYY
2	ISSUED FOR DEVELOPMENT PERMIT
1	ISSUED FOR REVIEW 08.23.2021

BEAU VAL COMMERCIAL

BLDG '5'

4901 - 30 Avenue
Beaumont, Alberta

1 MAIN FLOOR PLAN
3/16" = 1'-0"

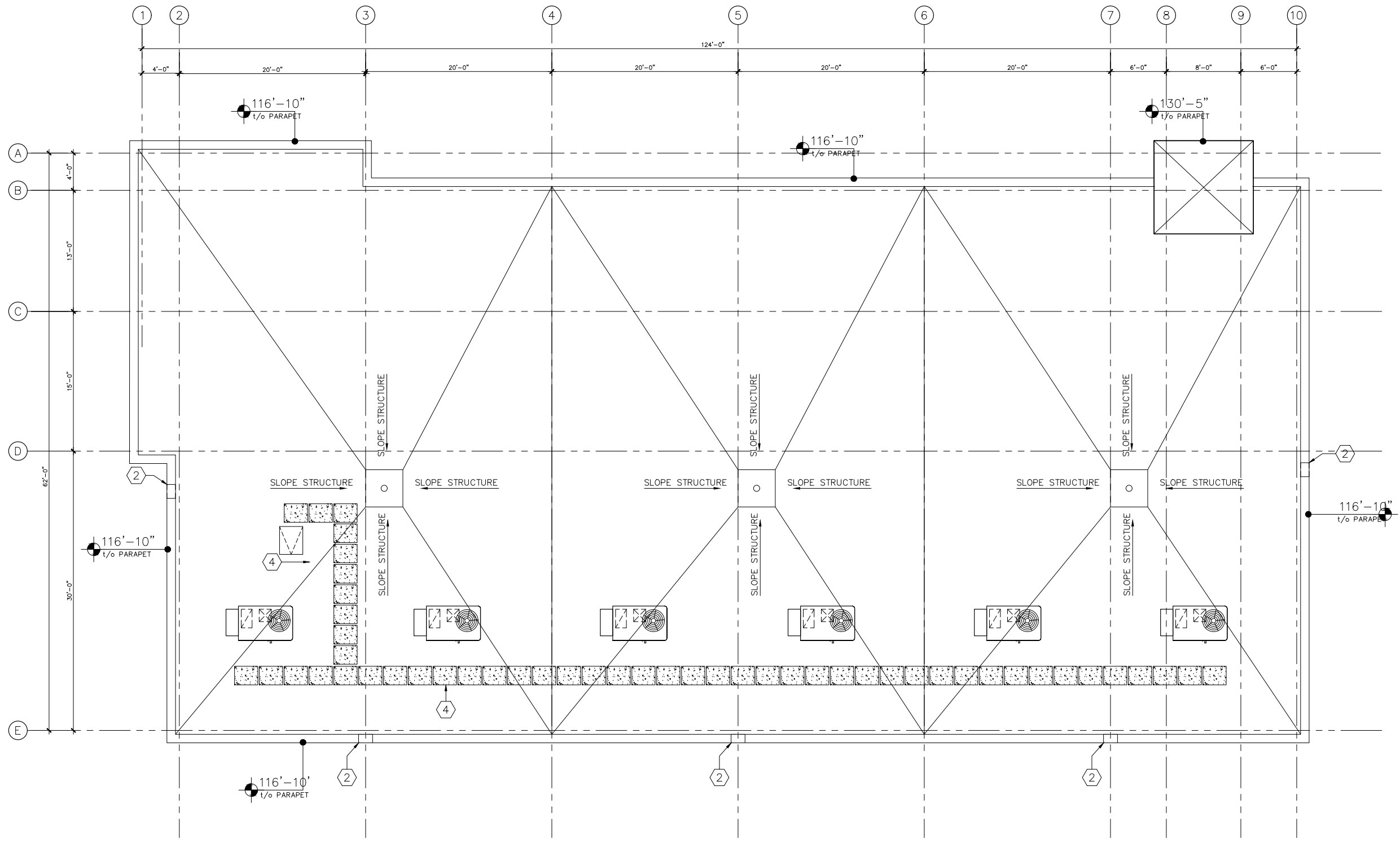
Approved _____ **September 8, 2023**
Development Planner

Brian Allsopp
Architect Ltd.

1020 Parsons Road SW
Edmonton, Alberta T6X 0J4
Phone 780 433-7378
Fax 780 433-7377
info@brianallsopp.com
www.brianallsopp.com

MAIN FLOOR PLAN	
JULY 29, 2022	A101
JOB # 2117	
DRAWN BY:	

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1 ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL COMMERCIAL

BLDG '5'

4901 - 30 AVENUE
Beaumont, Alberta

Approved September 8, 2023
Development Planner

1 ROOF PLAN
A102
3/16" = 1'-0"

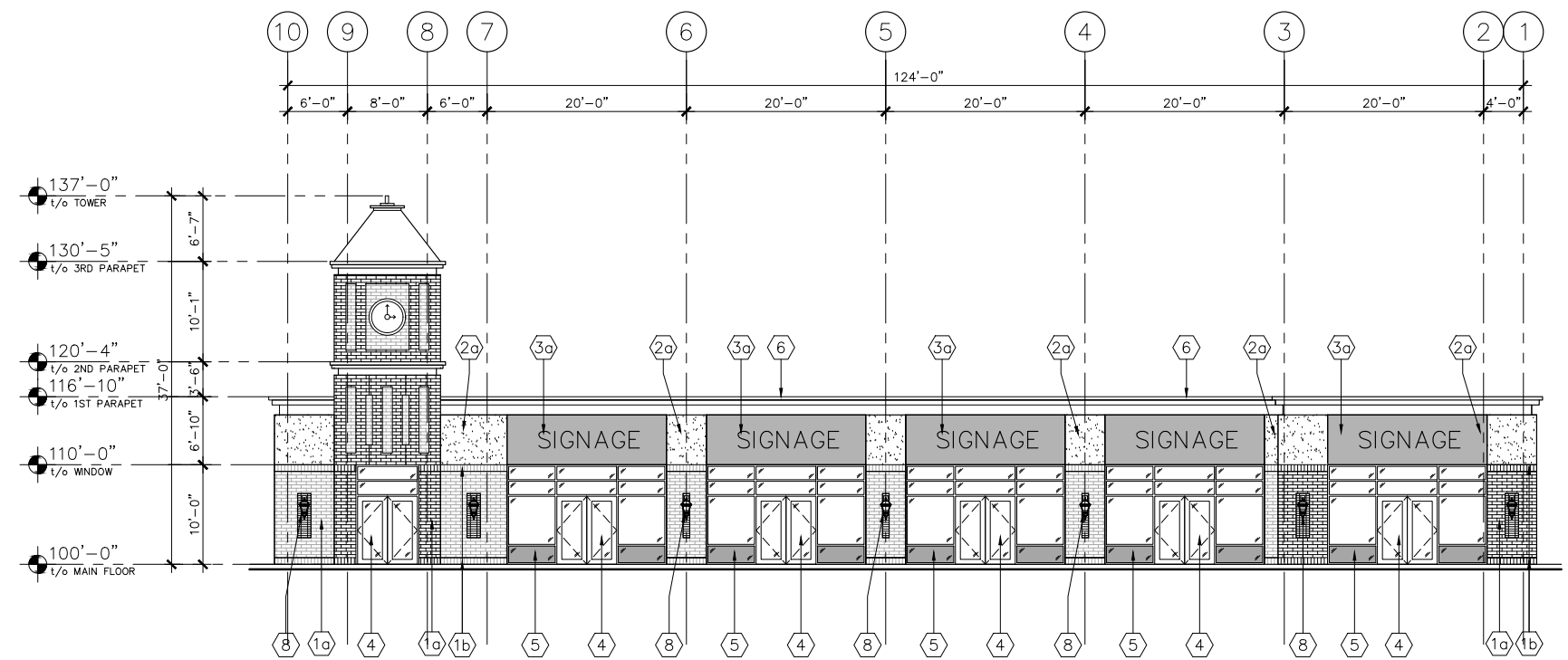
ROOF LEGEND:

- ① ROOF DRAIN (REFER TO DETAIL A/A103)
- ② ROOF SCUPPER (REFER TO DETAIL B/A103)
- ③
- ④ ROOF HATCH (REFER TO DETAIL C/A103)

CONCRETE PAVERS

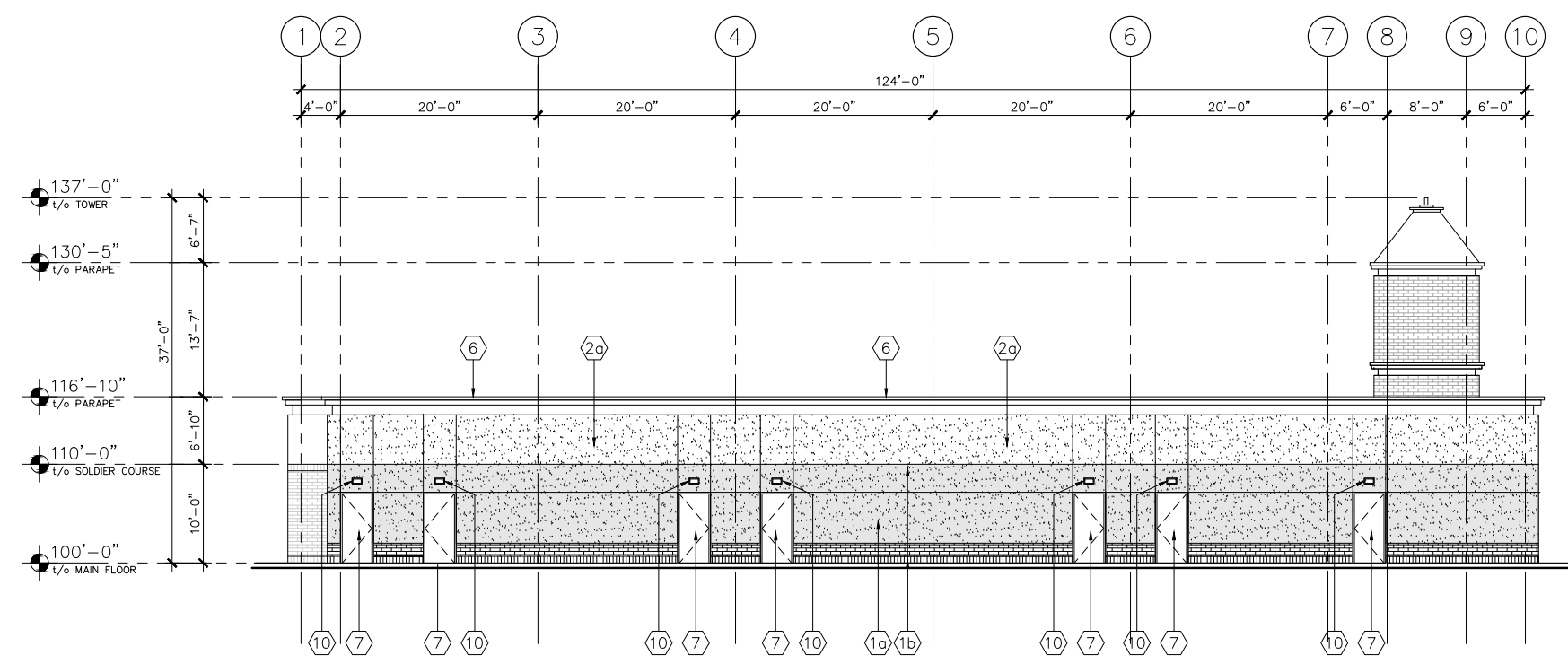
ROOF PLAN	
DATE PRINTED: April 25, 2023 FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE	A102
JOB # 2314	
DRAWN BY: TM	

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



1 NORTH ELEVATION
A201 1/8" = 1'-0"

Approved September 8, 2023
Development Planner



2 SOUTH ELEVATION
A201 1/8" = 1'-0"

ELEVATION KEYNOTES

1a	BRICK 1a- MODULAR SIZE MANUFACTURER: GLEN-GERY COLOUR: TBC INSTALL: SEE ELEVATIONS FOR CONFIGURATION MORTAR: STANDARD GRAY.	
1b	BRICK 1b- MODULAR SIZE MANUFACTURER: GLEN-GERY COLOUR: COAL CITY BLACK INSTALL: SEE ELEVATIONS FOR CONFIGURATION MORTAR: STANDARD GRAY	
2a	EIFS - WHITE MANUFACTURER - TBD COLOUR: BM CALM or equivalent TEXTURE: MARBLE COAT 1.5	
2b	EIFS - BLACK MANUFACTURER - TBD COLOUR: TBC TEXTURE: MARBLE COAT 1.5	
3a	TENANT SIGNAGE ON BLACK FABRIC AWNING ON LIGHT METAL FRAME	
3b	BLACK FABRIC AWNING ON LIGHT METAL FRAME	
4	BLACK ALUMINUM STOREFRONT DOORS AND WINDOWS w/ SEALED UNIT GLAZING	
5	BLACK SPANDREL GLASS	
6	PREFINISHED ALUMINUM CAP FLASHING CASCADIA - BLACK CODE: QC8262	
7	INSULATED HOLLOW METAL DOOR c/w PRESSED STEEL FRAME COLOUR: BLACK	
8	EXTERIOR WALL SCONCE COL12/XCA-UP	
9	WALL PACK. SEE ELECTRICAL. Align base of fixture with brick coursing	
10	CONTROL JOINT	
11	BLACK ALUMINUM PUNCH WINDOW	
12	DRIVE THRU WINDOW WITH AIR CURTAIN	
13	FIBER CEMENT PANEL	
14	ACM PANELS IN CO-OP RED	



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL
COMMERCIAL

BLDG '5'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

EXTERIOR ELEVATIONS	DATE PRINTED: April 25, 2023 FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.
JOB # 2314	A201
DRAWN BY: TM	

Contractor shall read drawing in
 conjunction with written specifications.
 All area calculations, dimensions and
 conditions shall be verified on site.
 Readers are advised to use at your own
 risk.
 Any questions shall be directed to the
 Architect prior to proceeding with
 construction.
 Do not scale drawings.



PRELIMINARY
 NOT FOR CONSTRUCTION



REVISIONS		YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL
 COMMERCIAL

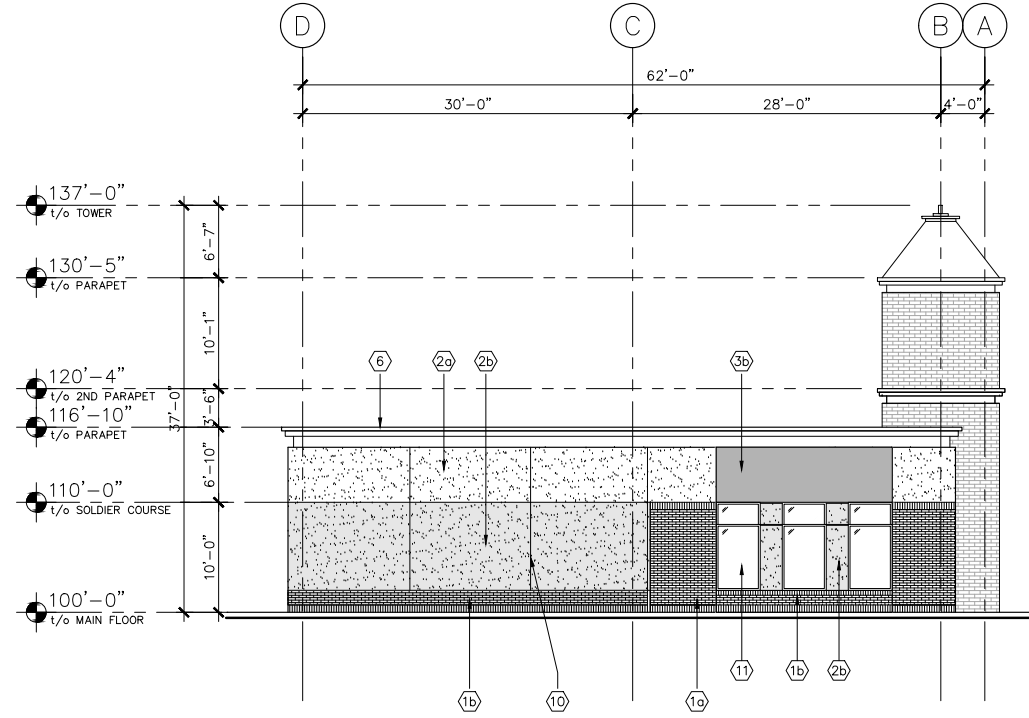
BLDG '5'

4901 - 30 AVENUE
 Beaumont, Alberta

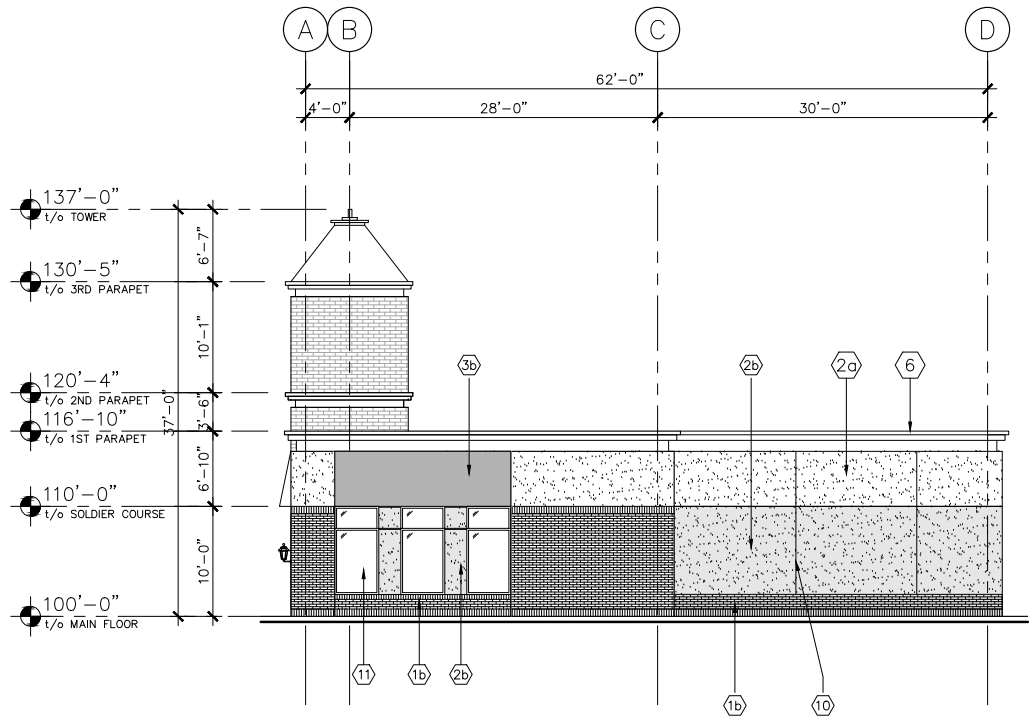
CONSULTANT STAMP:

EXTERIOR ELEVATIONS	
DATE PRINTED: April 25, 2023 <small>FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.</small>	A202
JOB # 2314	
DRAWN BY: TM	

ELEVATION KEYNOTES		
1a	BRICK 1a- MODULAR SIZE MANUFACTURER: GLEN-GERY COLOUR: TBC INSTALL: SEE ELEVATIONS FOR CONFIGURATION MORTAR: STANDARD GRAY.	
1b	BRICK 1b- MODULAR SIZE MANUFACTURER: GLEN-GERY COLOUR: COAL CITY BLACK INSTALL: SEE ELEVATIONS FOR CONFIGURATION MORTAR: STANDARD GRAY.	
2a	EIFS - WHITE MANUFACTURER - TBD COLOUR: BM CALM or equivalent TEXTURE: MARBLE COAT 1.5	
2b	EIFS - BLACK MANUFACTURER - TBD COLOUR: TBC TEXTURE: MARBLE COAT 1.5	
3a	TENANT SIGNAGE ON BLACK FABRIC AWNING ON LIGHT METAL FRAME	
3b	BLACK FABRIC AWNING ON LIGHT METAL FRAME	
4	BLACK ALUMINUM STOREFRONT DOORS AND WINDOWS w/ SEALED UNIT GLAZING	
5	BLACK SPANDREL GLASS	
6	PREFINISHED ALUMINUM CAP FLASHING CASCADIA - BLACK CODE: QCB262	
7	INSULATED HOLLOW METAL DOOR c/w PRESSED STEEL FRAME COLOUR: BLACK	
8	EXTERIOR WALL SCONCE COL12/XCA-UP	
9	WALL PACK. SEE ELECTRICAL. Align base of fixture with brick coursing	
10	CONTROL JOINT	
11	BLACK ALUMINUM PUNCH WINDOW	
12	DRIVE THRU WINDOW WITH AIR CURTAIN	
13	FIBER CEMENT PANEL	
14	ACM PANELS IN CO-OP RED	



1 EAST ELEVATION
 A202 1/8" = 1'-0"



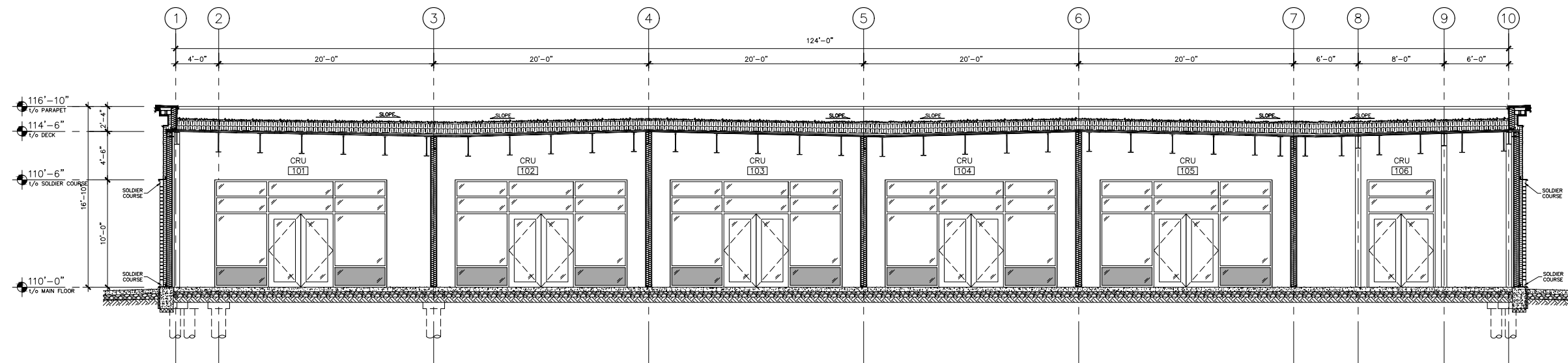
2 WEST ELEVATION
 A202 1/8" = 1'-0"

Approved September 8, 2023
 Development Planner



© This drawing is the copyright of
 Claroscuro Architecture Inc. and may
 not be reproduced without permission.

Contractor shall read drawing in
 conjunction with written specifications.
 All area calculations, dimensions and
 conditions shall be verified on site.
 Readers are advised to use at your own
 risk.
 Any questions shall be directed to the
 Architect prior to proceeding with
 construction.
 Do not scale drawings.



