

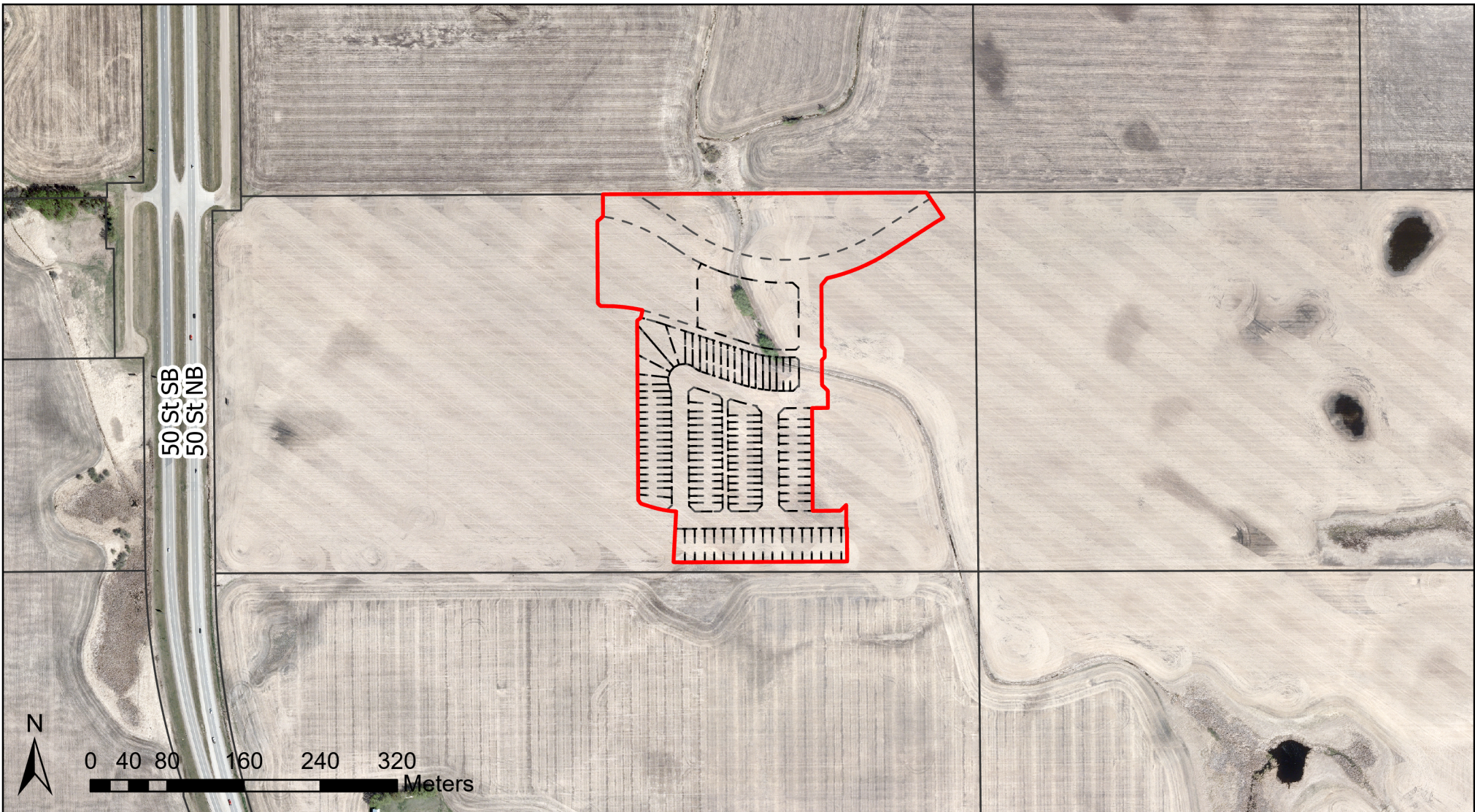


**Subdivision Authority Agenda
Wednesday, June 5th, 2024 at 1:00pm**

- 1. The Subdivision Authority will review the following proposed Subdivisions on June 5th, 2024:**
 - a. SDA-21-08 Le Reve 1B Time Extension**
One-year time extension to create 98 Single Detached Residential Lots, 2 Medium Density Residential Lots, 1 PUL, and 2 Municipal Reserve Lots from a portion of Plan 782 1085, Block 1
 - b. SDA-24-04 Eglemont Lot Split (5411 64 St)**
Hagan Surveys (1982) Ltd. on behalf of 1813098 Alberta Ltd. submitted a subdivision application to split an existing residential lots lot into 2 residential lots
 - c. SDA-24-06 Elan Neighbourhood 2 Phase 1 (School Site)**
ISL Engineering on behalf of the City of Beaumont submitted a subdivision for 1 municipal reserve lot, 2 medium density lots, 3 Public Utility Lots (1 Storm Water Management Facility and 2 Walkways)

 - 2. The Subdivision Authority's decision will be posted on May 7th, 2024**
-

Contact Planning at planning@beaumont.ab.ca for more information.



Location Map - Le Reve SW Phase 1B

BLOCK 1, PLAN 782 1085

Application # Label:
SDA-21-08

Mapped by:
Kemi.M




Checked by:
Coralie.V

Numeric Scale:
1:5,780

Date - mn\dd\yr
01\07\2022

Projected Coordinate System:
CANADA NAD 83-3TM-114

Legend

-  Registered Parcels
-  Le Reve SW Phase 1B Boundary
-  Proposed Subdivision



City of Beaumont
5600 49 Street
Beaumont, AB
T4X 1A1



Le Reve Drive

Commercial

Park
1.407 ha
(3.477 Acres)
1 MR
BLOCK 2

MDR
0.864 ha
(2.135 Acres)
2
BLOCK 3

Stage 1B - Phase 1
2.246 ha
(5.549 Acres)

MDR
0.712 ha
(1.760 Acres)
1
BLOCK 3

MDR

MDR

Stage 1A
BLOCK 1
PLAN 7821085

Future
Development

Stage 1B
8.847 ha
(21.862 Acres)

LEGEND:

- Stage 1B Subdivision Boundary
- Stage 1A Subdivision Boundary
- Phase 1 Boundary
- Zero Lot Line Dwelling (Does Not Represent The Building Size or Location).

NOTES:

- All distances are shown in metres and decimals thereof.
- Distances on the curved boundaries are arc lengths.
- Area dealt with by this plan shown bounded thus contains: 8.847 ha, 2 MDR parcels, and 98 small residential lots.

THIS IS A CONCEPT PLAN ONLY. SUBJECT TO CHANGE.

DATE: APRIL 28, 2022

PROJECT MANAGER: ALVARO_SOTO

CLIENT: REDCO DEVELOPMENTS LTD

PROJECT: LE RÊVE SOUTHWEST - STAGE 1B
BLOCK 1, PLAN 7821085

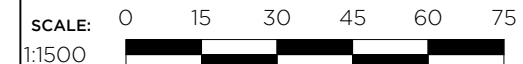
DRAWING TITLE: TENTATIVE PLAN OF SUBDIVISION

PROJECT NO/ DRAWING NO: 2019074-001



Invistec Consulting Ltd.
Suite 1700, 10130 - 103 Street NW
Edmonton, Alberta, T5J 3N9
(780) 293 - 7373
www.invistec.ca