1 BUILDING SECTION
 3/16" = 1'-0"



PRELIMINARY
 NOT FOR CONSTRUCTION



Approved September 8, 2023
 Development Planner



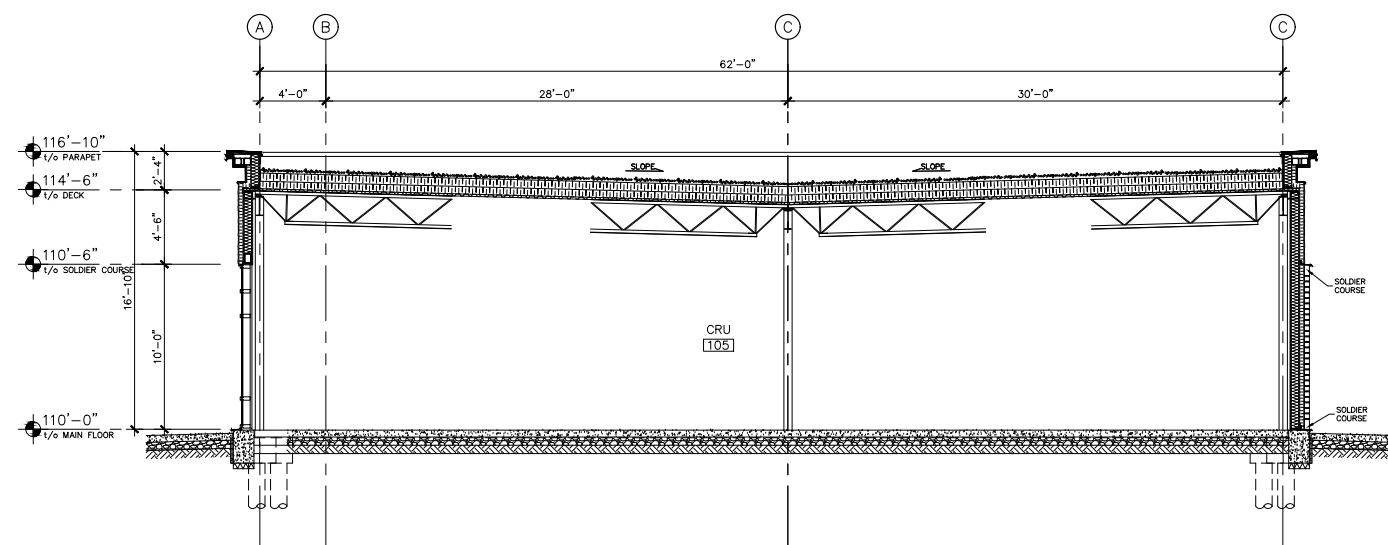
REVISIONS	YYYY.MM.DD
1 ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL
 COMMERCIAL

BLDG '5'

4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

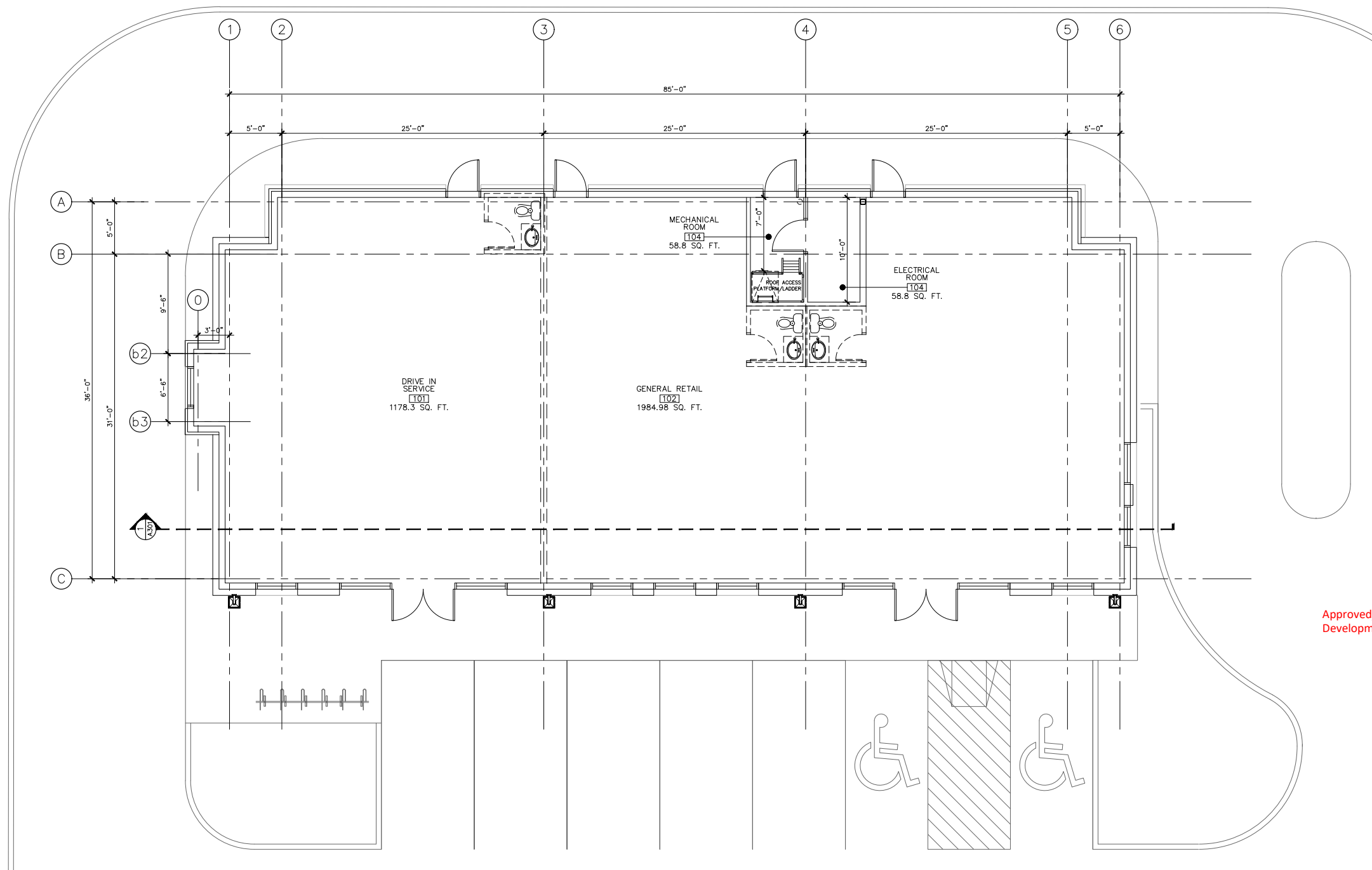


2 BUILDING SECTION
 1/4" = 1'-0"

BUILDING SECTIONS	
DATE PRINTED: April 25, 2023 <small>FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.</small>	A301
JOB # 2314	
DRAWN BY: TM	

© This drawing is the copyright of
 Claroscuro Architecture Inc. and may
 not be reproduced without permission.

Contractor shall read drawing in
 conjunction with written specifications.
 All area calculations, dimensions and
 conditions shall be verified on site.
 Readers are advised to use at your own
 risk.
 Any questions shall be directed to the
 Architect prior to proceeding with
 construction.
 Do not scale drawings.



Approved September 8, 2023
 Development Planner



PRELIMINARY
 NOT FOR CONSTRUCTION



REVISIONS		YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BUILDING FOOTPRINT:
 3,280.83 ft²

1 MAIN FLOOR PLAN
 A101
 3/16" = 1'-0"

BEAU VAL
 COMMERCIAL
 BLDG '6'

4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

MAIN FLOOR
 PLAN

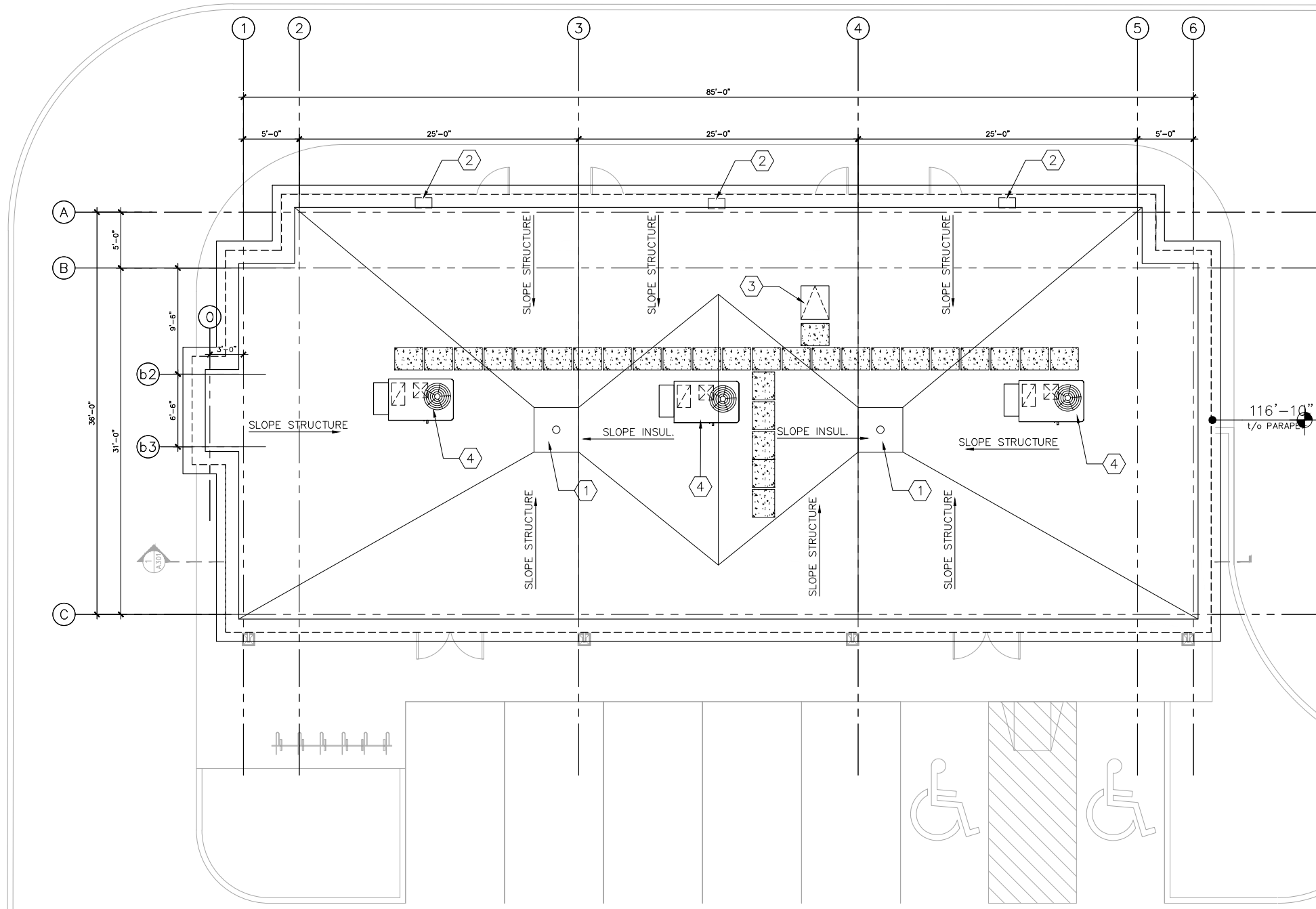
DATE PRINTED: April 24, 2023
FOR MILESTONE DATES SEE
 REVISIONS COLUMN ABOVE.

JOB # 2314
 DRAWN BY: TM

6-A101

© This drawing is the copyright of
 Claroscuro Architecture Inc. and may
 not be reproduced without permission.

Contractor shall read drawing in
 conjunction with written specifications.
 All area calculations, dimensions and
 conditions shall be verified on site.
 Readers are advised to use at your own
 risk.
 Any questions shall be directed to the
 Architect prior to proceeding with
 construction.
 Do not scale drawings.



ROOF LEGEND:

①	ROOF DRAIN (REFER TO DETAIL A/A103)
②	EMERGENCY ROOF SCUPPER (REFER TO DETAIL B/A103)
③	ROOF HATCH (REFER TO DETAIL C/A103)
④	ROOF TOP UNIT



PRELIMINARY
 NOT FOR CONSTRUCTION



Approved September 8, 2023
 Development Planner



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL
 COMMERCIAL

BLDG '6'

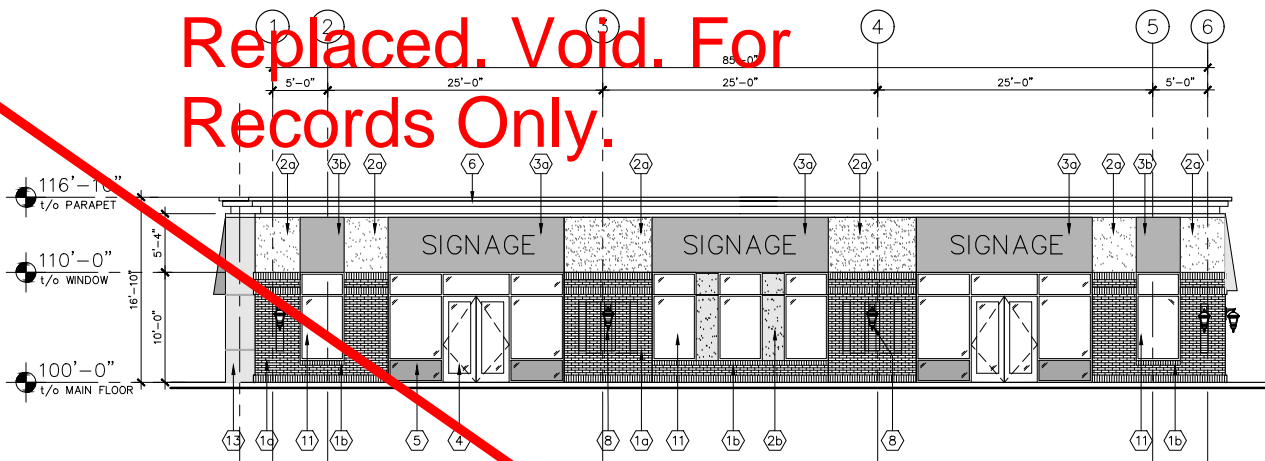
4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

1 ROOF PLAN
 A102
 3/16" = 1'-0"

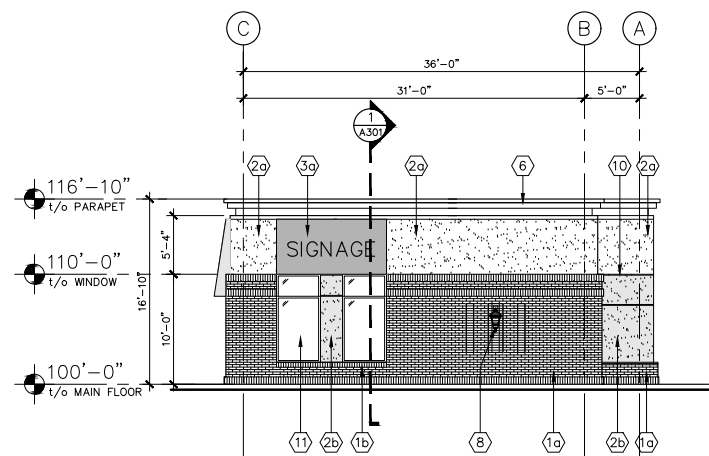
ROOF PLAN	
DATE PRINTED: April 24, 2023 <small>FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE</small>	
JOB # 2314	6-A102
DRAWN BY: TM	

Replaced. Void. For Records Only.

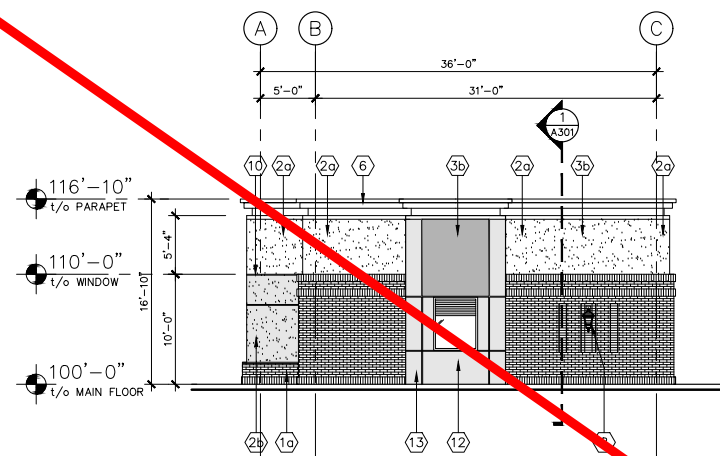


1 EAST ELEVATION
A201 1/8" = 1'-0"

Approved September 8, 2023
Development Planner



2 NORTH ELEVATION
A201 1/8" = 1'-0"



3 SOUTH ELEVATION
A201 1/8" = 1'-0"

ELEVATION KEYNOTES

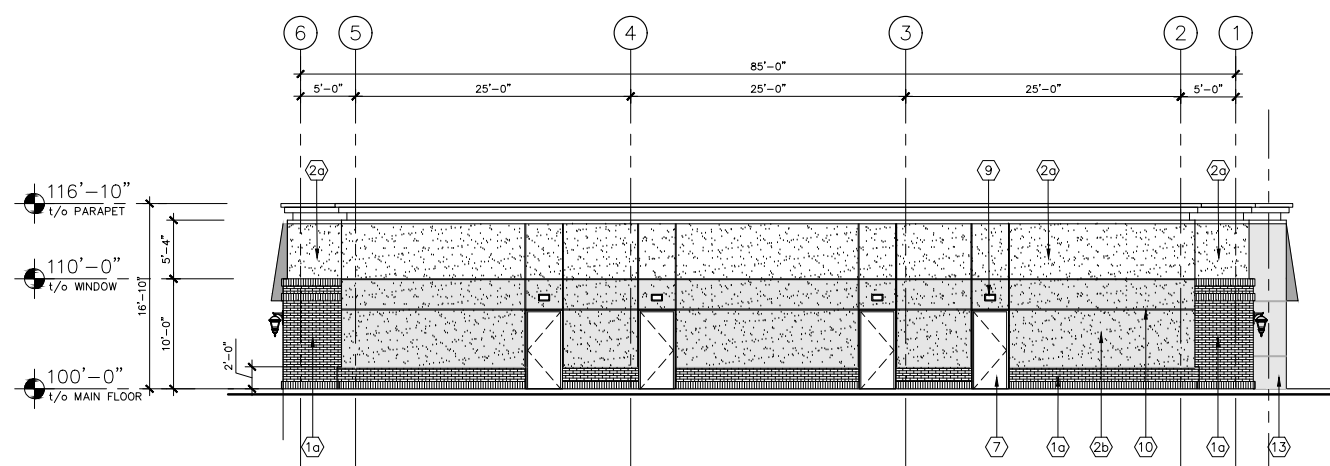
- 1a BRICK 1a- MODULAR SIZE
MANUFACTURER: GLEN-GERY
COLOUR: TBC
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY
- 1b BRICK 1b- MODULAR SIZE
MANUFACTURER: GLEN-GERY
COLOUR: COAL CITY BLACK
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY
- 2a EIFS - WHITE
MANUFACTURER - TBD
COLOUR: BM CALM or equivalent
TEXTURE: MARBLE COAT 1.5
- 2b EIFS - BLACK
MANUFACTURER - TBD
COLOUR: TBC
TEXTURE: MARBLE COAT 1.5
- 3a TENANT SIGNAGE ON BLACK FABRIC
AWNING ON LIGHT METAL FRAME
- 4 BLACK ALUMINUM WINDOWS w/ SEALED UNIT GLAZING
- 5 BLACK SPANDREL GLASS
- 6 PREFINISHED ALUMINUM CAP FLASHING
CASCADIA - BLACK
CODE: QC8262
- 7 INSULATED HOLLOW METAL DOOR
c/w PRESSED STEEL FRAME
COLOUR: BLACK
- 8 EXTERIOR WALL SCONCE
COL12/XCA-UP
- 9 WALL PACK.
SEE ELECTRICAL.
Align base of fixture with brick coursing
- 10 CONTROL JOINT
- 11 BLACK ALUMINUM PUNCH WINDOW
- 12 DRIVE THRU WINDOW WITH AIR CURTAIN
- 13 FIBER CEMENT PANEL
- 14 ACM PANELS IN CO-OP RED



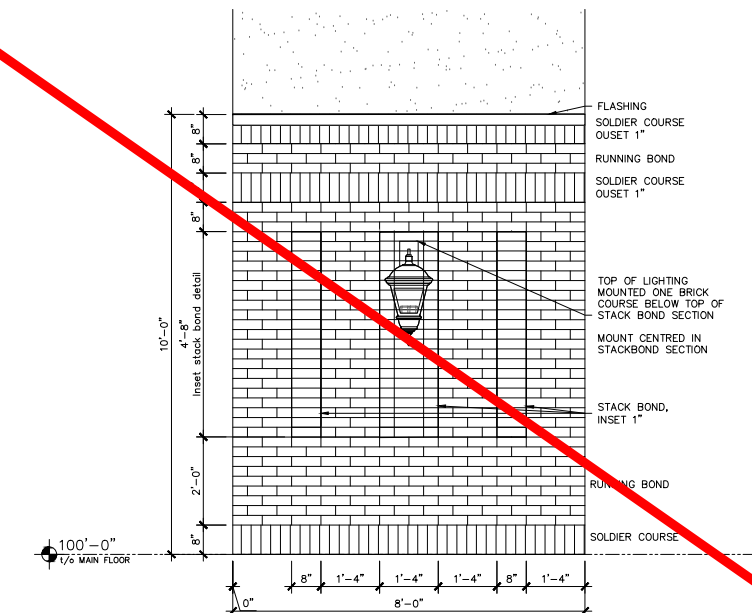
PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1 ISSUED FOR DEVELOPMENT PERMIT	2023.04.25



4 WEST ELEVATION
A201 1/8" = 1'-0"



5 BRICK DETAIL
A201 1/2" = 1'-0"

BEAU VAL COMMERCIAL

BLDG '6'

4901 - 30 AVENUE
Beaumont, Alberta

DATE PRINTED: April 24, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

EXTERIOR ELEVATIONS

JOB # 2314 6-A201

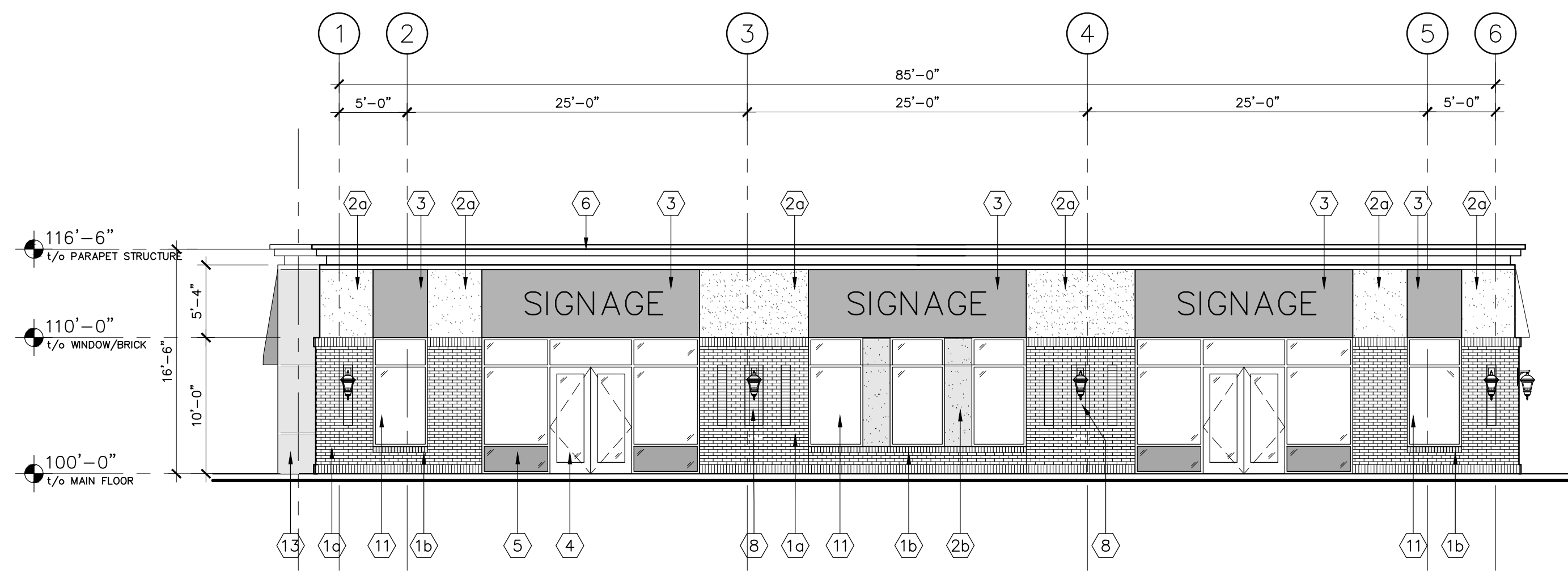
DRAWN BY: TM

© This drawing is the copyright of Claroscuco Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk.

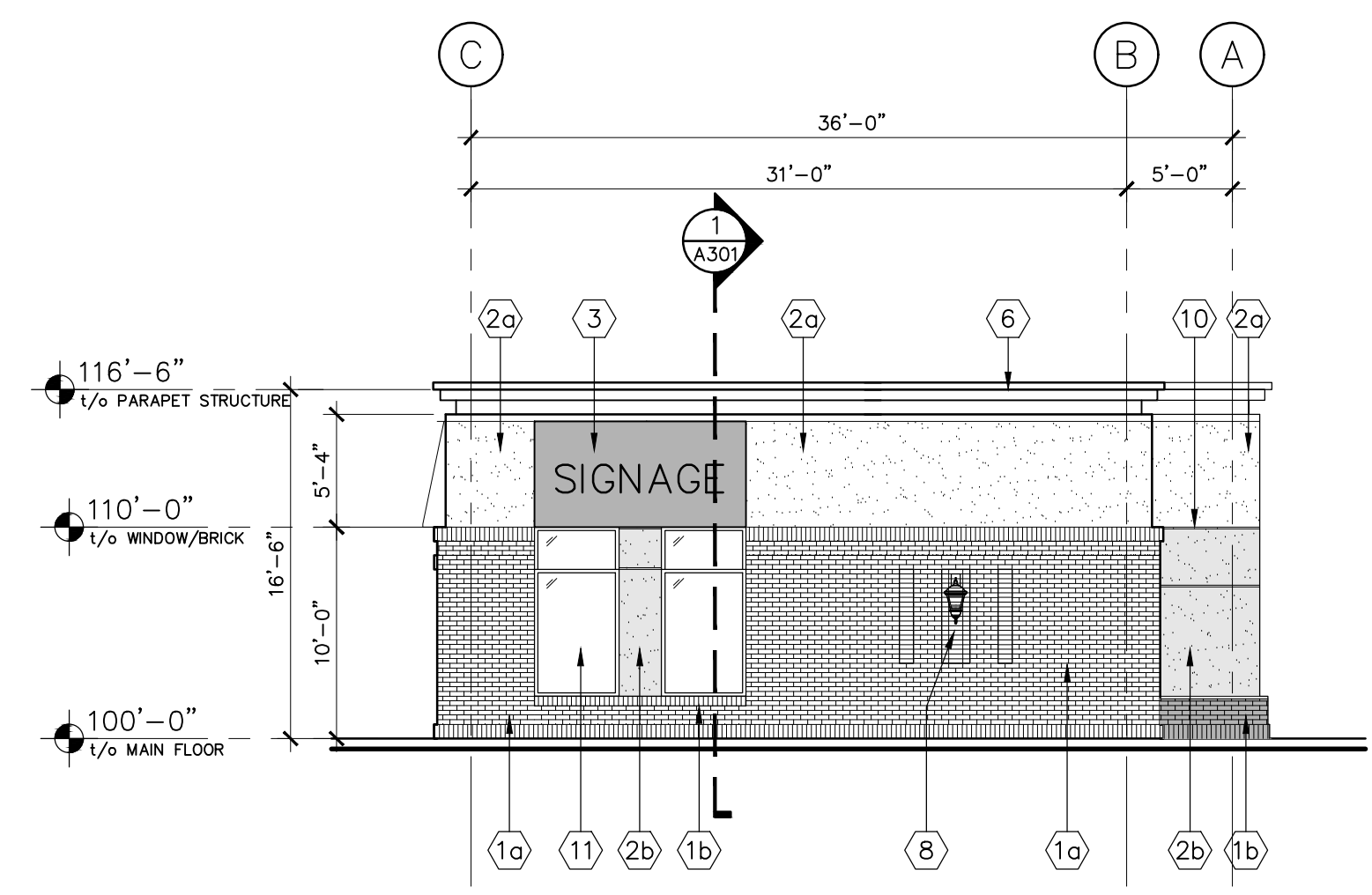
Any questions shall be directed to the Architect prior to proceeding with construction.
Do not scale drawings.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.

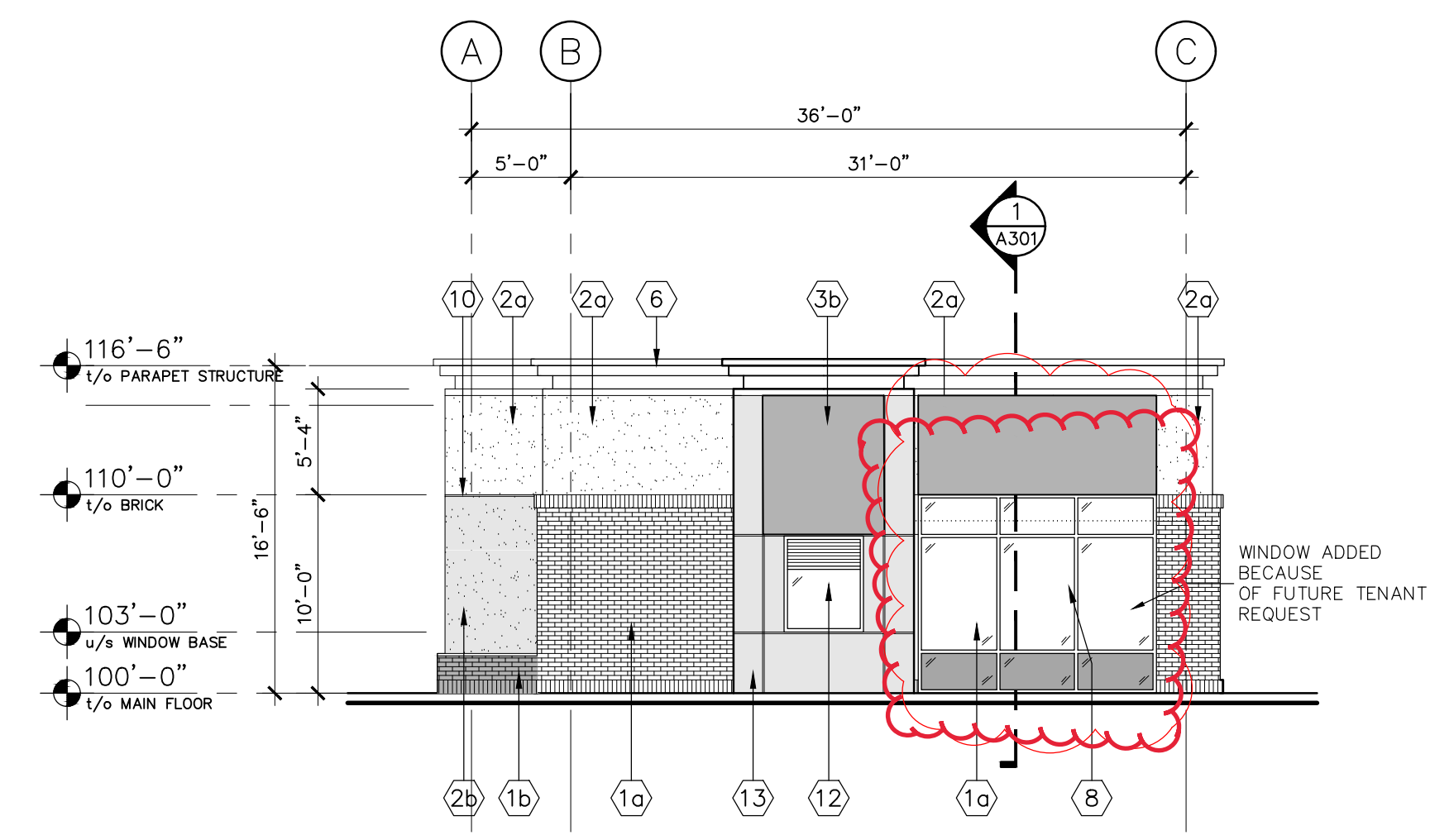


1 EAST ELEVATION
A6-201 1/8" = 1'-0"

Approved April 8, 2024
Development Planner

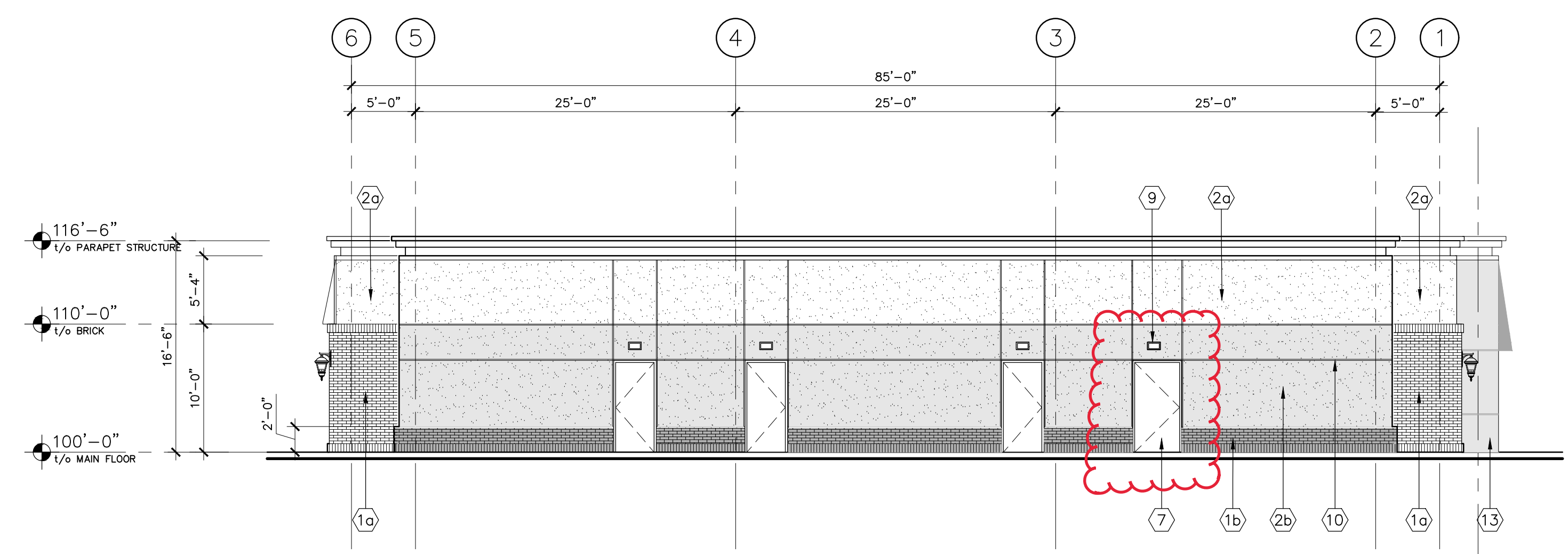


2 NORTH ELEVATION
A6-201 1/8" = 1'-0"



3 SOUTH ELEVATION
A6-201 1/8" = 1'-0"

REVISION
1. added 10'x12' window



4 WEST ELEVATION
A6-201 1/8" = 1'-0"

REVISION
2. revised door from 3'-0" to 3'-6"

ELEVATION KEYNOTES

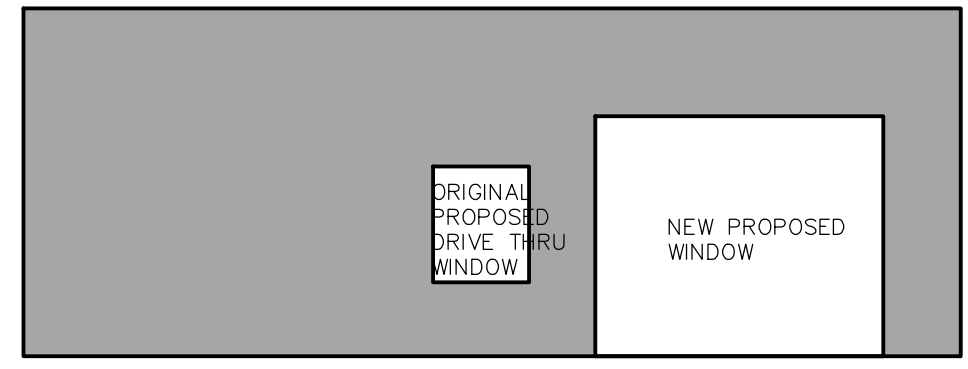
- 1a BRICK 1a- MODULAR SIZE - FULL BRICK
MANUFACTURER: GLEN-GERY
COLOUR: 51-ddx (RED)
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY.
- 1b BRICK 1b- MODULAR SIZE - FULL BRICK
MANUFACTURER: GLEN-GERY
COLOUR: VINTAGE BLACK VELOUR
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY
- 2a EIFS - WHITE
MANUFACTURER - TBD
COLOUR: BM CALM or equivalent
TEXTURE: MARBLE COAT 1.5
- 2b EIFS - BLACK
MANUFACTURER - TBD
COLOUR: DARK CHARCOAL
TEXTURE: MARBLE COAT 1.5
- 3 BLACK FABRIC AWNING LIGHT METAL FRAME
(SIGNAGE PRINTED ON AWNING)

NOTE: STUCCO BEHIND AWNING WHERE BRICK STOPS AT 10'.
BRICK BEHIND AWNING WHERE BRICK EXTENDS ABOVE 10'.

- 4 BLACK ALUMINUM STOREFRONT DOORS AND/OR WINDOWS w/ SEALED UNIT GLAZING
- 5 BLACK SPANDREL GLASS
- 6 PREFINISHED ALUMINUM CAP FLASHING
CASCADIA - BLACK
CODE: QC8262
- 7 INSULATED HOLLOW METAL DOOR
c/w PRESSED STEEL FRAME
COLOUR: BLACK
- 8 EXTERIOR WALL SCENCE
SEE ELECTRICAL FIXTURE B
- 9 WALL PACK.
SEE ELECTRICAL FIXTURE D
Align base of fixture with brick coursing
- 10 CONTROL JOINT
- 11 BLACK ALUMINUM PUNCH WINDOW
- 12 DRIVE THRU WINDOW WITH AIR CURTAIN
- 13 REINFORCED CEMENTITIOUS FIBER CEMENT PANEL
DIMENSION: 2'x4' PANELS
COLOUR: GREY SLATE (HARDIE BOARD)
TRIM TO MATCH PANELS
TRIM TO BE CONTINUOUS ON THE HORIZONTAL, AND VERTICAL TRIM TO BREAK AT HORIZONTAL
- 14 FUTURE FCL SUPPLIED AND INSTALLED CO-OP SIGNAGE
- 15 CO-OP SHIELD, FCL SUPPLIED AND INSTALLED
- 16 OVERFLOW SCUPPER
- 17 OVERHEAD DOOR
- 18 NOT USED
- 19 COVE LIGHTING ILLUMINATING SIGNAGE
SEE ELECTRICAL FIXTURE F
SEE 1/A601 ARCHITECTURAL PARAPET DETAIL
- 20 RAISED GRADEBEAM
SEE STRUCTURAL
- 21 BLACK METAL ROOFING



REVISIONS	YYYY.MM.DD	
19	ISSUE FOR REVISION (BLDG 6/8)	2024.02.28
18	RE-IFC FULL PKG (BLDG 5)	2023.12.22
17	DP MAJOR REVISION (BLDG 2)	2023.12.15
16	RE-IFC FULL PKG (BLDG 1)	2023.12.13
15	RE-IFC FULL PKG (BLDG 3)	2023.12.13
15	RE-IFC FULL PKG (BLDG 4)	2023.12.12
14	RE-IFC FULL PKG (BLDG 6)	2023.12.11
13	RE-IFC FULL PKG (BLDG 7)	2023.11.29
12	RE-IFC FULL PKG (BLDG 8)	2023.11.24
FIRST ISSUE FOR EXPEDITING FOUNDATIONS. FULL IFC WILL BE RE-ISSUED FOR ALL BUILDINGS WITH MORE DETAIL		
11	ISSUE FOR CONSTRUCTION (BLDG 2)	2023.11.21
10	ISSUE FOR CONSTRUCTION (BLDG 1)	2023.11.02
9	ISSUE FOR CONSTRUCTION (BLDG 3)	2023.10.31
8	ISSUE FOR CONSTRUCTION (BLDG 4)	2023.10.30
7	ISSUE FOR CONSTRUCTION (BLDG 5)	2023.10.25
6	ISSUE FOR CONSTRUCTION (BLDG 6)	2023.10.17
5	ISSUE FOR CONSTRUCTION (BLDG 8)	2023.10.03
4	RE-ISSUE FOR BUILDING PERMIT	2023.10.03
3	ISSUE FOR BUILDING PERMIT	2023.08.25
2	RE-ISSUED FOR DP w/ additional info	2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25



REVISION SENT TO CITY FEB 28th
East wall
566 sq ft total wall
140 sq ft total unprotected openings
= 25% unprotected openings proposed
100% unprotected openings allowed

BEAU VAL COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

EXTERIOR ELEVATIONS

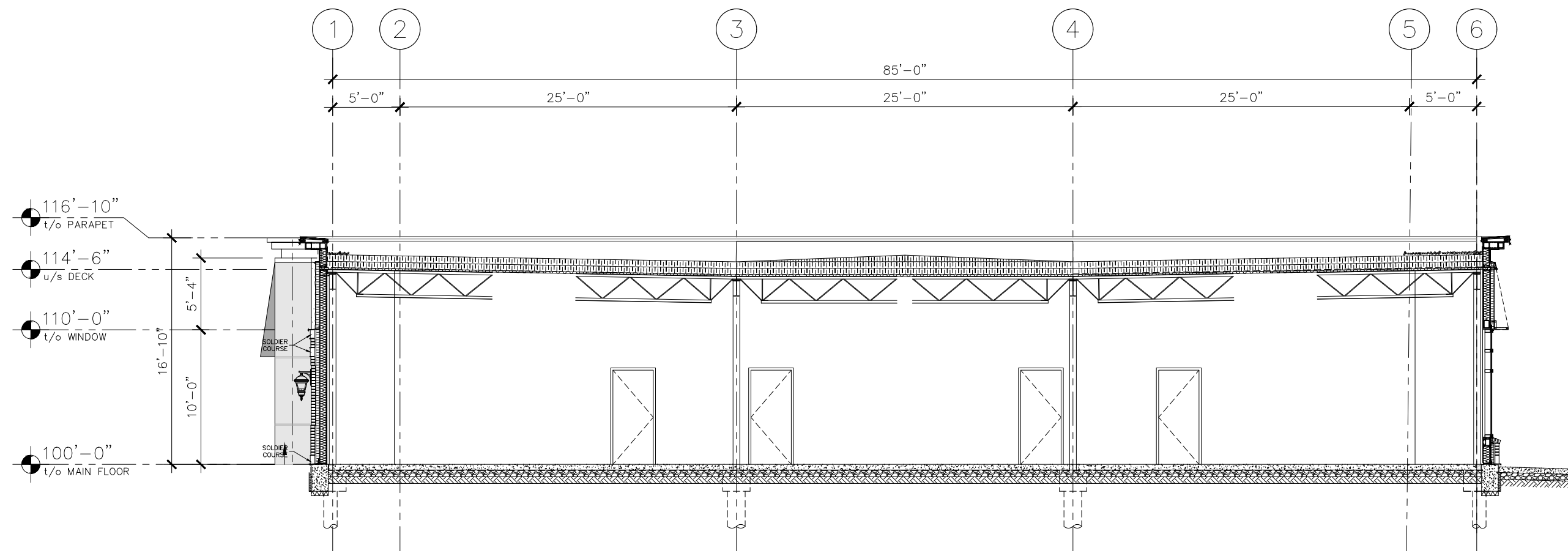
DATE PRINTED: March 1, 2024
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

JOB # 2314 A6-201

DRAWN BY: TM

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



1 BUILDING SECTION
A301
1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1 ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

Approved September 8, 2023
Development Planner

BEAU VAL
COMMERCIAL

BLDG '6'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

BUILDING SECTION

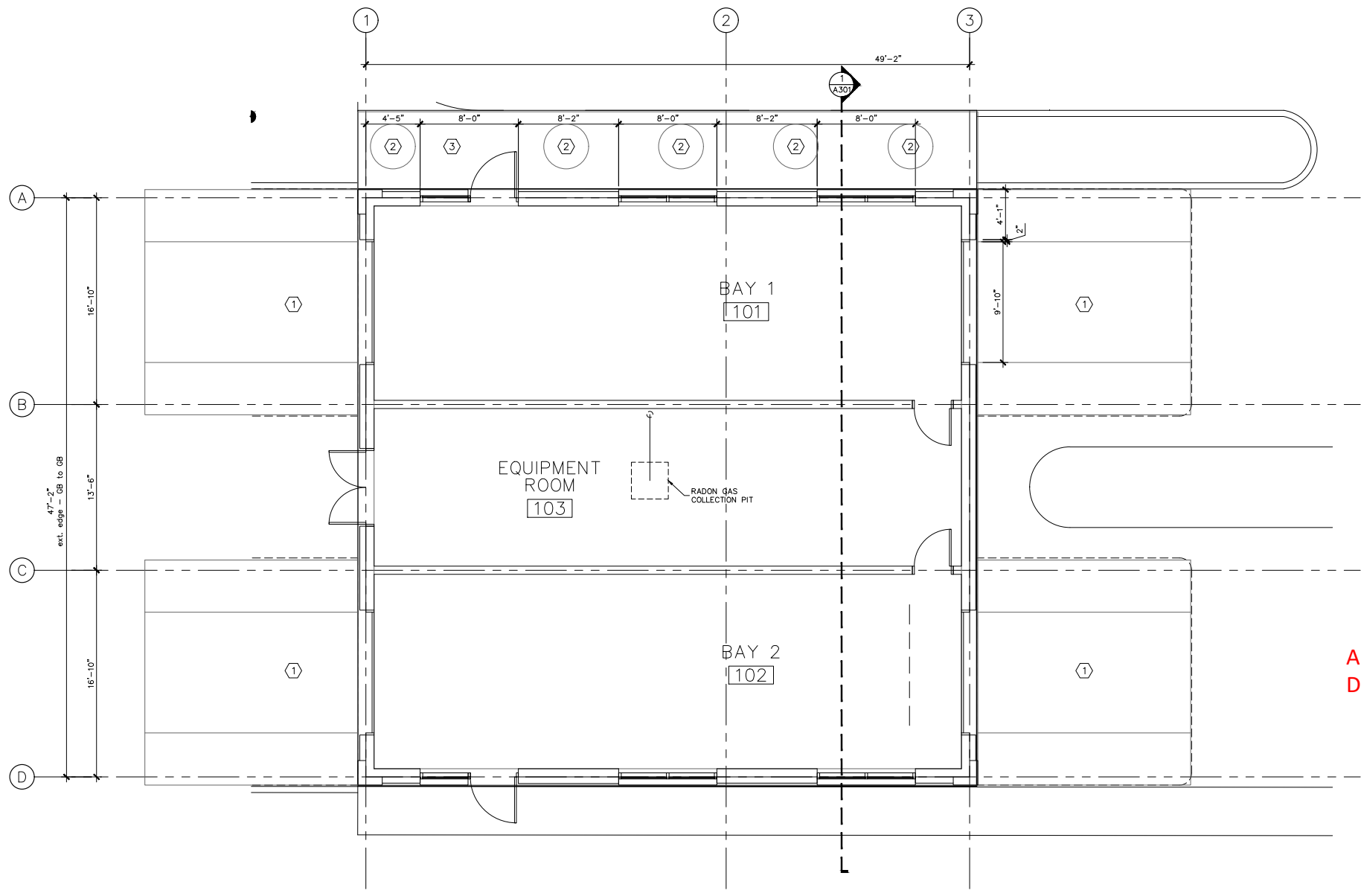
DATE PRINTED: April 24, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE

JOB # 2314
DRAWN BY: TM

6-A301

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



PLAN LEGEND:

- ① CONCRETE PAD
- ② INTERCEPTOR PIT LIDS
- ③ CONCRETE OVER INTERCEPTOR PIT AREA

Approved September 8, 2023
 Development Planner

BUILDING FOOTPRINT:
 2,319.02 ft²

1 MAIN FLOOR PLAN
 A101
 3/16" = 1'-0"



PRELIMINARY
 NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL
 COMMERCIAL

BLDG '7'

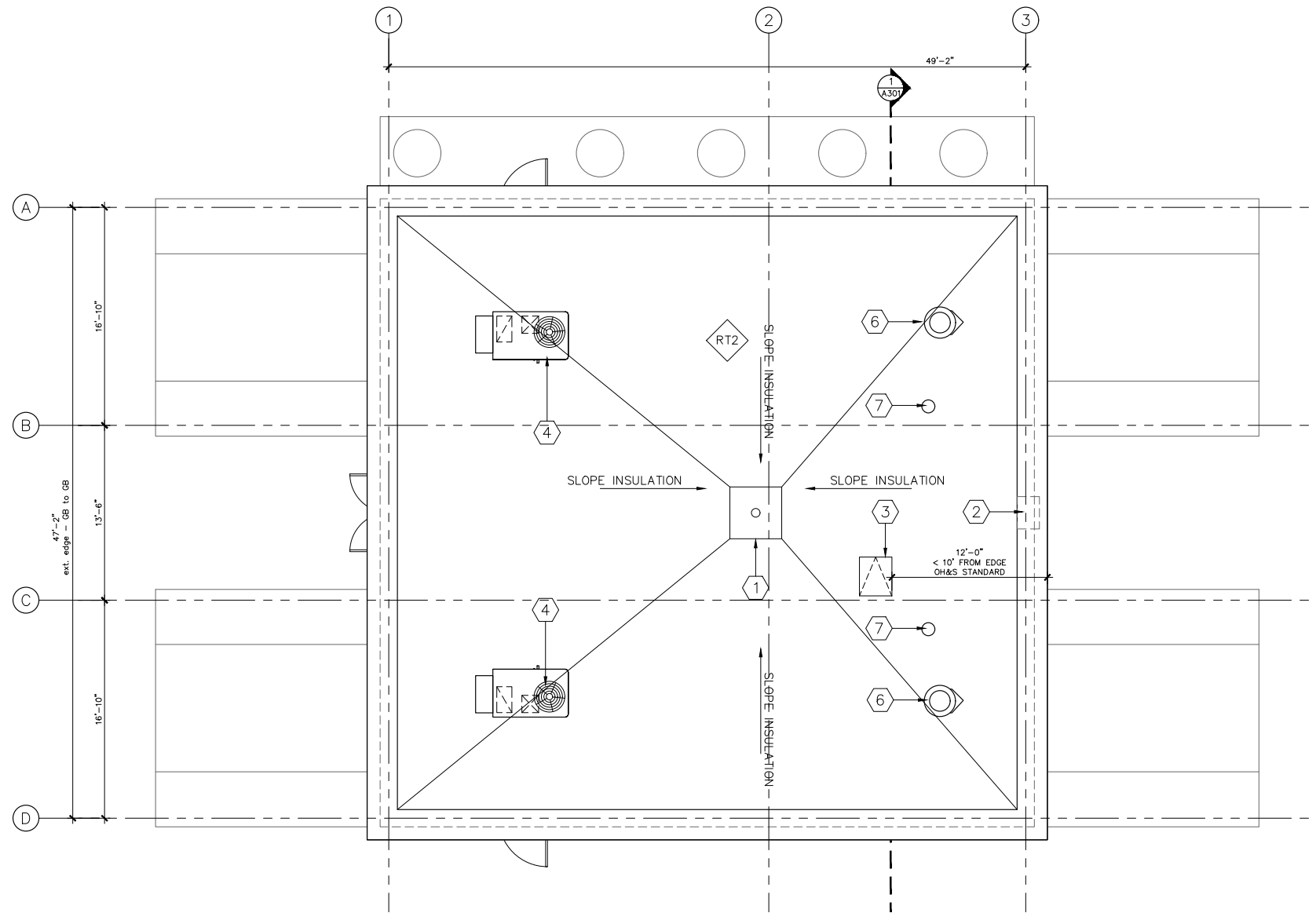
4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

MAIN FLOOR PLAN	
DATE PRINTED: April 24, 2023 <small>FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.</small>	7-A101
JOB # 2314	
DRAWN BY: TM	

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



- ROOF LEGEND:**
- ① ROOF DRAIN (REFER TO DETAIL A/A103)
 - ② ROOF SCUPPER (REFER TO DETAIL B/A103)
 - ③ ROOF HATCH (REFER TO DETAIL C/A103)
 - ④ ROOF TOP UNIT
 - ⑥ MECHANICAL EQMT
 - ⑦ CHIMNEY

Approved September 8, 2023
 Development Planner



PRELIMINARY
 NOT FOR CONSTRUCTION

CLAROSCURO
 Architecture Inc
 www.claroscuro.ca
 502-10158 103 St. NW
 Edmonton, AB, T5J 0X6

REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

1 ROOF PLAN
 A102 3/16" = 1'-0"

BEAU VAL
 COMMERCIAL

BLDG '7'

4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

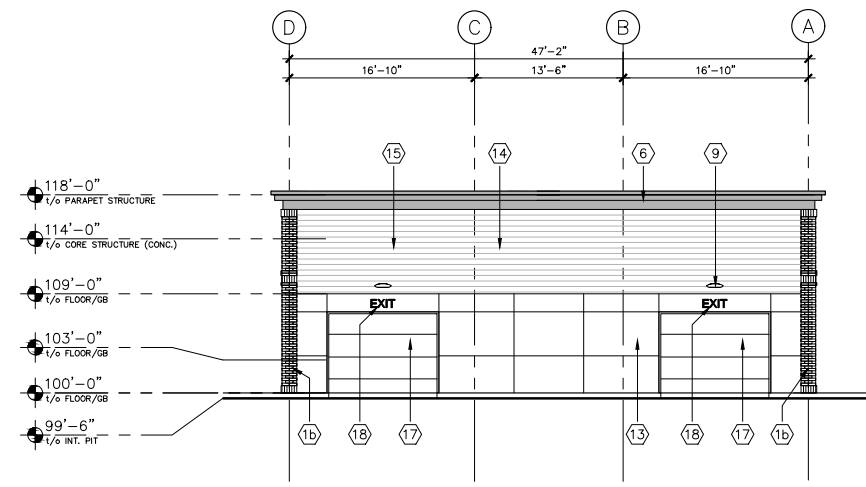
ROOF PLAN

DATE PRINTED: April 24, 2023
 FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

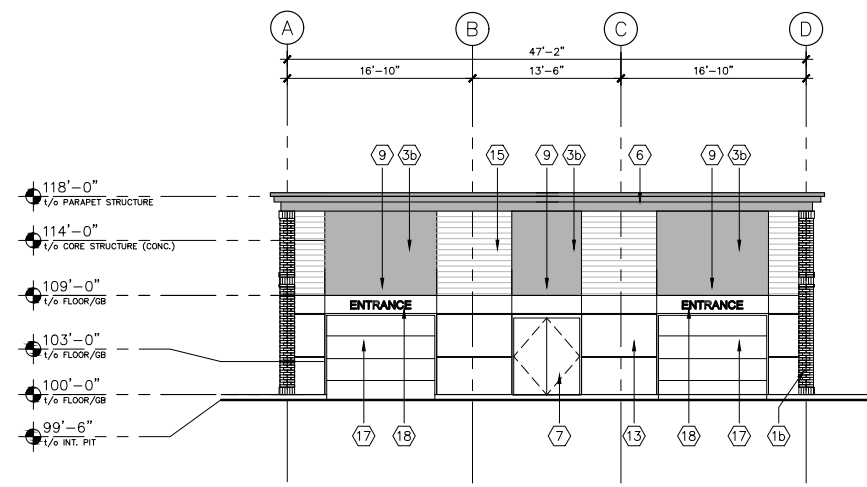
JOB # 2314 7-A102

DRAWN BY: TM

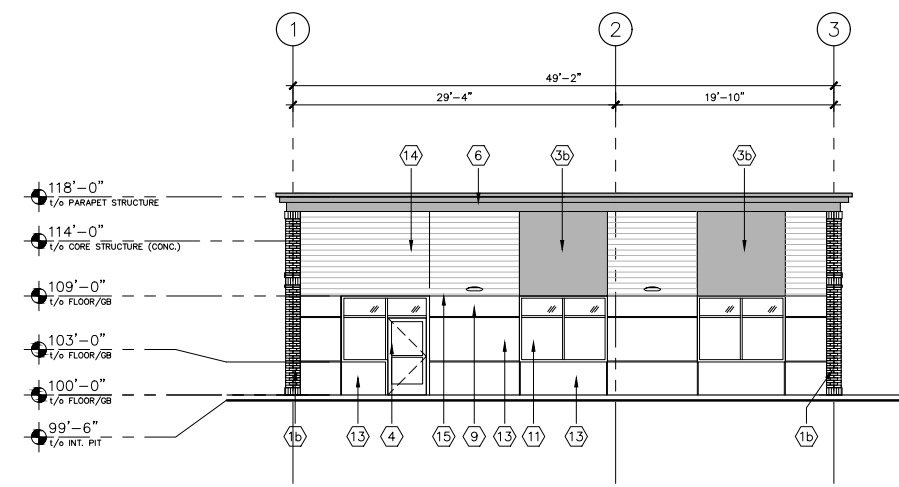
Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



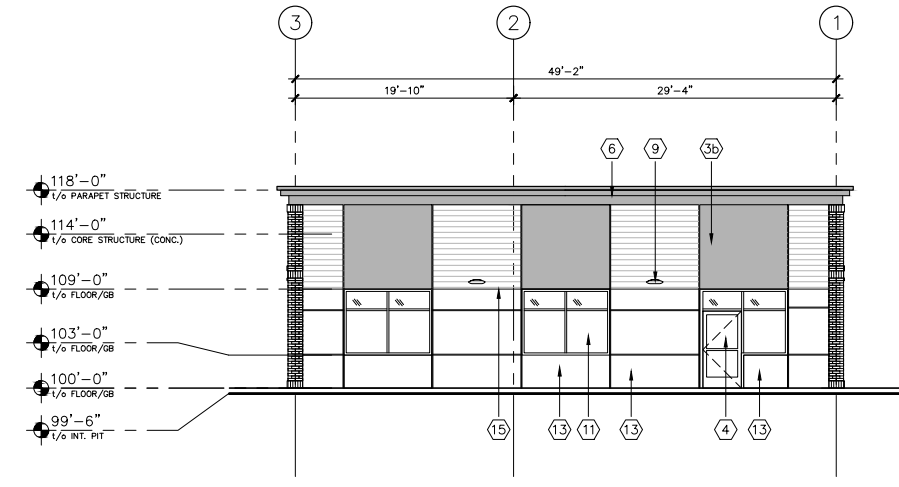
1 SOUTH ELEVATION
A201 1/8" = 1'-0"



2 NORTH ELEVATION
A201 1/8" = 1'-0"



3 EAST ELEVATION
A201 1/8" = 1'-0"



4 WEST ELEVATION
A201 1/8" = 1'-0"

Approved September 8, 2023
Development Planner

- CO-OP ELEVATION KEYNOTES**
- 1a) BRICK 1a- MODULAR SIZE
MANUFACTURER: GLEN-GERY
COLOUR: HORIZON
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY.
 - 1b) BRICK 1b- MODULAR SIZE
MANUFACTURER: GLEN-GERY
COLOUR: COAL CITY BLACK
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY.
 - 2a) EIFS - WHITE
MANUFACTURER - TBD
COLOUR: BM CALM or equivalent
TEXTURE: MARBLE COAT 1.5
 - 2b) EIFS - BLACK
MANUFACTURER - TBD
COLOUR: TBC
TEXTURE: MARBLE COAT 1.5
 - 3a) TENANT SIGNAGE ON BLACK FABRIC
AWNING ON LIGHT METAL FRAME
 - 3b) BLACK FABRIC AWNING
ON LIGHT METAL FRAME
 - 4) BLACK ALUMINUM STOREFRONT DOORS AND WINDOWS
w/ SEALED UNIT GLAZING
 - 5) BLACK SPANDREL GLASS
 - 6) PREFINISHED ALUMINUM CAP FLASHING
CASCADIA - BLACK
CODE: QC8262
 - 7) INSULATED HOLLOW METAL DOOR
c/w PRESSED STEEL FRAME
COLOUR: BLACK
 - 8) EXTERIOR WALL SCONCE
COL12/XCA-UP
 - 9) WALL PACK.
SEE ELECTRICAL.
Align base of fixture with brick coursing
 - 10) CONTROL JOINT
 - 11) BLACK ALUMINUM PUNCH WINDOW
 - 12) DRIVE THRU WINDOW WITH AIR CURTAIN
 - 13) REINFORCED CEMENTITIOUS FIBER CEMENT PANEL
DIMENSION: 2'X4' PANELS
COLOUR: PEARL GREY (HARDIE BOARD)
TRIM CLEAR ANNOIDIZED
TRIM TO BE CONTINUOUS ON THE HORIZONTAL, AND
VERTICAL TRIM TO BREAK AT HORIZONTAL
 - 14) METAL COMPOSITE PANEL IN CO-OP RED
 - 15) HORIZONTAL METAL SIDING
VICWEST AD300-R WOOD GRAIN
COLOUR: DARK CEDAR WOODGRAIN
 - 16) OVERFLOW SCUPPER
 - 17) OVERHEAD DOOR
 - 18) ANNOIDIZED ALUMINUM LETTERS 1'-0" HIGH
FCL SUPPLIED AND INSTALLED



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS		YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL
COMMERCIAL

BLDG '7'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

EXTERIOR
ELEVATIONS

DATE PRINTED: April 24, 2023
FOR MILESTONE DATES SEE
REVISIONS COLUMN ABOVE.

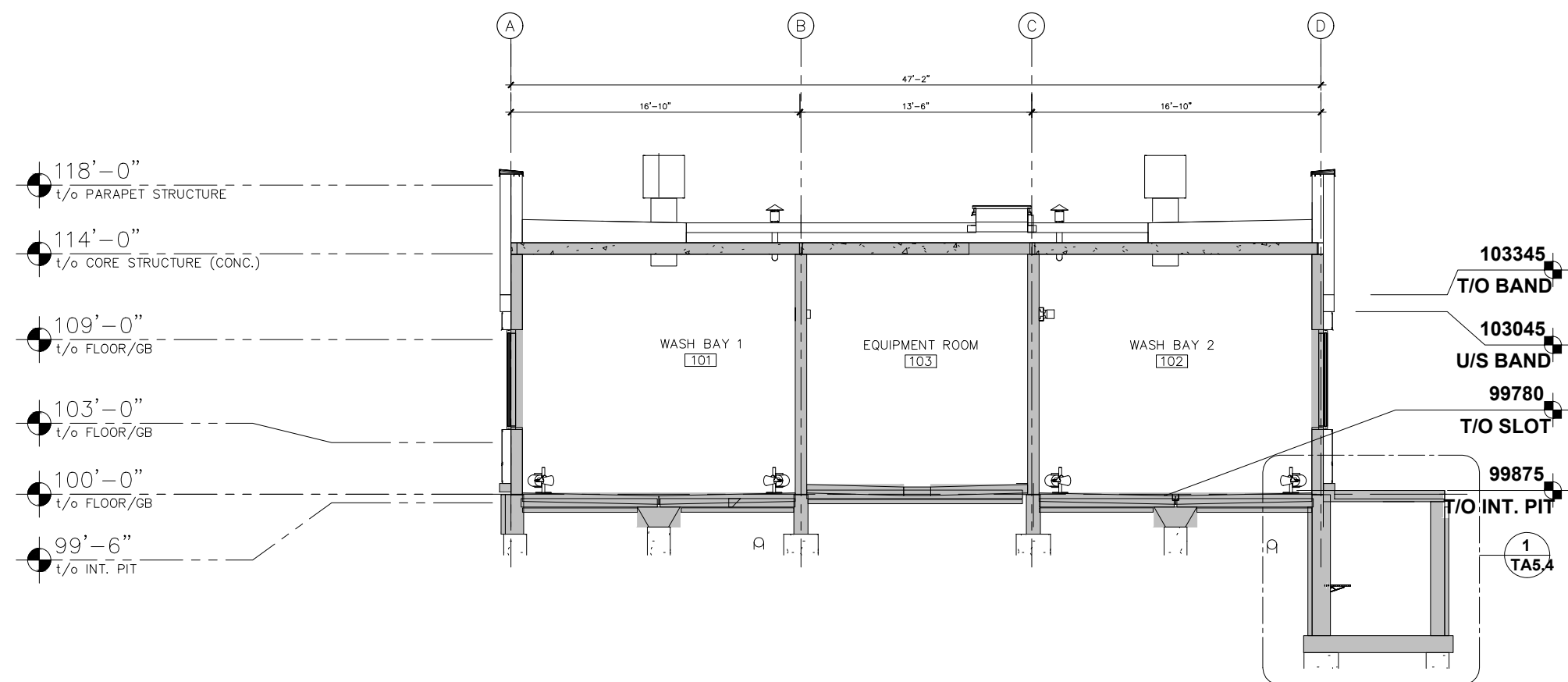
JOB # 2314 7-A201

DRAWN BY: TM

© This drawing is the copyright of
 Claroscuro Architecture Inc. and may
 not be reproduced without permission.

Contractor shall read drawing in
 conjunction with written specifications.
 All area calculations, dimensions and
 conditions shall be verified on site.
 Readers are advised to use at your own
 risk.
 Any questions shall be directed to the
 Architect prior to proceeding with
 construction.
 Do not scale drawings.

Approved September 8, 2023
 Development Planner



1 BUILDING SECTION
 A301 1/4" = 1'-0"



PRELIMINARY
 NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL
 COMMERCIAL

BLDG '7'

4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

BUILDING SECTION

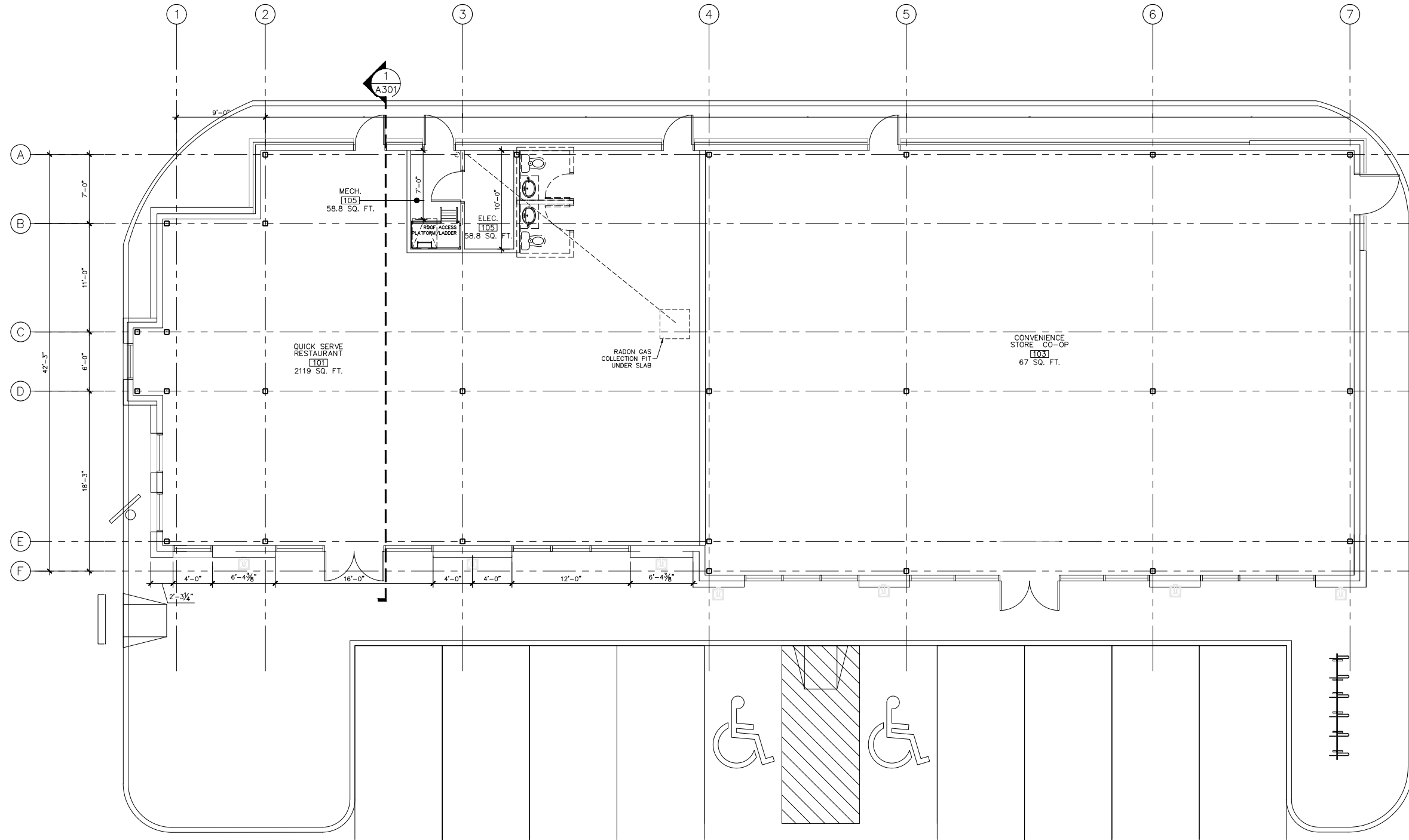
DATE PRINTED: April 24, 2023
 FOR MILESTONE DATES SEE
 REVISIONS COLUMN ABOVE

JOB # 2314 7-A301

DRAWN BY: TM

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
2	RE-ISSUED FOR DP w/ additional info 2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL COMMERCIAL
BLDG '8'
4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

BUILDING FOOTPRINT:
5,158.09 ft²

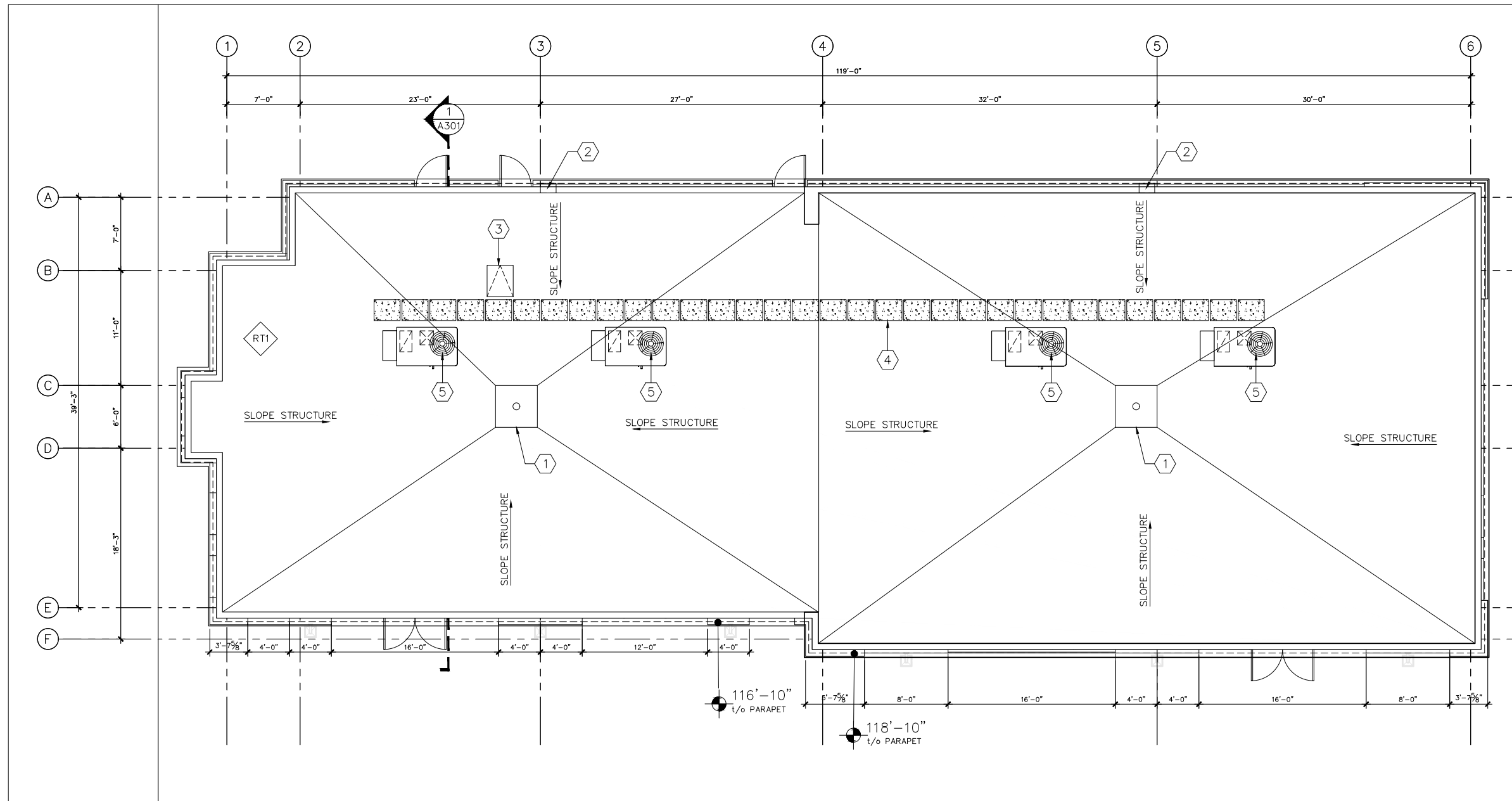
1 MAIN FLOOR PLAN
A101
3/16" = 1'-0"

Approved September 8, 2023
Development Planner



MAIN FLOOR PLAN	
DATE PRINTED: June 14, 2023 FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE	
JOB # 2314	8-A101
DRAWN BY: TM	

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



1 ROOF PLAN
A102
3/16" = 1'-0"

Approved _____
Development Planner

September 8, 2023

[Redacted Signature]

- ROOF LEGEND:**
- ① ROOF DRAIN (REFER TO DETAIL A/A103)
 - ② ROOF SCUPPER (REFER TO DETAIL B/A103)
 - ③ ROOF HATCH (REFER TO DETAIL C/A103)
 - ④ ROOF TOP UNIT
 - ⑥ MECHANICAL EQMT
 - ⑦ CHIMNEY



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL COMMERCIAL

BLDG '8'

4901 - 30 AVENUE
Beaumont, Alberta

CONTRACTOR STAMP

ROOF PLAN

DATE PRINTED: April 24, 2023	8-A102
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE	
JOB # 2314	
DRAWN BY: TM	

Replaced. Void. For Records Only.

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
2	RE-ISSUED FOR DP w/ additional info 2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL COMMERCIAL

BLDG '8'

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

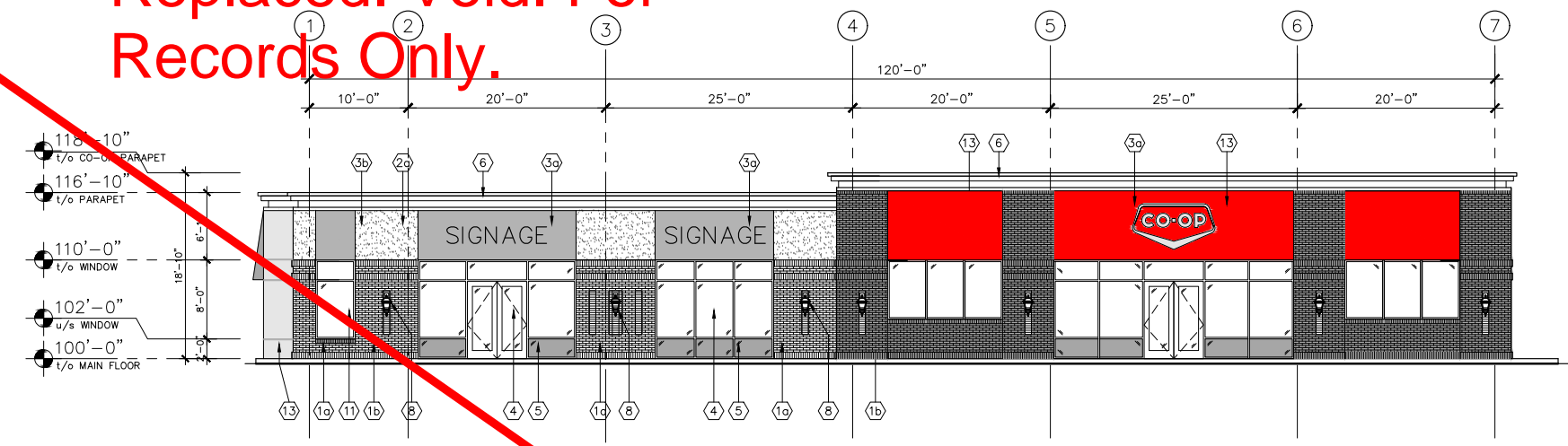
EXTERIOR ELEVATIONS

DATE PRINTED: June 14, 2023
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

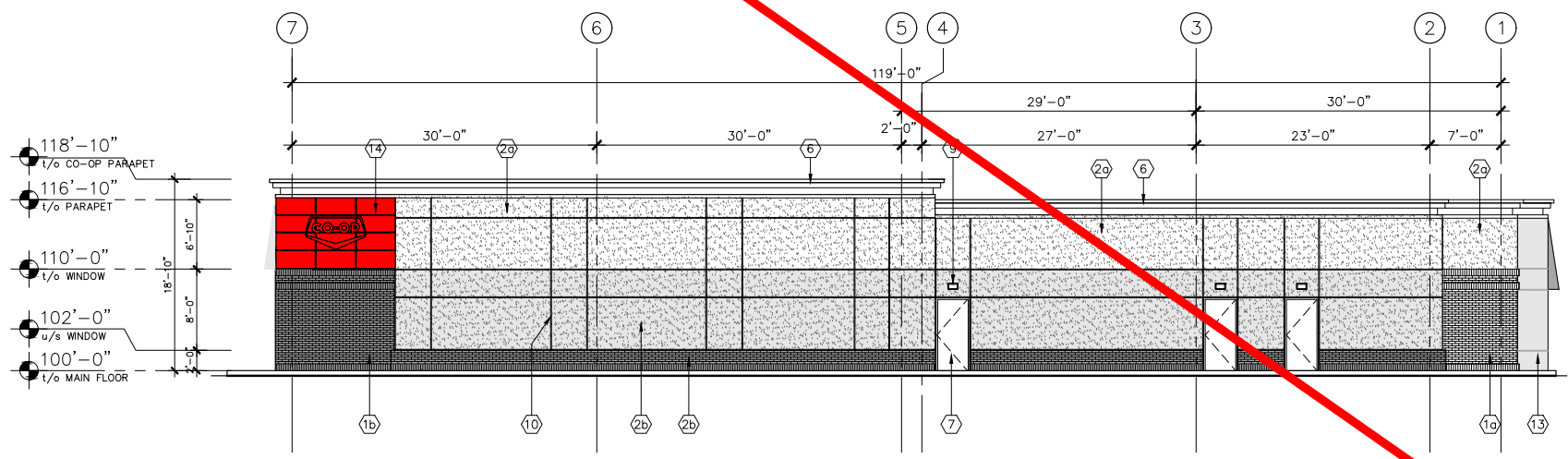
JOB # 2314 8-A201

DRAWN BY: TM

ELEVATION KEYNOTES	
1a	BRICK 1a- MODULAR SIZE MANUFACTURER: GLEN-GERY COLOUR: TBC INSTALL: SEE ELEVATIONS FOR CONFIGURATION MORTAR: STANDARD GRAY.
1b	BRICK 1b- MODULAR SIZE MANUFACTURER: GLEN-GERY COLOUR: COAL CITY BLACK INSTALL: SEE ELEVATIONS FOR CONFIGURATION MORTAR: STANDARD GRAY
2a	EIFS - WHITE MANUFACTURER - TBD COLOUR: BM CALM or equivalent TEXTURE: MARBLE COAT 1.5
2b	EIFS - BLACK MANUFACTURER - TBD COLOUR: TBC TEXTURE: MARBLE COAT 1.5
3a	TENANT SIGNAGE ON BLACK FABRIC AWNING ON LIGHT METAL FRAME
3b	BLACK FABRIC AWNING ON LIGHT METAL FRAME
4	BLACK ALUMINUM STOREFRONT DOORS AND WINDOWS w/ SEALED UNIT GLAZING
5	BLACK SPANDREL GLASS
6	PREFINISHED ALUMINUM CAP FLASHING CASCADIA - BLACK CODE: QC8262
7	INSULATED HOLLOW METAL DOOR c/w PRESSED STEEL FRAME COLOUR: BLACK
8	EXTERIOR WALL SCONCE COL12/XCA-UP
9	WALL PACK. SEE ELECTRICAL. Align base of fixture with brick coursing
10	CONTROL JOINT
11	BLACK ALUMINUM PUNCH WINDOW
12	DRIVE THRU WINDOW WITH AIR CURTAIN
13	FIBER CEMENT PANEL
14	ACM PANELS IN CO-OP RED

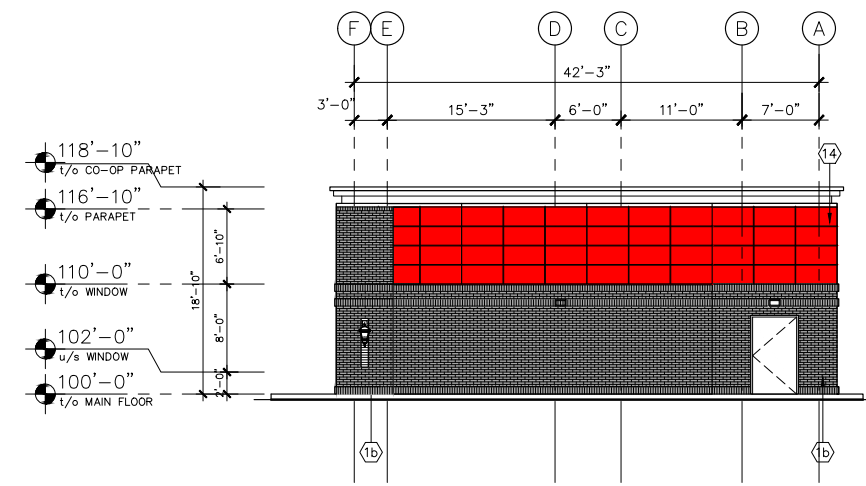


1 SOUTH ELEVATION
A201
1/8" = 1'-0"

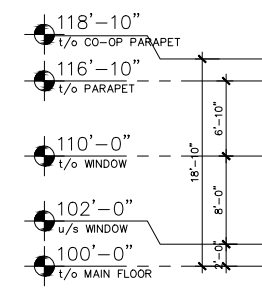


2 NORTH ELEVATION
A201
1/8" = 1'-0"

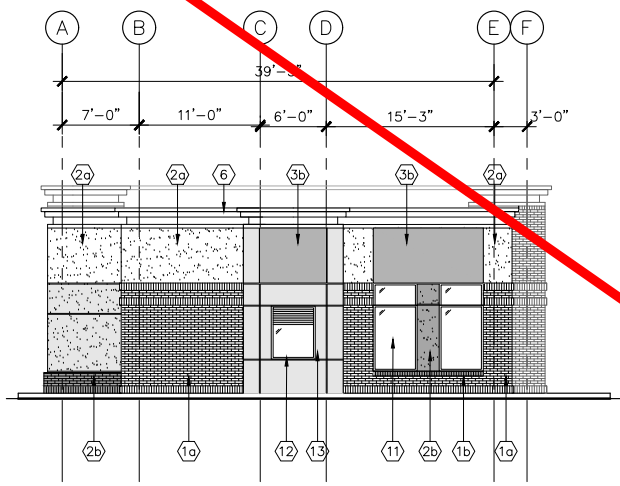
Approved September 8, 2023
Development Planner



3 WEST ELEVATION
A201
1/8" = 1'-0"



4 EAST ELEVATION
A201
1/8" = 1'-0"



- ELEVATION KEYNOTES**
- 10a BRICK 1a- MODULAR SIZE - FULL BRICK
MANUFACTURER: GLEN-GERY
COLOUR: 51-ddx (RED)
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY.
 - 10b BRICK 1b- MODULAR SIZE - FULL BRICK
MANUFACTURER: GLEN-GERY
COLOUR: VINTAGE BLACK VELOUR
INSTALL: SEE ELEVATIONS FOR CONFIGURATION
MORTAR: STANDARD GRAY.
 - 20a EIFS - WHITE
MANUFACTURER - TBD
COLOUR: BM CALM or equivalent
TEXTURE: MARBLE COAT 1.5
 - 20b EIFS - BLACK
MANUFACTURER - TBD
COLOUR: DARK CHARCOAL
TEXTURE: MARBLE COAT 1.5
 - 3 BLACK FABRIC AWNING LIGHT METAL FRAME
(SIGNAGE PRINTED ON AWNING)
- NOTE: STUCCO BEHIND AWNING WHERE BRICK STOPS AT 10'.
BRICK BEHIND AWNING WHERE BRICK EXTENDS ABOVE 10'.
- 4 BLACK ALUMINUM STOREFRONT DOORS AND/OR
WINDOWS w/ SEALED UNIT GLAZING
 - 5 BLACK SPANDREL GLASS
 - 6 PREFINISHED ALUMINUM CAP FLASHING
CASCADIA - BLACK
CODE: QC8262
 - 7 INSULATED HOLLOW METAL DOOR
c/w PRESSED STEEL FRAME
COLOUR: BLACK
 - 8 EXTERIOR WALL SCONCE
SEE ELECTRICAL FIXTURE B
 - 9 WALL PACK.
SEE ELECTRICAL FIXTURE D
Align base of fixture with brick coursing
 - 10 CONTROL JOINT
 - 11 BLACK ALUMINUM PUNCH WINDOW
 - 12 DRIVE THRU WINDOW WITH AIR CURTAIN
 - 13 REINFORCED CEMENTITIOUS FIBER CEMENT PANEL
DIMENSION: 2'x4' PANELS
COLOUR: GREY SLATE (HARDIE BOARD)
TRIM TO MATCH PANELS
TRIM TO BE CONTINUOUS ON THE HORIZONTAL, AND
VERTICAL TRIM TO BREAK AT HORIZONTAL
 - 14 FUTURE FCL SUPPLIED AND INSTALLED CO-OP SIGNAGE
 - 15 CO-OP SHIELD, FCL SUPPLIED AND INSTALLED
 - 16 OVERFLOW SCUPPER
 - 17 OVERHEAD DOOR
 - 18 NOT USED
 - 19 COVE LIGHTING ILLUMINATING SIGNAGE
SEE ELECTRICAL FIXTURE F
SEE 1/A601 ARCHITECTURAL PARAPET DETAIL
 - 20 RAISED GRADEBEAM
SEE STRUCTURAL
 - 21 BLACK METAL ROOFING



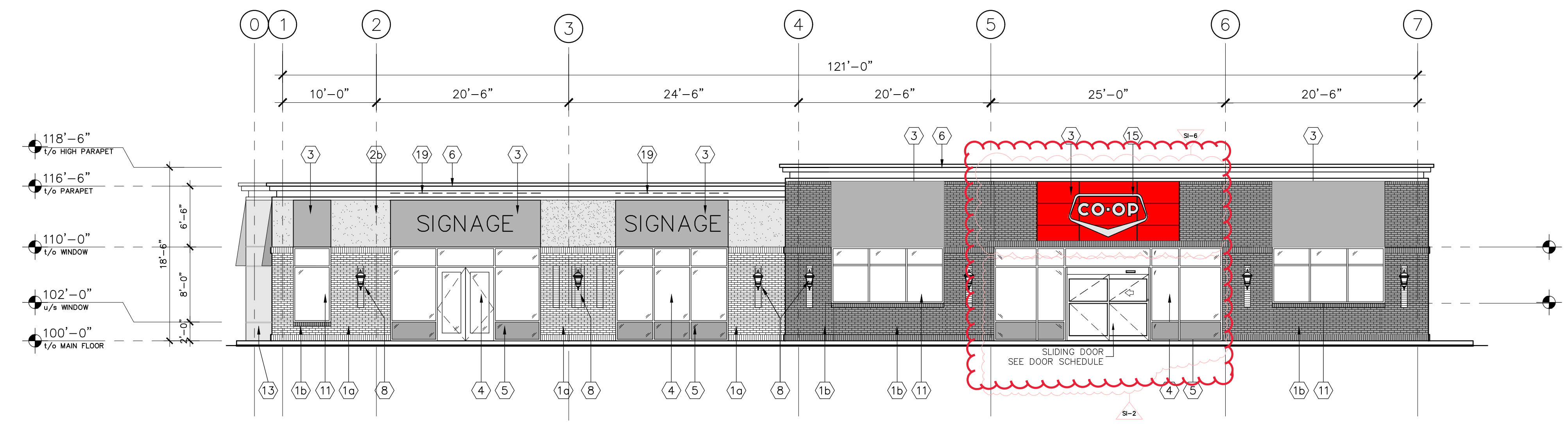
CLAROSCURO
Architecture Inc
www.claroscuro.ca
502-10158 103 St. NW
Edmonton, AB, T5J 0X6

REVISIONS	YYYY.MM.DD	
19	ISSUE FOR REVISION (BLDG 6&8)	2024.02.28
18	RE-IFC FULL PKG (BLDG 5)	2023.12.22
17	DP MAJOR REVISION (BLDG 2)	2023.12.15
16	RE-IFC FULL PKG (BLDG 1)	2023.12.13
15	RE-IFC FULL PKG (BLDG 3)	2023.12.13
15	RE-IFC FULL PKG (BLDG 4)	2023.12.12
14	RE-IFC FULL PKG (BLDG 6)	2023.12.11
13	RE-IFC FULL PKG (BLDG 7)	2023.11.29
12	RE-IFC FULL PKG (BLDG 8)	2023.11.24
FIRST ISSUE FOR EXPEDITING FOUNDATIONS. FULL IFC WILL BE REISSUED FOR ALL BUILDINGS WITH MORE DETAIL		
11	ISSUE FOR CONSTRUCTION (BLDG 2)	2023.11.21
10	ISSUE FOR CONSTRUCTION (BLDG 1)	2023.11.02
9	ISSUE FOR CONSTRUCTION (BLDG 3)	2023.10.31
8	ISSUE FOR CONSTRUCTION (BLDG 4)	2023.10.30
7	ISSUE FOR CONSTRUCTION (BLDG 5)	2023.10.25
6	ISSUE FOR CONSTRUCTION (BLDG 6)	2023.10.17
5	ISSUE FOR CONSTRUCTION (BLDG 8)	2023.10.03
4	RE-ISSUE FOR BUILDING PERMIT	2023.10.03
3	ISSUE FOR BUILDING PERMIT	2023.08.25
2	RE-ISSUED FOR DP w/ additional info	2023.05.01
1	ISSUE FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL
COMMERCIAL
BLDG '8'
4901 - 30 AVENUE
Beaumont, Alberta

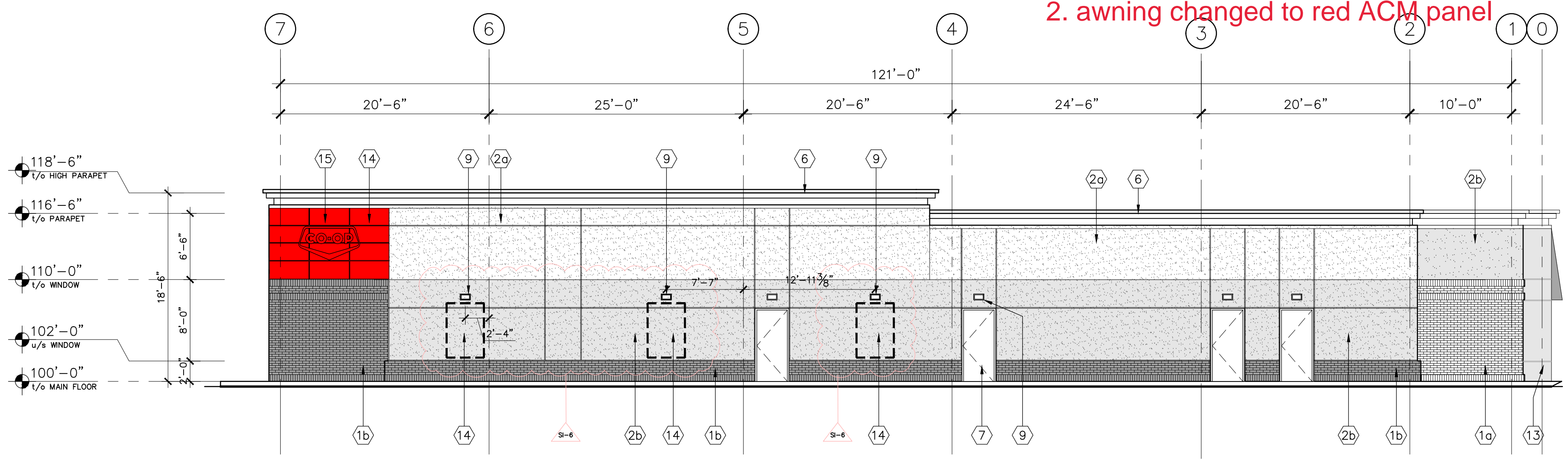
CONSULTANT STAMP:

EXTERIOR ELEVATIONS
DATE PRINTED: March 1, 2024
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.
JOB # 2314
DRAWN BY: TM
A8-201



1 SOUTH ELEVATION
A8-201 1/8" = 1'-0"

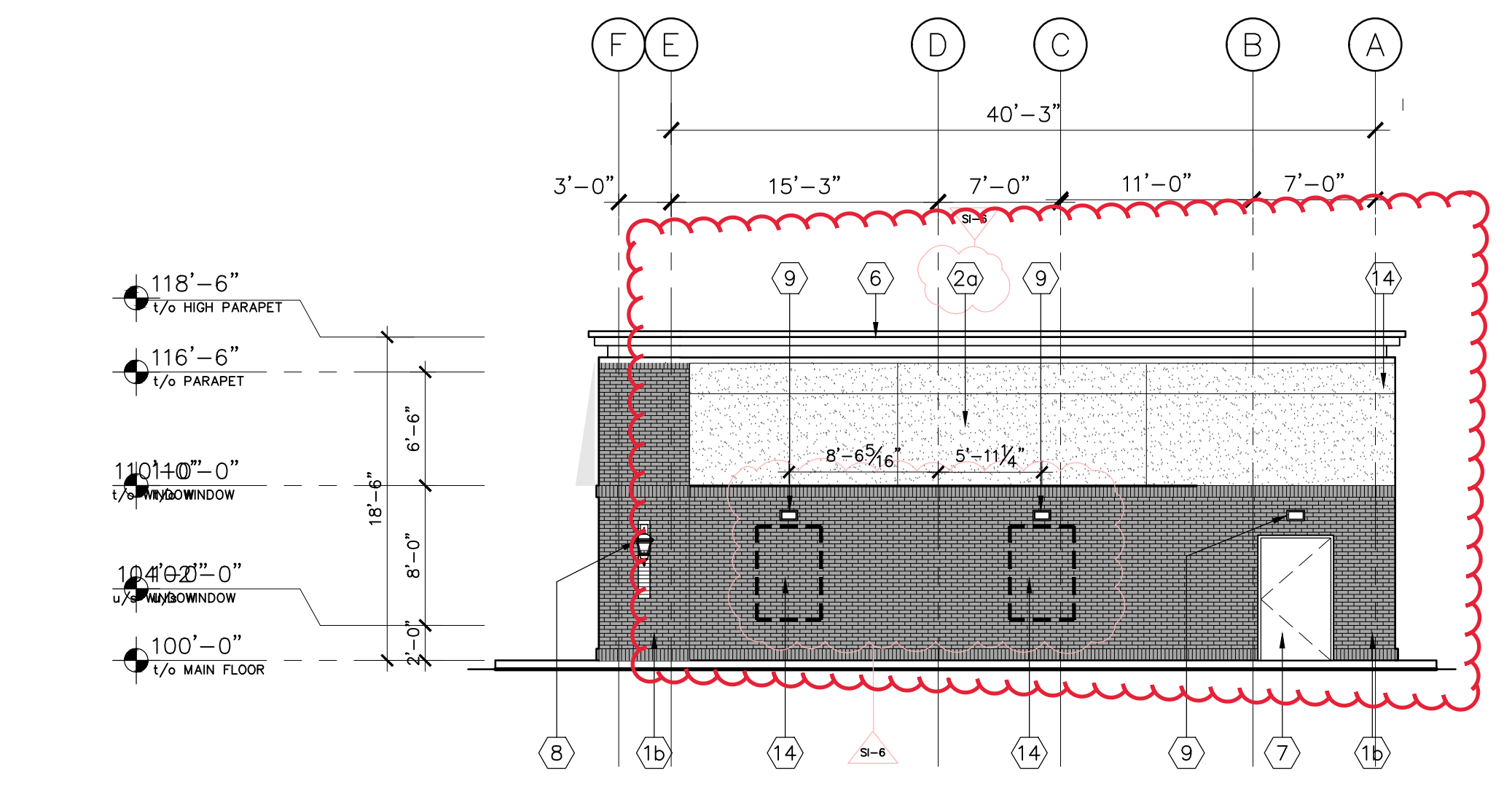
Revisions
1. swing doors changed to automatic sliding door
2. awning changed to red ACM panel



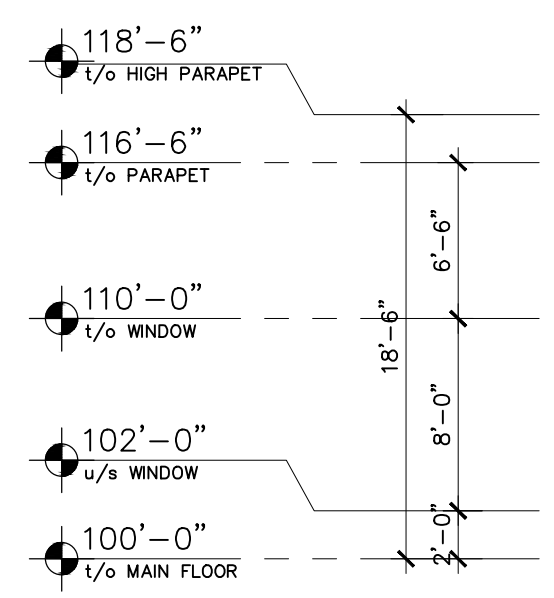
2 NORTH ELEVATION
A8-201 1/8" = 1'-0"

REVISIONS:
3. from 10' to 16' acm panel is replaced with stucco.
4. Additional lighting added to side and back wall of drive thru

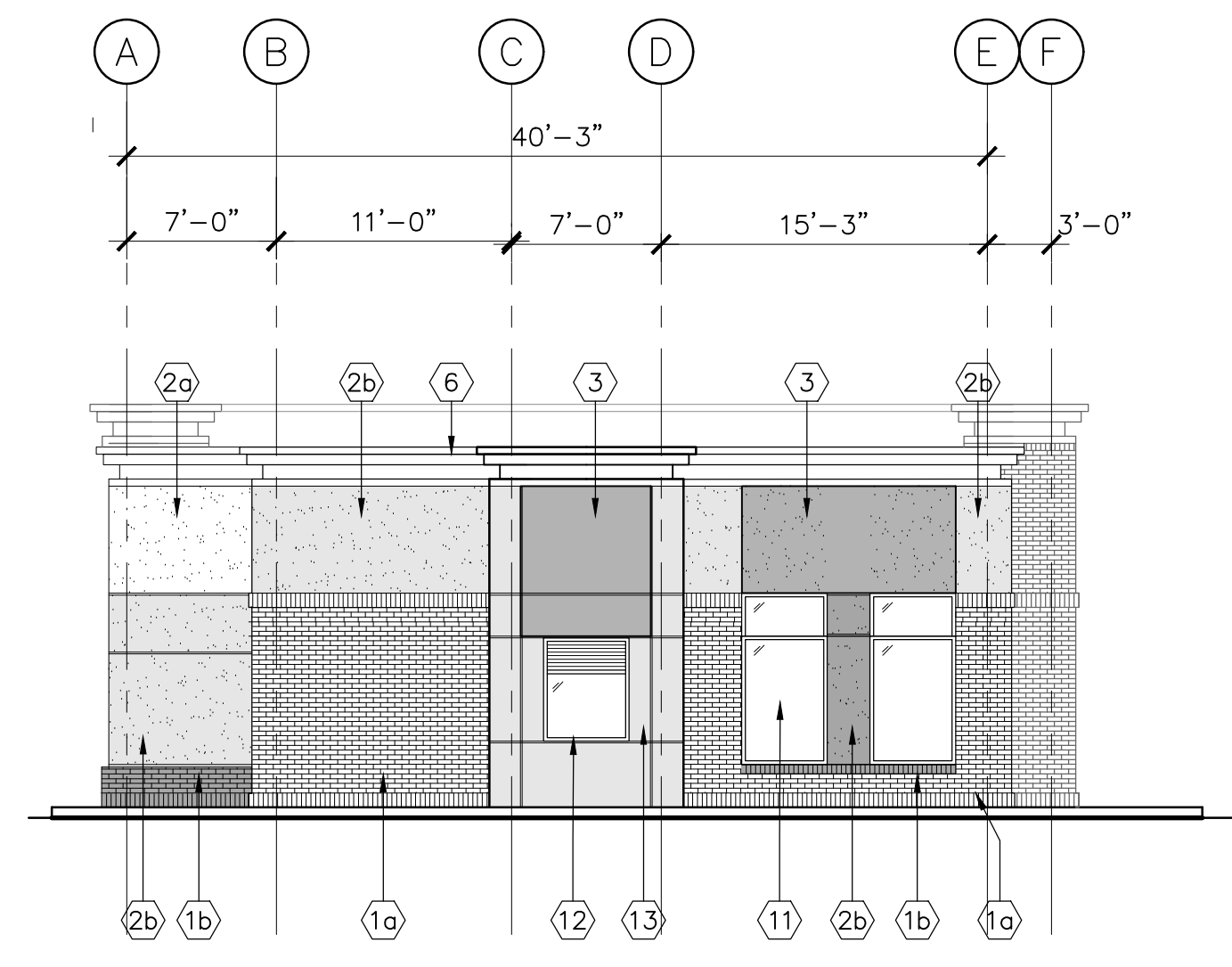
Approved April 8, 2024
Development Planner



3 EAST ELEVATION
A8-201 1/8" = 1'-0"



4 WEST ELEVATION
A8-201 1/8" = 1'-0"



© This drawing is the copyright of
 Claroscuro Architecture Inc. and may
 not be reproduced without permission.

Contractor shall read drawing in
 conjunction with written specifications.
 All area calculations, dimensions and
 conditions shall be verified on site.
 Readers are advised to use at your own
 risk.
 Any questions shall be directed to the
 Architect prior to proceeding with
 construction.
 Do not scale drawings.



PRELIMINARY
 NOT FOR CONSTRUCTION



REVISIONS		YYYY.MM.DD
1	ISSUED FOR DEVELOPMENT PERMIT	2023.04.25

BEAU VAL
 COMMERCIAL

BLDG '8'

4901 - 30 AVENUE
 Beaumont, Alberta

CONSULTANT STAMP:

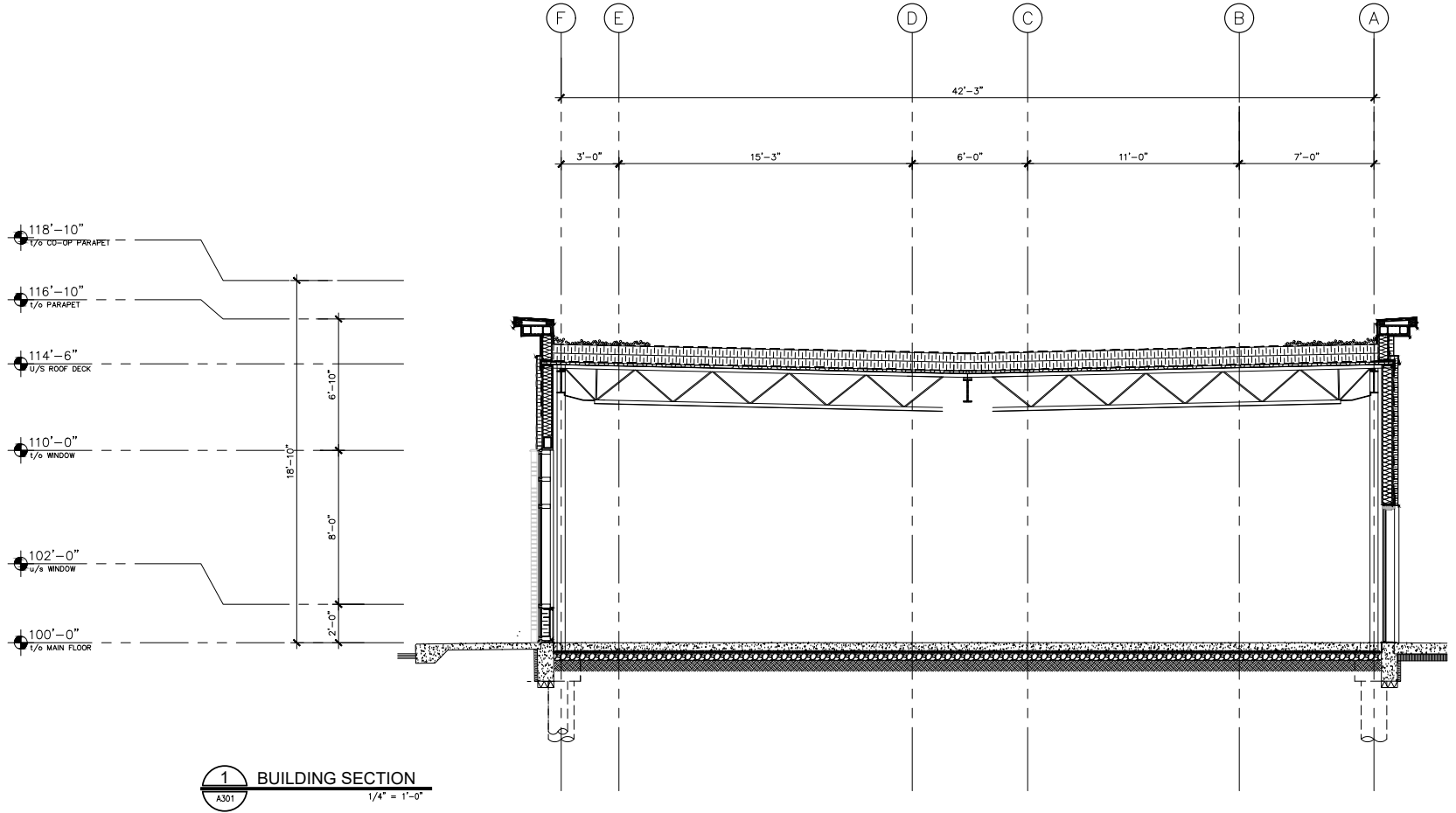
BUILDING
 SECTIONS

DATE PRINTED: April 24, 2023
 FOR MILESTONE DATES SEE
 REVISIONS COLUMN ABOVE

JOB # 2314

DRAWN BY: TM

8-A301









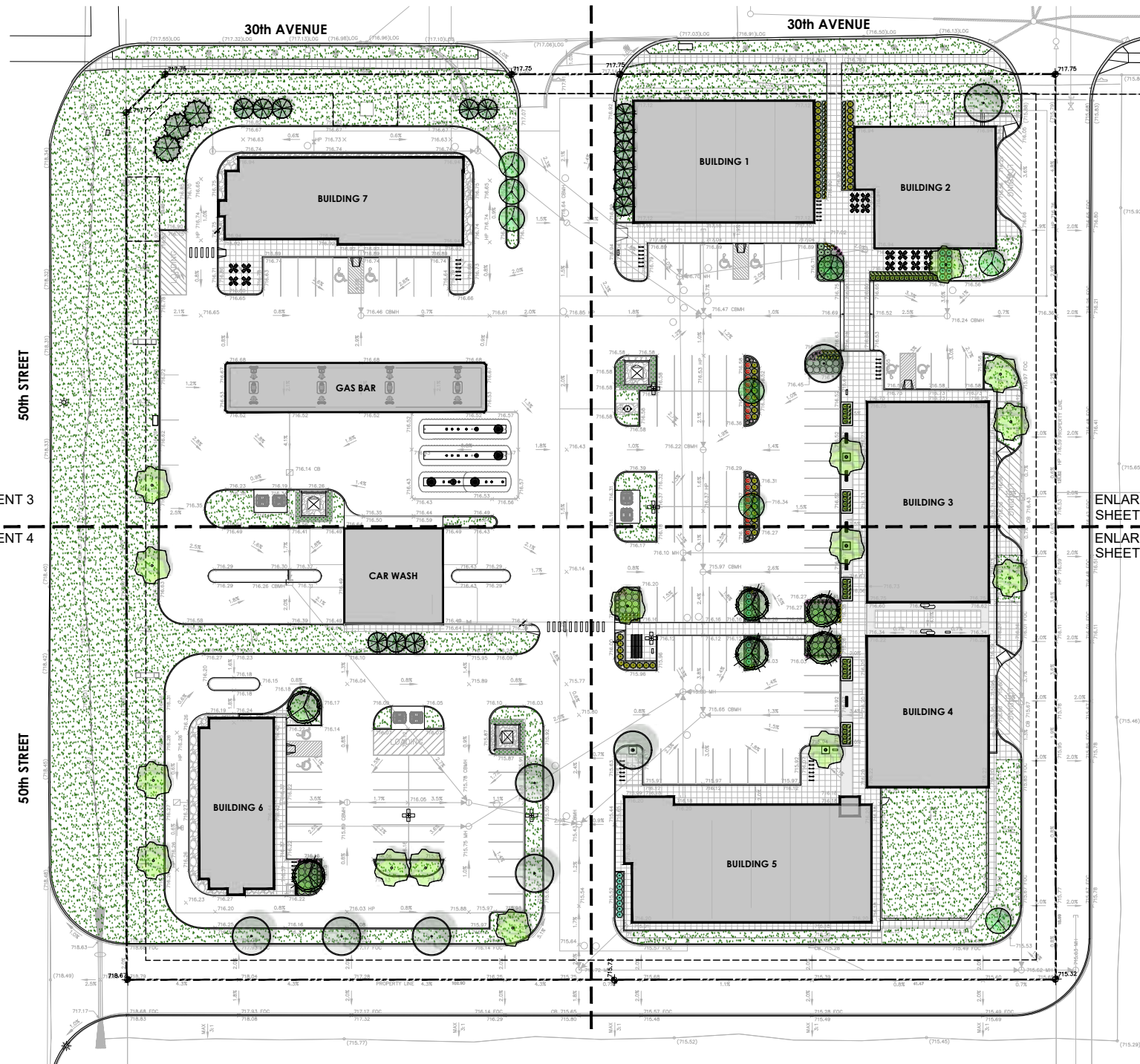
Approved _____
 Development Planner

September 8, 2023



LEGEND

-  CONCRETE SIDEWALK PAVING
-  SOD
-  RIVER ROCK
-  COLOURED CONCRETE
-  PROPERTY LINE
-  SETBACK LINE



Approved September 8, 2023
 Development Planner



BY-LAW ANALYSIS:

NUMBER OF TREES AND SHRUBS
 Site area: 20,308.136sqm
 10% of site area: 2030.81sqm
 Required trees and shrubs: 1024/35=58 each
 Trees provided: 65
 Shrubs provided: 305

NO.	DATE: (yymmdd)	DESCRIPTION:
4	23/05/31	ISSUED FOR REVISION
4	23/05/30	ISSUED FOR REVIEW
3	23/04/25	ISSUED FOR DP
2	23/03/30	ISSUED FOR REVIEW
1	22/07/05	ISSUED FOR REVIEW

ISSUES & REVISIONS:

SEAL:

ENLARGEMENT 3
 SHEET L1.3
 ENLARGEMENT 4
 SHEET L1.4

ENLARGEMENT 1
 SHEET L1.1
 ENLARGEMENT 2
 SHEET L1.2



PROJECT NAME:
BEAU VAL

PROJECT ADDRESS:
**4901 - 30 AVENUE
 BEAUMONT, AB**

DRAWING TITLE:
**OVERALL
 LANDSCAPE PLAN**







SCALE: 1:400
 DRAWN: RMK
 CHECKED: JT
 PROJECT NO: 220383-L

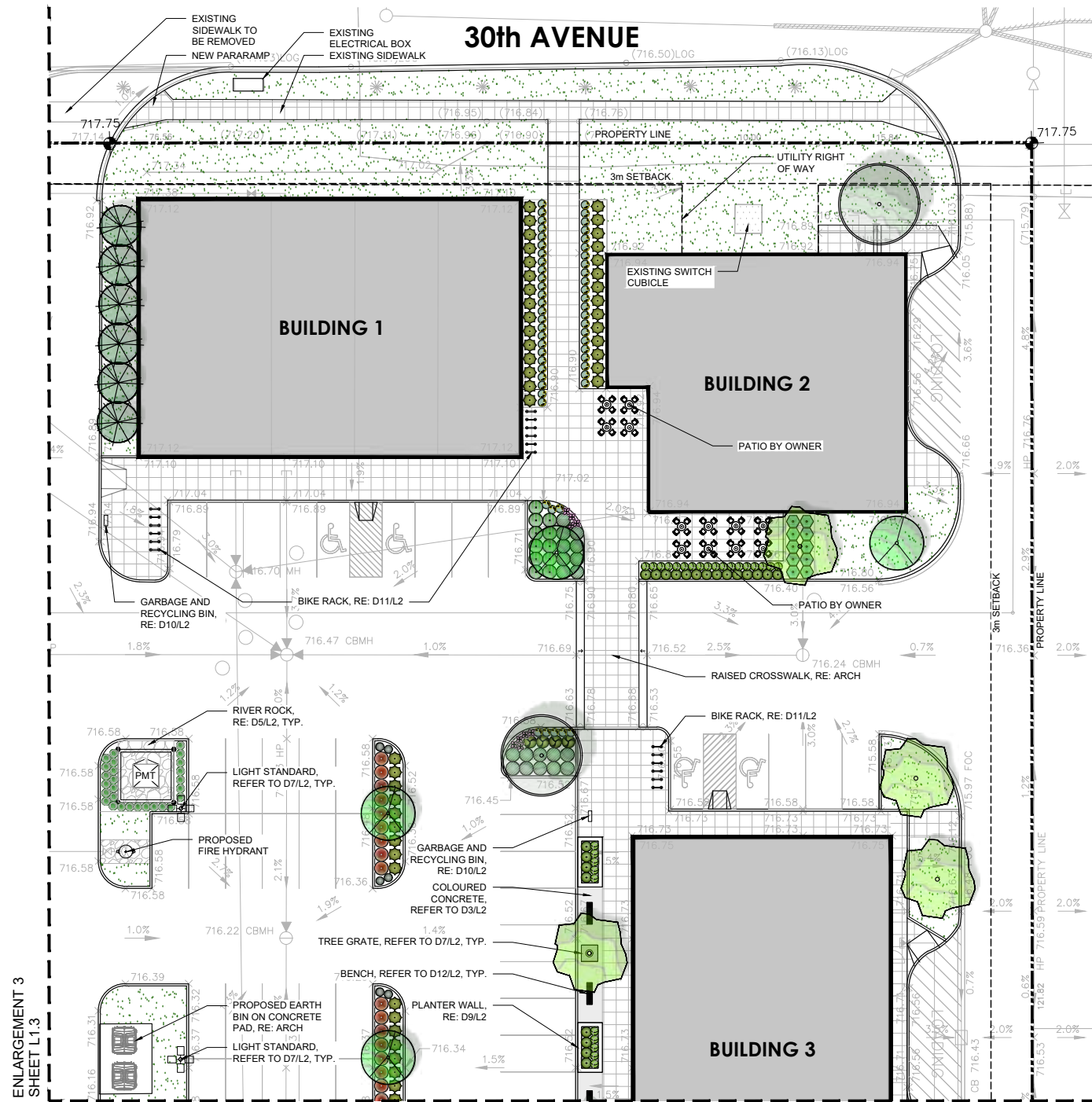
DRAWING NO:
L1

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



LEGEND




















-  CONCRETE SIDEWALK PAVING
-  SOD
-  RIVER ROCK
-  COLOURED CONCRETE
-  PROPERTY LINE
-  SETBACK LINE



Approved September 8, 2023
Development Planner



PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	15	Acer x freemantii 'Regal Celebration'	Regal Celebration maple	7.5cm cal.	As per plan	W.B.
	8	Crataegus x mordanalis 'Snowbird'	Snowbird hawthorn	6cm cal.	As per plan	W.B.
	8	Fraxinus 'Northern Treasure'	Northern treasure ash	6cm cal.	As per plan	W.B.
	6	Sorbus aucuparia 'Possica'	Russian mountain ash	6cm cal.	As per plan	W.B.
CONIFEROUS TREES						
	11	Picea glauca	White spruce	3.5m ht.	As per plan	W.B.
	14	Pinus cembra	Swiss stone pine	2.5m ht.	As per plan	W.B.
	3	Pinus contorta var. latifolia	Lodgepole pine	3.5m ht.	As per plan	W.B.
DECIDUOUS SHRUBS						
	18	Euonymus alatus 'Select'	Fire Ball burning bush	30cm ht.	1m O.C.	#2 Pot
	4	Cornus alba 'ByBoughen'	Neon Burst dogwood	30cm ht.	1m O.C.	#2 Pot
	24	Philadelphus coronarius 'Aureus'	Golden mock orange	30cm ht.	1m O.C.	#2 Pot
	32	Potentilla fruticosa 'Goldfinger'	Shrubby cinquefoil Goldfinger	30cm ht.	1m O.C.	#2 Pot
EVERGREEN SHRUBS						
	57	Picea abies 'Nidiformis'	Birds Nest Spruce	30cm ht.	1m O.C.	#2 Pot
	38	Juniperus chinensis 'Sea Green'	Sea green juniper	30cm ht.	1m O.C.	#2 Pot
	28	Taxus x media 'Tantoni'	Tantoni yew	30cm ht.	1m O.C.	#2 Pot
	70	Juniperus scopulorum 'Blue Arrow'	Blue Arrow upright juniper	60cm ht.	60cm O.C.	#3 Pot
	34	Juniperus communis 'Gold Cone'	Common juniper	45cm ht.	60cm O.C.	#2 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	40	Armeria maritima 'Bloodstone'	Bloodstone sea thrift	1 Gallon	45cm O.C.	#1 Pot
	79	Arcostaphylos uva-ursi	Sea berry	1 Gallon	45cm O.C.	#1 Pot
	21	Asiennia rosea	Rosy pussytoes	1 Gallon	45cm O.C.	#1 Pot
	43	Echinacea purpurea	Purple coneflower	1 Gallon	45cm O.C.	#1 Pot

4	23/05/31	ISSUED FOR REVISION
4	23/05/30	ISSUED FOR REVIEW
3	23/04/25	ISSUED FOR DP
2	23/03/30	ISSUED FOR REVIEW
1	22/07/05	ISSUED FOR REVIEW

NO. DATE: (y/m/d) DESCRIPTION:
ISSUES & REVISIONS:

SEAL:



PROJECT NAME:
BEAU VAL

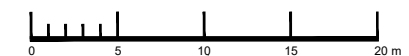
PROJECT ADDRESS:
**4901 - 30 AVENUE
BEAUMONT, AB**

DRAWING TITLE:
**LANDSCAPE PLAN
ENLARGEMENT 1**







SCALE: 1:400
DRAWN: RMK
CHECKED: JT
PROJECT NO.: 220383-L

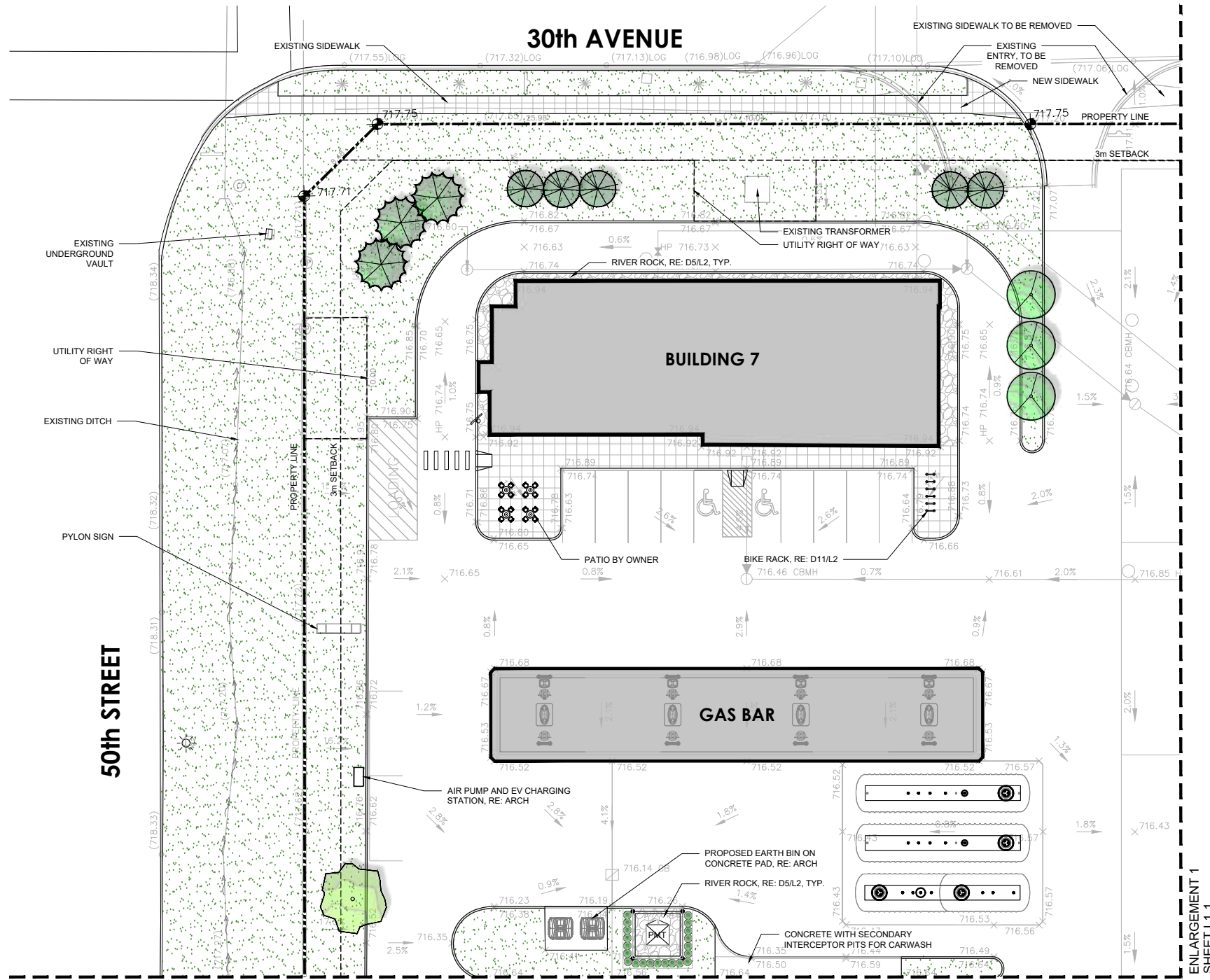
DRAWING NO.:


L1.1























LEGEND

-  CONCRETE SIDEWALK PAVING
-  SOD
-  RIVER ROCK
-  COLOURED CONCRETE
-  PROPERTY LINE
-  SETBACK LINE



Approved September 8, 2023
Development Planner 

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	15	Acer x freemanii 'Regal Celebration'	Regal Celebration maple	7.5cm cal.	As per plan	W.B.
	8	Crataegus x mordensis 'Snowbird'	Snowbird hawthorn	6cm cal.	As per plan	W.B.
	8	Fraxinus 'Northern Treasure'	Northern treasure ash	6cm cal.	As per plan	W.B.
	6	Sorbus aucuparia 'Possica'	Russian mountain ash	6cm cal.	As per plan	W.B.
CONIFEROUS TREES						
	11	Picea glauca	White spruce	3.5m ht.	As per plan	W.B.
	14	Pinus cembra	Swiss stone pine	2.5m ht.	As per plan	W.B.
	3	Pinus contorta var. latifolia	Lodgepole pine	3.5m ht.	As per plan	W.B.
DECIDUOUS SHRUBS						
	18	Euonymus alatus 'Select'	Fire Ball burning bush	30cm ht.	1m O.C.	#2 Pot
	4	Cornus alba 'ByBoughen'	Neon Burst dogwood	30cm ht.	1m O.C.	#2 Pot
	24	Philadelphus coronarius 'Aureus'	Golden mock orange	30cm ht.	1m O.C.	#2 Pot
	32	Potentilla fruticosa 'Goldfinger'	Shrubby cinquefoil Goldfinger	30cm ht.	1m O.C.	#2 Pot
EVERGREEN SHRUBS						
	57	Picea abies 'Nidiformis'	Birds Nest Spruce	30cm ht.	1m O.C.	#2 Pot
	38	Juniperus chinensis 'Sea Green'	Sea green juniper	30cm ht.	1m O.C.	#2 Pot
	28	Taxus x media 'Tautoni'	Tautoni yew	30cm ht.	1m O.C.	#2 Pot
	70	Juniperus scopulorum 'Blue Arrow'	Blue Arrow upright juniper	60cm ht.	60cm O.C.	#3 Pot
	34	Juniperus communis 'Gold Cone'	Common juniper	45cm ht.	60cm O.C.	#2 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	40	Armeria maritima 'Bloodstone'	Bloodstone sea thrift	1 Gallon	45cm O.C.	#1 Pot
	79	Arctostaphylos uva-ursi	Bearberry	1 Gallon	45cm O.C.	#1 Pot
	21	Antennaria rosea	Rosy pussytoes	1 Gallon	45cm O.C.	#1 Pot
	43	Echinacea purpurea	Purple coneflower	1 Gallon	45cm O.C.	#1 Pot

- 4 23/05/31 ISSUED FOR REVISION
 - 4 23/05/30 ISSUED FOR REVIEW
 - 3 23/04/25 ISSUED FOR DP
 - 2 23/03/30 ISSUED FOR REVIEW
 - 1 22/07/05 ISSUED FOR REVIEW
- NO. DATE: (y/m/d) DESCRIPTION:
ISSUES & REVISIONS:

SEAL:



PROJECT NAME:
BEAU VAL

PROJECT ADDRESS:
**4901 - 30 AVENUE
BEAUMONT, AB**

DRAWING TITLE:
**LANDSCAPE PLAN
ENLARGEMENT 3**

SCALE: 1:400
DRAWN: RMK
CHECKED: JT
PROJECT NO.: 220383-L

DRAWING NO.:

L1.3



NOTES

GENERAL NOTES

- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
- CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
- CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS, OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
- OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
- UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

PLANTING NOTES

- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
- PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
- TREE PROTECTION: PER THE MUNICIPAL DETAIL IF REQUIRED.
- ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
- SOIL DEPTH IN ALL PLANTING AREAS TO BE MINIMUM 450mm

- SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
- ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
- PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
- PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
 - Maintenance and additional installation of mulch
 - Weed removal
 - Disease control

SODDING NOTES

- SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASS
 - USE LATEST APPROVED CULTIVARS OF GRASS IN ALBERTA

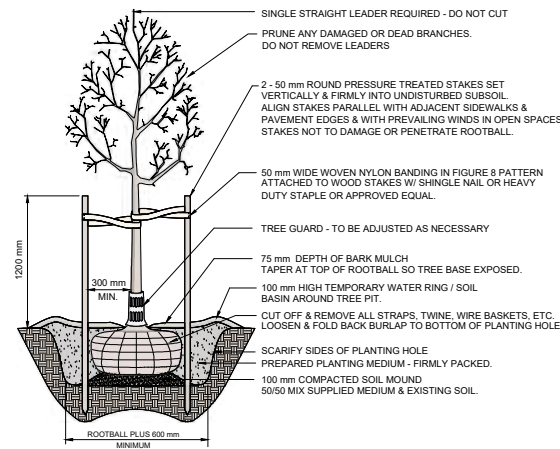
- AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
- LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOWES. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
- PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
- DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
- LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
- WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

IRRIGATION NOTES

- IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
- IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
- THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
- ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
- USE POP-UP SPRINKLER HEADS.
- DO NOT SPRAY WATER ONTO TREE TRUNKS.

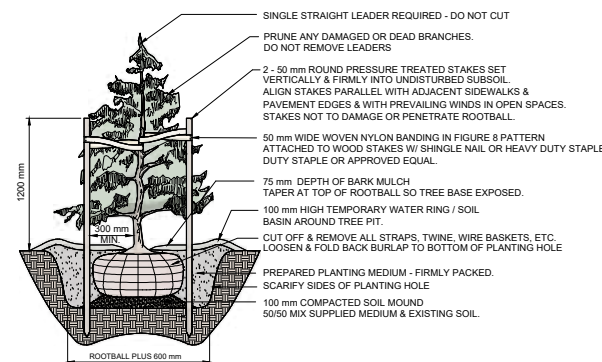
4	23/05/31	ISSUED FOR REVISION
4	23/05/30	ISSUED FOR REVIEW
3	23/04/25	ISSUED FOR DP
2	23/03/30	ISSUED FOR REVIEW
1	22/07/05	ISSUED FOR REVIEW
NO. DATE: (y/m/d) DESCRIPTION:		
ISSUES & REVISIONS:		
SEAL:		

Approved September 8, 2023
Development Planner



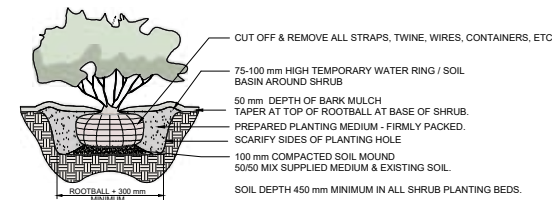
DECIDUOUS TREE

N.T.S.



CONIFEROUS TREE

N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL

N.T.S.

NORTH ARROW:

PROJECT NAME:

BEAU VAL

PROJECT ADDRESS:

4901 - 30 AVENUE
BEAUMONT, AB

DRAWING TITLE:

NOTES AND DETAILS

SCALE: AS NOTED

DRAWN: RMK

CHECKED: JT

PROJECT NO: 220383-L

DRAWING NO:

L3

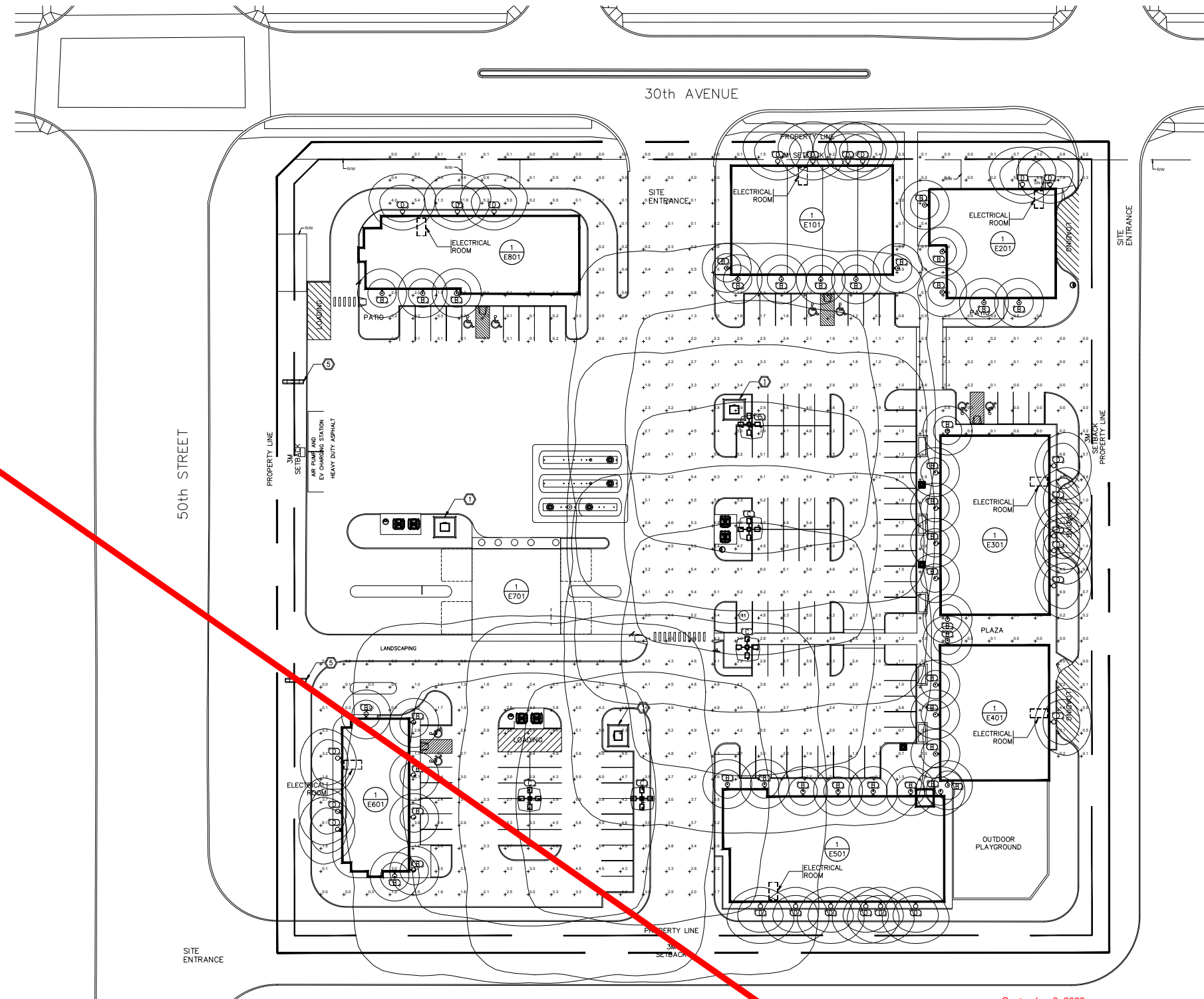
LUMINAIRE SCHEDULE									
TYPE	MANUFACTURER	CATALOGUE NUMBER	DESCRIPTION	LAMPS	COLOR TEMP.	VOLTS	MOUNTING	NOTES	
B	OSRAM	8811 K3 BLK	RECESSED WALL MOUNT LUMINAIRE	8 BY LED	3000K	120V	SURFACE	2	
C	LEW	LAM P150 LED 150W 3000K	POLE MOUNTED AREA LIGHT	140W LED	3000K	120V	20' POLE	3	
D	UT-KOR	ARC2 LED P2 30W 4VOLT PE DRXD	EXTERIOR WALL PACK	30W LED	3000K	120V	SURFACE	3	

NOTES:
 2. NO LUMINAIRE TO BE 7'-6" AFF.
 3. TO LUMINAIRE TO BE 8'-6" AFF.
 * ALL ITEMS MUST BE APPROVED BY CONCEPT ENGINEERING AND MUST BE EQUAL TO OR BETTER THAN SPECIFIED PRODUCT

Replaced.
Void. For
Records
Only.

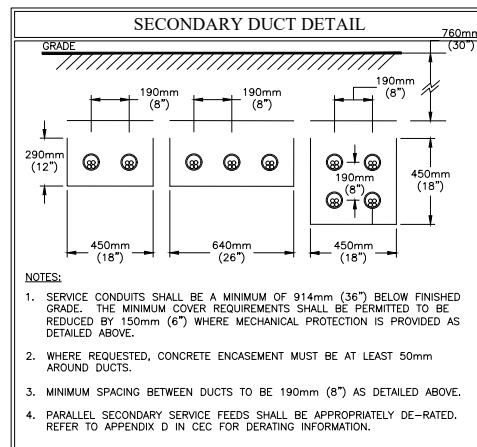
SYMBOL SCHEDULE	
SYMBOL	DESCRIPTION
POWER	
Ⓜ	15A/20A DUPLEX RECEPTACLE
Ⓜ	15A/20A GFCI RECEPTACLE
Ⓜ	QUAD RECEPTACLE
Ⓜ	SPLIT FED RECEPTACLE
Ⓜ	DESIGNATED RECEPTACLE (EM, WP, IG)
Ⓜ	SPECIALTY RECEPTACLE (H=HANGE, D=DRYER)
Ⓜ	BARRIERED COMBINATION POWER/ DATA FLOOR MOUNTED OUTLET
Ⓜ	CEILING MOUNTED JUNCTION BOX
Ⓜ	WALL MOUNTED JUNCTION BOX
Ⓜ	SURFACE MOUNTED BRANCH CIRCUIT PANEL
Ⓜ	RECESSED MOUNTED BRANCH CIRCUIT PANEL
Ⓜ	DISTRIBUTION PANEL (DESIGNATION TBD)
Ⓜ	MOTOR
Ⓜ	DISCONNECT
Ⓜ	THERMOSTAT
Ⓜ	PUSH BUTTON
Ⓜ	BUZZER
Ⓜ	TRANSFORMER
Ⓜ	CEILING FAN
Ⓜ	VARIABLE SPEED SWITCH
LIGHTING	
—	STRIP LUMINAIRE (REFER TO FIXTURE SCHEDULE FOR LENGTHS)
Ⓜ	WALL BRACKET LUMINAIRE
Ⓜ	SURFACE LUMINAIRE
Ⓜ	RECESSED LUMINAIRE
Ⓜ	WALL MOUNT LUMINAIRE
Ⓜ	LIGHT POLE
Ⓜ	SINGLE GANG LIGHT SWITCH (3-3WAY, 4-4WAY)
Ⓜ	DIMMER SWITCH
Ⓜ	LOW VOLTAGE/DIGITAL LIGHT SWITCH
Ⓜ	WALL/CEILING DUAL TECHNOLOGY VACANCY SENSOR
Ⓜ	WALL/CEILING MOUNTED EXIT SIGN (NRCAN C860)
Ⓜ	SELF CONTAINED AND HARDWIRED EMERGENCY LIGHTING PACK
Ⓜ	COMBINATIONAL EXIT/EMERGENCY LIGHTING PACK
COMMUNICATION	
Ⓜ	COMBINATION VOICE/DATA TELECOMMUNICATIONS OUTLET
FIRE ALARM	
Ⓜ	FIRE ALARM PULL STATION
Ⓜ	FIRE ALARM DETECTION DEVICE (SD=SMOKE DETECTOR, HD=HEAT DETECTOR, DD=DUCT DETECTOR, SA=HARD WIRED LOCAL SMOKE ALARM)
Ⓜ	FIRE ALARM COMBINATION HORN/STROBE DEVICE
Ⓜ	FIRE ALARM MINI PIEZO AND STROBE DEVICE c/w REMOTE SILENCABLE BUTTON
Ⓜ	FIRE ALARM STROBE
SECURITY	
Ⓜ	SECURITY DEVICE (MD=MOTION DETECTOR, CR=CARD READER, KP=KEYPAD)
Ⓜ	SECURITY DOOR CONTACT
Ⓜ	CCTV CAMERA
KEYED NOTES	
Ⓜ	TELECOMMUNICATIONS TAG (REFER TO SCHEDULE)
Ⓜ	KEYED NOTE
Ⓜ	LUMINAIRE TAG
Ⓜ	MECHANICAL TAG
Ⓜ	DETAIL REFERENCE TAG
NOTES:	
1. "WP" DENOTES WEATHERPROOF WHILE IN USE	

SITE INFORMATION		
LEGAL INFORMATION		
LEGAL:	LOT 1 BLOCK 5 PLAN 192 0554	
MUNICIPAL:	4901 30 AVENUE, BEAUMONT, ALBERTA T4X 1T9	
UTILITY CONTACTS		
UTILITY:	PROVIDER:	CONTACT INFORMATION:
POWER:	FORTIS	-
TELEPHONE:	TELUS	-
CABLE:	SHAW	-



1 E001 SITE PLAN - ELECTRICAL
SCALE: 1:400

KEY NOTES	
1	PADMOUNT TRANSFORMER PAD, GUARDRAIL AND GROUND GRID TO BE TO FORTIS/ALBERTA REQUIREMENTS. GENERAL CONTRACTOR TO PROVIDE GUARDRAIL AND TRANSFORMER PAD. CONDUIT ENTERING PADMOUNT VAULT MUST BE RIGID AS PER REQUIREMENTS.
2	PROVIDE 1-103mm PRIMARY DUCT TO PROPERTY LINE. COORDINATE EXACT SERVICE ENTRY POINT WITH FORTIS ALBERTA PRIOR TO ROUGH-IN.
3	PROVIDE X-XXXmm SECONDARY DUCTS c/w XXXXX (XXXX 3ø 4W SERVICE) FROM TRANSFORMER PAD TO MAIN DISTRIBUTION.
4	PROVIDE 2-103mm TELECOMMUNICATION DUCTS c/w PULL STRING FROM UTILITY SERVICE ENTRANCE LOCATION TO MAIN TELECOMMUNICATIONS BACKBOARD FOR TELEPHONE/CATV SERVICES. COORDINATE EXACT SERVICE ENTRANCE LOCATIONS WITH TELUS AND SHAW PRIOR TO ROUGH-IN.
5	PYLON SIGNAGE: TBD



GENERAL SITE NOTES	
1.	CONDUITS: RIGID PVC OR DB11 (SUITABLE FOR DIRECT BURIAL). MINIMUM 1m BELOW FINISHED GRADE. RIGID PVC MUST BE UTILIZED FOR ENTRANCE INTO TRANSFORMER VAULT.
2.	MAINTAIN 2m HORIZONTAL CLEARANCE FROM GAS LINE AND 3m HORIZONTAL CLEARANCE FROM WATER/STORM/SANITARY LINES FROM PRIMARY DUCT AND EDGE OF PADMOUNT TRANSFORMERS.
3.	COORDINATE EXACT SERVICE LOCATIONS WITH MECHANICAL SERVICES AND EASEMENTS TO MAINTAIN PROPER CLEARANCES.
4.	TELEPHONE SERVICE DUCTS TO BE ORANGE IN COLOR AS PER TELUS REQUIREMENTS.
5.	ALL SERVICE ENTRY POINTS SHALL BE CONFIRMED WITH UTILITIES PRIOR TO WORK PROCEEDING.
6.	INSTALLATION SHALL BE TO UTILITY COMPANY REQUIREMENTS.
7.	PROVIDE 4"x4" PRESSURE TREATED WOOD POSTS TO MARK ALL CONDUIT STUBS. RECORD DRAWINGS MUST INDICATE DIMENSIONS OF ALL STUBS.
8.	CONDUCTORS FOR 120V CIRCUITS SHALL BE SIZED AS REQUIRED TO ACCOMMODATE VOLTAGE DROPS PER C.E.C. REQUIREMENTS.
9.	LIGHTING CALCULATIONS POINTS ARE SHOWN IN LUX.

Approved September 8, 2023
Development Planner

© This drawing is the copyright of Claroscura Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



Job Number: 23090, Project Contact: Cam Bush



PRELIMINARY
NOT FOR CONSTRUCTION

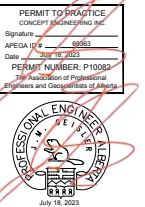


REVISIONS		YYYY.MM.DD
2	ISSUED FOR DEVELOPMENT PERMIT	2023.07.18
1	ISSUED FOR 30% REVIEW	2023.06.28

BEAU VAL COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP



SITE PLAN - ELECTRICAL

DATE PRINTED: July 18, 2023

FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.

JOB # 23090

E001

DRAWN BY: CB

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



REVISIONS	DATE	DESCRIPTION
7	2024.03.27	RE-ISSUED FOR DEVELOPMENT PERMIT
6	2024.03.12	RE-ISSUED FOR AFC
5	2024.01.24	ISSUED FOR CONSTRUCTION-R-I
4	2023.06.09	ISSUED FOR 95% REVIEW
3	2023.07.26	ISSUED FOR PROGRESS REVIEW
2	2023.07.18	ISSUED FOR DEVELOPMENT PERMIT
1	2023.06.28	ISSUED FOR 30% REVIEW

BEAU VAL COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

PERMIT TO PRACTICE
CONCEPT ENGINEERING INC.
Signature: [Redacted]
APEGA ID # 69363
Date: March 27, 2024
PERMIT NUMBER: P10082
The Association of Professional Engineers and Geoscientists of Alberta
March 27, 2024

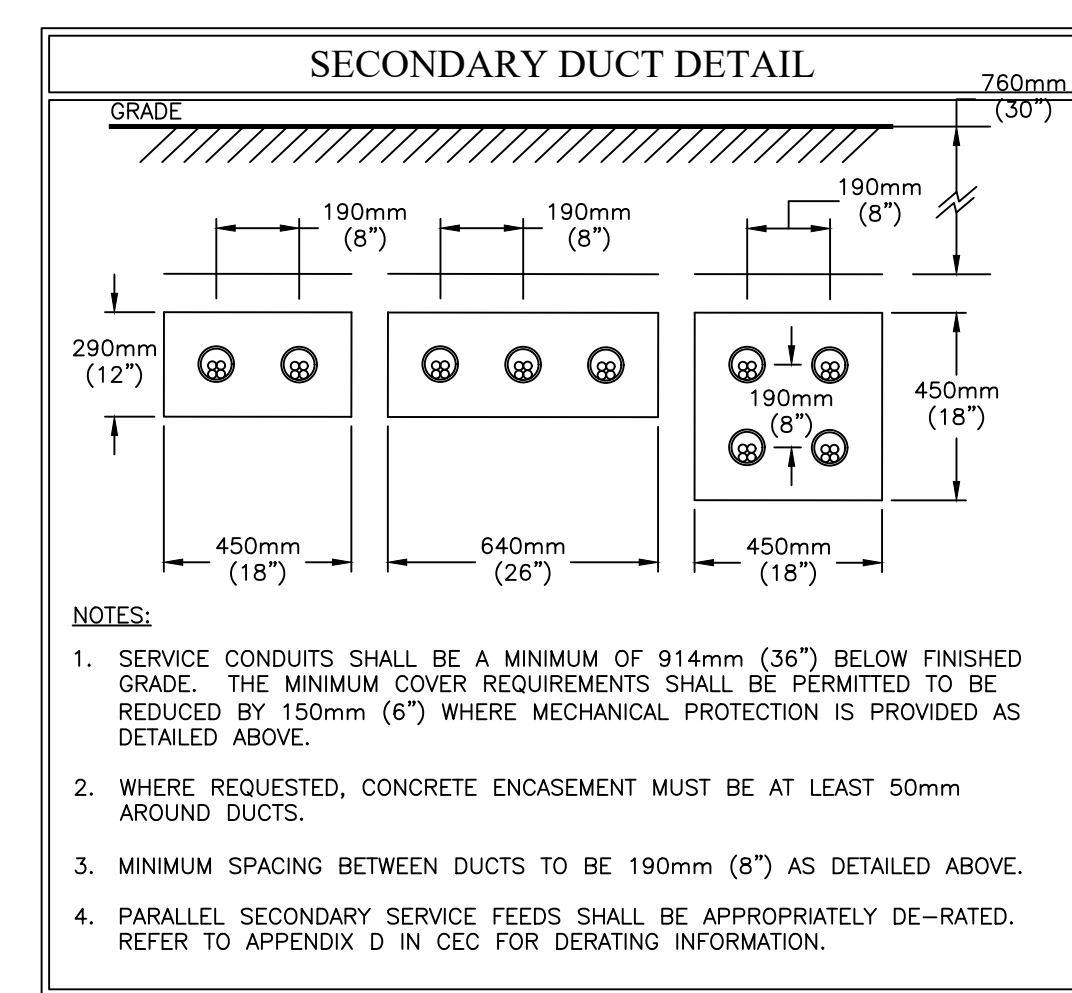
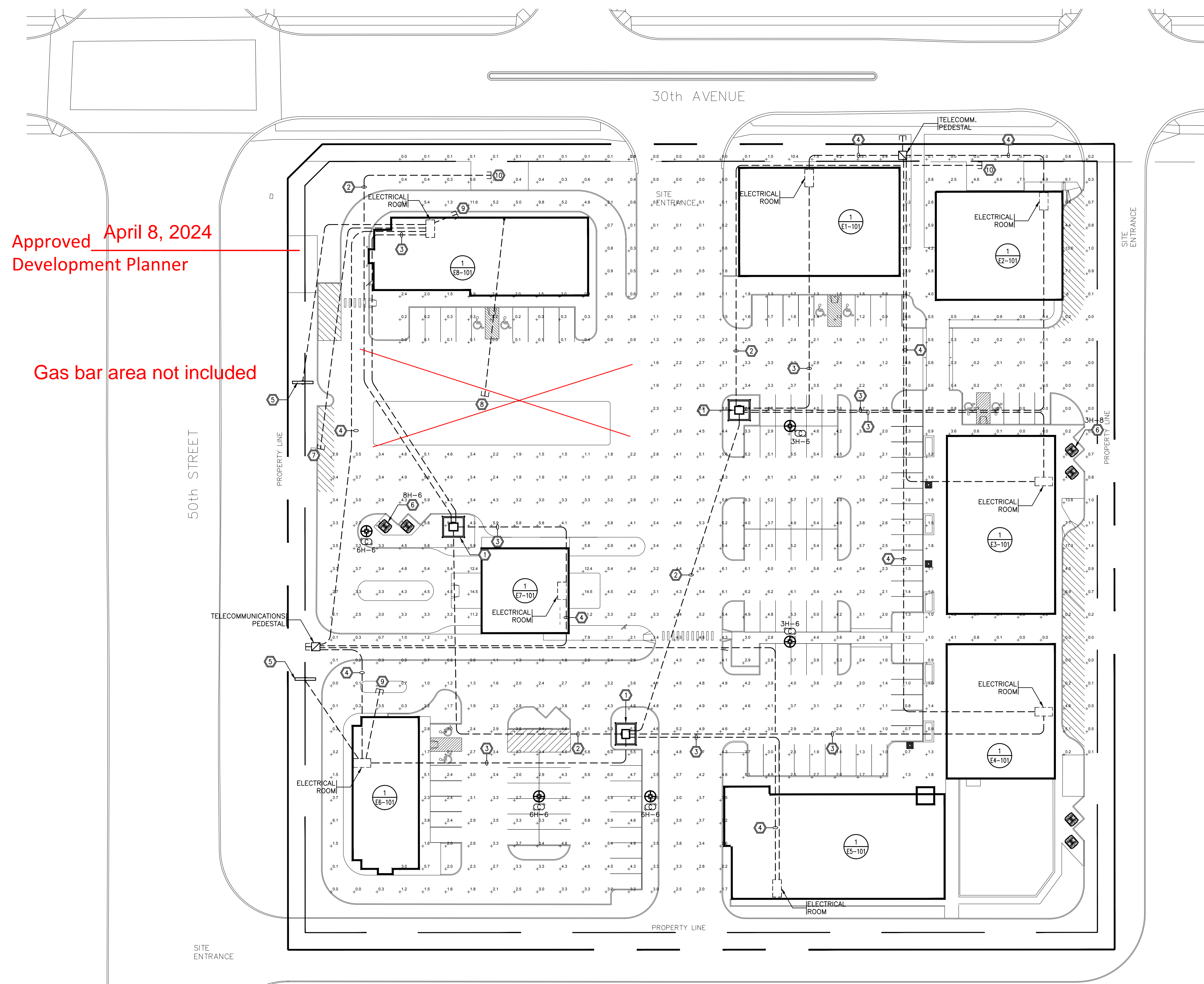
SITE PLAN - ELECTRICAL

DATE PRINTED: March 28, 2024
FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE.
JOB # 23090
DRAWN BY: CB
E001

SYMBOL SCHEDULE	
SYMBOL	DESCRIPTION
POWER	
[Symbol]	15A/20A DUPLEX RECEPTACLE
[Symbol]	15A/20A GFCI RECEPTACLE
[Symbol]	QUAD RECEPTACLE
[Symbol]	PEDESTAL MOUNTED RECEPTACLE
[Symbol]	SPECIALTY RECEPTACLE (R=RANGE, D=DRYER)
[Symbol]	BARRIERED COMBINATION POWER/DATA FLOOR MOUNTED OUTLET
[Symbol]	CEILING MOUNTED JUNCTION BOX
[Symbol]	WALL MOUNTED JUNCTION BOX
[Symbol]	SURFACE MOUNTED BRANCH CIRCUIT PANEL
[Symbol]	DISTRIBUTION PANEL (DESIGNATION TBD)
[Symbol]	MOTOR
[Symbol]	DISCONNECT
[Symbol]	THERMOSTAT
[Symbol]	PUSH BUTTON
[Symbol]	BUZZER
[Symbol]	TRANSFORMER
LIGHTING	
[Symbol]	STRIP LUMINAIRE (REFER TO FIXTURE SCHEDULE FOR LENGTHS)
[Symbol]	SURFACE LUMINAIRE
[Symbol]	RECESSED LUMINAIRE
[Symbol]	WALL MOUNT LUMINAIRE
[Symbol]	LIGHT POLE
[Symbol]	SINGLE GANG LIGHT SWITCH (3-3WAY, 4-4WAY)
[Symbol]	WALL/CEILING DUAL TECHNOLOGY VACANCY SENSOR
[Symbol]	WALL/CEILING MOUNTED EXIT SIGN (NRCAN C860)
[Symbol]	SELF CONTAINED AND HARDWIRED EMERGENCY LIGHTING PACK
[Symbol]	COMBINATIONAL EXIT/EMERGENCY LIGHTING PACK
COMMUNICATION	
[Symbol]	COMBINATION VOICE/DATA TELECOMMUNICATIONS OUTLET
FIRE ALARM	
[Symbol]	FIRE ALARM PULL STATION
[Symbol]	FIRE ALARM DETECTION DEVICE (SD=SMOKE DETECTOR, HD=HEAT DETECTOR, DD=DUCT DETECTOR, SA=HARD WIRED LOCAL SMOKE ALARM)
[Symbol]	FIRE ALARM COMBINATION HORN/STROBE DEVICE
[Symbol]	FIRE ALARM STROBE
KEYED NOTES	
[Symbol]	TELECOMMUNICATIONS TAG (REFER TO SCHEDULE)
[Symbol]	KEYED NOTE
[Symbol]	LUMINAIRE TAG
[Symbol]	MECHANICAL TAG
[Symbol]	DETAIL REFERENCE TAG
NOTES: 1. "WP" DENOTES WEATHERPROOF WHILE IN USE	

SITE INFORMATION		
LEGAL INFORMATION		
LEGAL:	LOT 1 BLOCK 5 PLAN 192 0554	
MUNICIPAL:	4901 30 AVENUE, BEAUMONT, ALBERTA T4X 1T9	
UTILITY CONTACTS		
UTILITY:	PROVIDER:	CONTACT INFORMATION:
POWER:	FORTIS	ALLEN BABB (ALLEN.BABB@FORTISALBERTA.COM, 403-514-4211) REF# 500115824
TELECOMM:	SHAW	KARUNA ARORA (KARUNA.ARORA@SJR.BA, 780-665-5407)

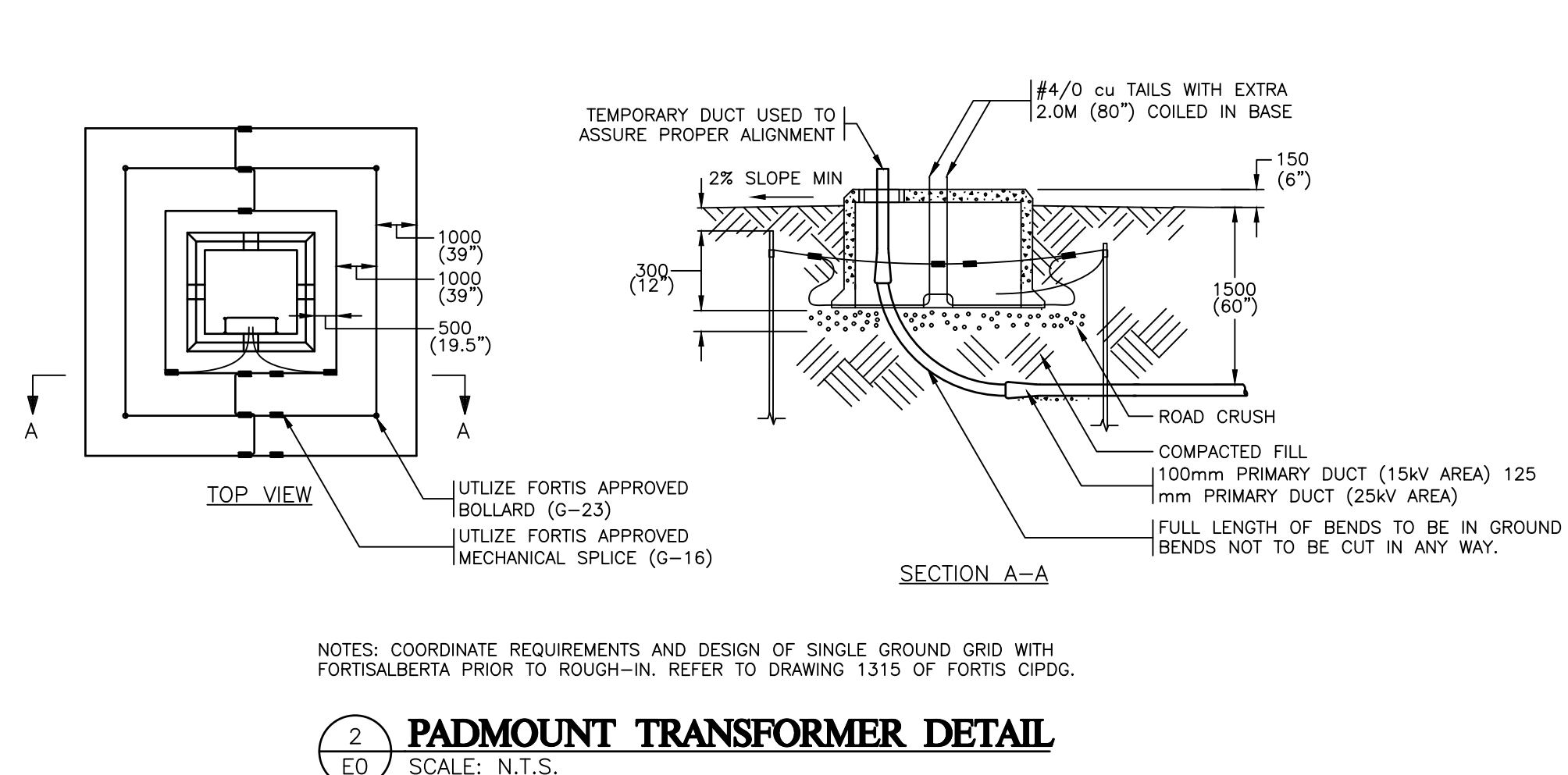
- KEY NOTES**
- PADMOUNT TRANSFORMER, PAD, GUARDRAIL AND GROUND GRID TO BE TO FORTISALBERTA REQUIREMENTS. GENERAL CONTRACTOR TO PROVIDE GUARDRAIL AND TRANSFORMER PAD. CONDUIT ENTERING PADMOUNT VAULT MUST BE RIGID AS PER REQUIREMENTS. EACH PADMOUNT TRANSFORMER REQUIRES 4m x 4.5m URW.
 - FORTIS PRIMARY LOOP FROM NORTH SERVICE ENTRY POINT TO WEST SERVICE ENTRY POINT THROUGH TRANSFORMERS. PROVIDE 3-103mm DUCT AS SHOWN C/W 3m URW (1.5m ON EACH SIDE OF DUCTING). COORDINATE EXACT REQUIREMENTS WITH FORTIS PRIOR TO ROUGH-IN.
 - PROVIDE AND INSTALL SECONDARY DUCTS C/W FEEDERS FROM TRANSFORMER PAD TO ELECTRICAL ROOM. REFER TO SINGLE LINE DIAGRAM FOR DUCT AND CABLE SIZE REQUIREMENTS.
 - PROVIDE AND INSTALL 2-103mm TELECOMMUNICATION DUCTS C/W PULL STRING FROM JOINT-USE PEDESTAL TO MAIN TELECOMMUNICATIONS BACKBOARD FOR TELEPHONE/CATV SERVICES. PROVIDE ADDITIONAL 2-103mm C/W PULL STRING FROM PEDESTAL TO PROPERTY LINE. COORDINATE EXACT SERVICE ENTRANCE LOCATIONS WITH SERVICE PROVIDER PRIOR TO ROUGH-IN.
 - ELECTRICAL CONTRACTOR TO PROVIDE 1-25mm C C/W 2#12 FROM HOUSE PANEL OF BUILDING SHOWN FOR THE CONNECTION OF PYLON SIGNAGE (BY OTHERS). COORDINATE EXACT LOCATION WITH GENERAL CONTRACTOR AND EXACT CONNECTION WITH PYLON SIGNAGE SUPPLIER.
 - ELECTRICAL CONTRACTOR TO PROVIDE 25mm C C/W 2#12 FOR 120V-1P-15A HARDWIRED CONNECTION FOR NEAREST HOUSE PANEL FOR EARTH BIN.
 - ELECTRICAL CONTRACTOR TO PROVIDE 1-50mm C AND 1-25mm C C/W PULL STRINGS FROM BUILDING 1 ELECTRICAL ROOM FOR FUTURE EV CHARGER.
 - PROVIDE AND INSTALL 2-50mm C C/W PULL STRING FROM PANEL 'BB' FOR FUTURE GAS PUMP CANOPY. CONFIRM EXACT LOCATION AND REQUIREMENTS WITH GENERAL CONTRACTOR.
 - PROVIDE AND INSTALL 1-19mm C C/W PULL STRING FOR ENTRANCE SIGN, 1-19mm C C/W PULL STRING FOR EXIT SIGN, 2-25mm C C/W PULL STRING FOR DETECTION LOOPS AND 2-25mm C C/W MENU BOARD FOR FUTURE DRIVE THRU. CONFIRM EXACT LOCATIONS AND REQUIREMENTS WITH GENERAL CONTRACTOR AND TENANT IF POSSIBLE.
 - ELECTRICAL CONTRACTOR TO TIE INTO EXISTING FORTISALBERTA CUBICLE. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH FORTISALBERTA REPRESENTATIVE PRIOR TO ROUGH-IN.



1 SITE PLAN - ELECTRICAL
SCALE: 1:400

GENERAL SITE NOTES

- CONDUITS: RIGID PVC OR DB11 (SUITABLE FOR DIRECT BURIAL). MINIMUM 1m BELOW FINISHED GRADE. RIGID PVC MUST BE UTILIZED FOR ENTRANCE INTO TRANSFORMER VAULT.
- MAINTAIN 2m HORIZONTAL CLEARANCE FROM GAS LINE AND 3m HORIZONTAL CLEARANCE FROM WATER/STORM/SANITARY LINES FROM PRIMARY DUCTS AND EDGE OF PADMOUNT TRANSFORMERS.
- COORDINATE EXACT SERVICE LOCATIONS WITH MECHANICAL SERVICES AND EASEMENTS TO MAINTAIN PROPER CLEARANCES.
- TELEPHONE SERVICE DUCTS TO BE ORANGE IN COLOR AS PER TELUS REQUIREMENTS.
- ALL SERVICE ENTRY POINTS SHALL BE CONFIRMED WITH UTILITIES PRIOR TO WORK PROCEEDING.
- INSTALLATION SHALL BE TO UTILITY COMPANY REQUIREMENTS.
- PROVIDE 4"x4" PRESSURE TREATED WOOD POSTS TO MARK ALL CONDUIT STUBS. RECORD DRAWINGS MUST INDICATE DIMENSIONS OF ALL STUBS.
- CONDUCTORS FOR 120V CIRCUITS SHALL BE SIZED AS REQUIRED TO ACCOMMODATE VOLTAGE DROPS PER C.E.C. REQUIREMENTS.
- LIGHTING CALCULATIONS POINTS ARE SHOWN IN LUX.



CODE ANALYSIS – LIMITING DISTANCE – 3.2.3.1.C

BUILDING 1 – 530 sq.m NOT SPRINKLERED				
3.2.2.68 GROUP E, up to 2 Storeys, NOT Sprinklered				
BUILDING ELEVATION				
RATIO L/H	WEST	SOUTH	NORTH	EAST
LIMITING DISTANCE OF NEW OR ALTERED WALL	13.1m		16m	3.1m
EXPOSED BUILDING FACE WALL AREA	84m ²		125m ²	84m ²
ALLOWABLE UNPROTECTED OPENINGS (%)	100%	100%	100%	7%
PROPOSED UNPROTECTED OPENINGS (%)				6.8%
MINIMUM FIRE RESISTANCE RATING				2 HR
TYPE OF CONSTRUCTION REQUIRED				NonCombustible
TYPE OF CLADDING REQUIRED				NonCombustible

CODE ANALYSIS – LIMITING DISTANCE – 3.2.3.1.B

BUILDING 2 – 387 sq.m NOT SPRINKLERED						
3.2.2.25 GROUP A2, up to 2 Storeys						
BUILDING ELEVATION						
RATIO L/H	SOUTH (CLOSEST)	NORTH	EAST	WEST (1)	WEST (2)	WEST (3)
LIMITING DISTANCE OF NEW OR ALTERED WALL	>1:3	20m	9.1m	3.1m	4.7m	>1:3
EXPOSED BUILDING FACE WALL AREA	119.3m ²		168m ²	89m ²	39.5m ²	39.5m ²
ALLOWABLE UNPROTECTED OPENINGS (%)	100%	100%	43%	12%	39%	100%
PROPOSED UNPROTECTED OPENINGS (%)			0%	6%	37.5%	
MINIMUM FIRE RESISTANCE RATING			45 MIN	1 HR	1 HR	
TYPE OF CONSTRUCTION REQUIRED			Combustible OR NonCombustible	Combustible OR NonCombustible	Combustible OR NonCombustible	Combustible OR NonCombustible
TYPE OF CLADDING REQUIRED			NonCombustible	NonCombustible	NonCombustible	NonCombustible

CODE ANALYSIS – LIMITING DISTANCE – 3.2.3.1.C

BUILDING 3 – 588 sq.m NOT SPRINKLERED					
3.2.2.68 GROUP E, up to 2 Storeys, NOT Sprinklered					
BUILDING ELEVATION					
RATIO L/H	WEST	EAST	NORTH	SOUTH	
LIMITING DISTANCE OF NEW OR ALTERED WALL	~32m	10.3m	11.8m	2.5m	
EXPOSED BUILDING FACE WALL AREA	138m ²	138m ²	84m ²	84m ²	
ALLOWABLE UNPROTECTED OPENINGS (%)	100%	~35%	71.6%	6%	
PROPOSED UNPROTECTED OPENINGS (%)			10.6%	6%	
MINIMUM FIRE RESISTANCE RATING		1 HR	1 HR	2 HR	
TYPE OF CONSTRUCTION REQUIRED		Combustible OR NonCombustible	Combustible OR NonCombustible	Combustible OR NonCombustible	
TYPE OF CLADDING REQUIRED		NonCombustible	NonCombustible	NonCombustible	

CODE ANALYSIS – LIMITING DISTANCE – 3.2.3.1.B

BUILDING 4 – 444 sq.m NOT SPRINKLERED					
3.2.2.28 GROUP A2, ONE STOREY, NOT Sprinklered					
BUILDING ELEVATION					
RATIO L/H	NORTH	EAST	NORTH	SOUTH	
LIMITING DISTANCE OF NEW OR ALTERED WALL	1:3 – 1:10	1:3 – 1:10	1:3 – 1:10	1:3 – 1:10	
EXPOSED BUILDING FACE WALL AREA	~44.5m ²	10.3m ²	2.4m ²	29.7m ²	
ALLOWABLE UNPROTECTED OPENINGS (%)	100%	88%	11%	100%	
PROPOSED UNPROTECTED OPENINGS (%)		15.5%	10.5%		
MINIMUM FIRE RESISTANCE RATING		45 min	1 HR		
TYPE OF CONSTRUCTION REQUIRED		Combustible OR NonCombustible	Combustible OR NonCombustible		
TYPE OF CLADDING REQUIRED		NonCombustible	NonCombustible		

CODE ANALYSIS – LIMITING DISTANCE – 3.2.3.1.C

BUILDING 5 – 700 sq.m NOT SPRINKLERED					
3.2.2.68 GROUP E, NOT Sprinklered					
BUILDING ELEVATION					
RATIO L/H	NORTH	SOUTH	EAST	WEST	
LIMITING DISTANCE OF NEW OR ALTERED WALL	~44.5m	8.7m	29.5m	27.3m	
EXPOSED BUILDING FACE WALL AREA	170.6m ²	165m ²	82m ²	87m ²	
ALLOWABLE UNPROTECTED OPENINGS (%)	100%	21%	100%	100%	
PROPOSED UNPROTECTED OPENINGS (%)		9%			
MINIMUM FIRE RESISTANCE RATING		1 HR			
TYPE OF CONSTRUCTION REQUIRED		Combustible OR NonCombustible			
TYPE OF CLADDING REQUIRED		NonCombustible			

CODE ANALYSIS – LIMITING DISTANCE – 3.2.3.1.C

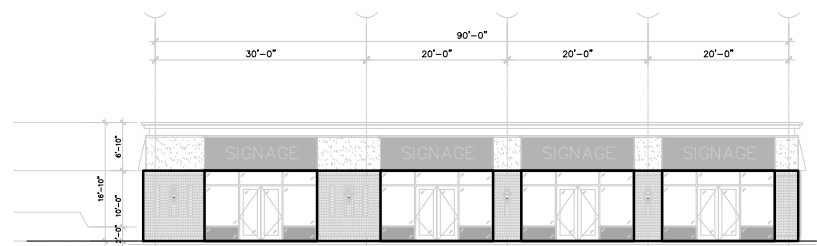
BUILDING 6 – 305 sq.m NOT SPRINKLERED					
3.2.2.68 GROUP E, NOT Sprinklered					
BUILDING ELEVATION					
RATIO L/H	NORTH	SOUTH	EAST	WEST	
LIMITING DISTANCE OF NEW OR ALTERED WALL	>1:3	>1:3	1:3 – 1:10	1:3 – 1:10	
EXPOSED BUILDING FACE WALL AREA	37m ²	13m ²	27.3m ²	32.7m ²	
ALLOWABLE UNPROTECTED OPENINGS (%)	100%	100%	100%	100%	
PROPOSED UNPROTECTED OPENINGS (%)					
MINIMUM FIRE RESISTANCE RATING					
TYPE OF CONSTRUCTION REQUIRED					
TYPE OF CLADDING REQUIRED					

CODE ANALYSIS – LIMITING DISTANCE – 3.2.3.1.C

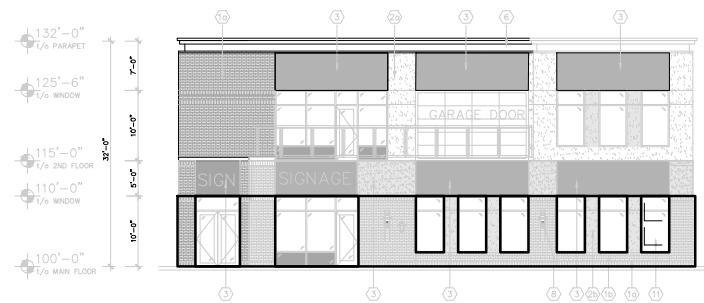
BUILDING 7 – 228 sq.m NOT SPRINKLERED					
3.2.2.85 GROUP F3					
BUILDING ELEVATION					
RATIO L/H	NORTH	SOUTH	EAST	WEST	
LIMITING DISTANCE OF NEW OR ALTERED WALL	>1:3	>1:3	>1:3	>1:3	
EXPOSED BUILDING FACE WALL AREA	22m ²	55m ²	32.8m ²	55m ²	
ALLOWABLE UNPROTECTED OPENINGS (%)	100%	100%	100%	100%	
PROPOSED UNPROTECTED OPENINGS (%)					
MINIMUM FIRE RESISTANCE RATING					
TYPE OF CONSTRUCTION REQUIRED					
TYPE OF CLADDING REQUIRED					

CODE ANALYSIS – LIMITING DISTANCE – 3.2.3.1.C

BUILDING 8 – 482 sq.m NOT SPRINKLERED					
3.2.2.68 GROUP E, NOT Sprinklered					
BUILDING ELEVATION					
RATIO L/H	NORTH	SOUTH	EAST	WEST	
LIMITING DISTANCE OF NEW OR ALTERED WALL	1:3 – 1:10	1:3 – 1:10	1:3 – 1:10	1:3 – 1:10	
EXPOSED BUILDING FACE WALL AREA	22m ²	24.7m ²	13.8m ²	35.7m ²	
ALLOWABLE UNPROTECTED OPENINGS (%)	100%	100%	93%	100%	
PROPOSED UNPROTECTED OPENINGS (%)					
MINIMUM FIRE RESISTANCE RATING					
TYPE OF CONSTRUCTION REQUIRED					
TYPE OF CLADDING REQUIRED					



BUILDING 1
62.5% GLAZING



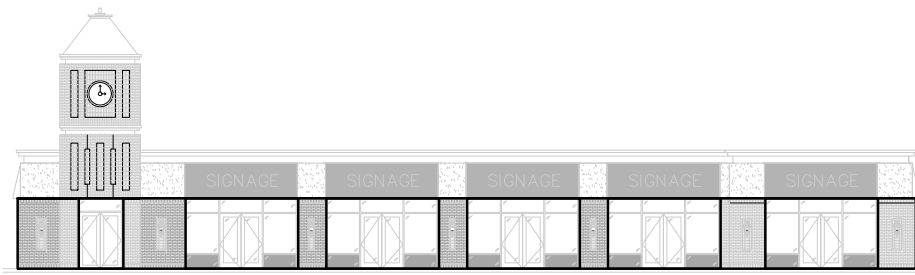
BUILDING 2
50.78% GLAZING



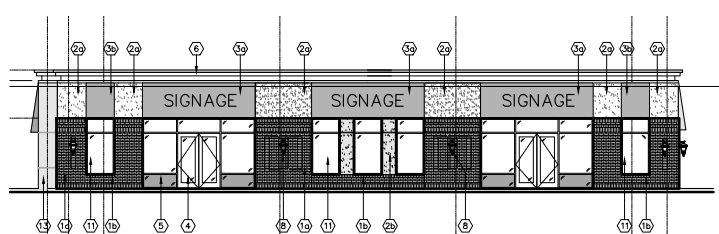
BUILDING 3
77.4% GLAZING



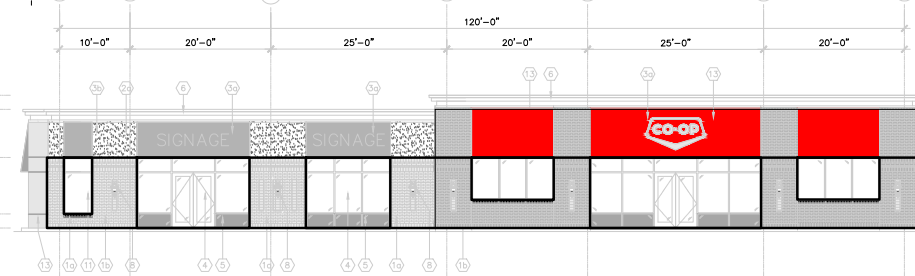
BUILDING 4
49.4% GLAZING



BUILDING 5
67.7% GLAZING



BUILDING 6
54.2% GLAZING



(BUILDING 7 is a carwash)

BUILDING 8 56% GLAZING

© This drawing is the copyright of Claroscuro Architecture Inc. and may not be reproduced without permission.

Contractor shall read drawing in conjunction with written specifications. All area calculations, dimensions and conditions shall be verified on site. Readers are advised to use at your own risk. Any questions shall be directed to the Architect prior to proceeding with construction. Do not scale drawings.



PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS	YYYY.MM.DD
2	RE-ISSUED FOR OP w/ additional info 2023.05.01
1	ISSUED FOR DEVELOPMENT PERMIT 2023.04.25

BEAU VAL COMMERCIAL

4901 - 30 AVENUE
Beaumont, Alberta

CONSULTANT STAMP:

(BUILDING 7 is a carwash)

BUILDING 8 56% GLAZING

GLAZING ANALYSIS

DATE PRINTED: July 10, 2023

FOR MILESTONE DATES SEE REVISIONS COLUMN ABOVE

JOB # 2314

DRAWN BY: TM

A00-

Approved
Development Planner

September 8, 2023

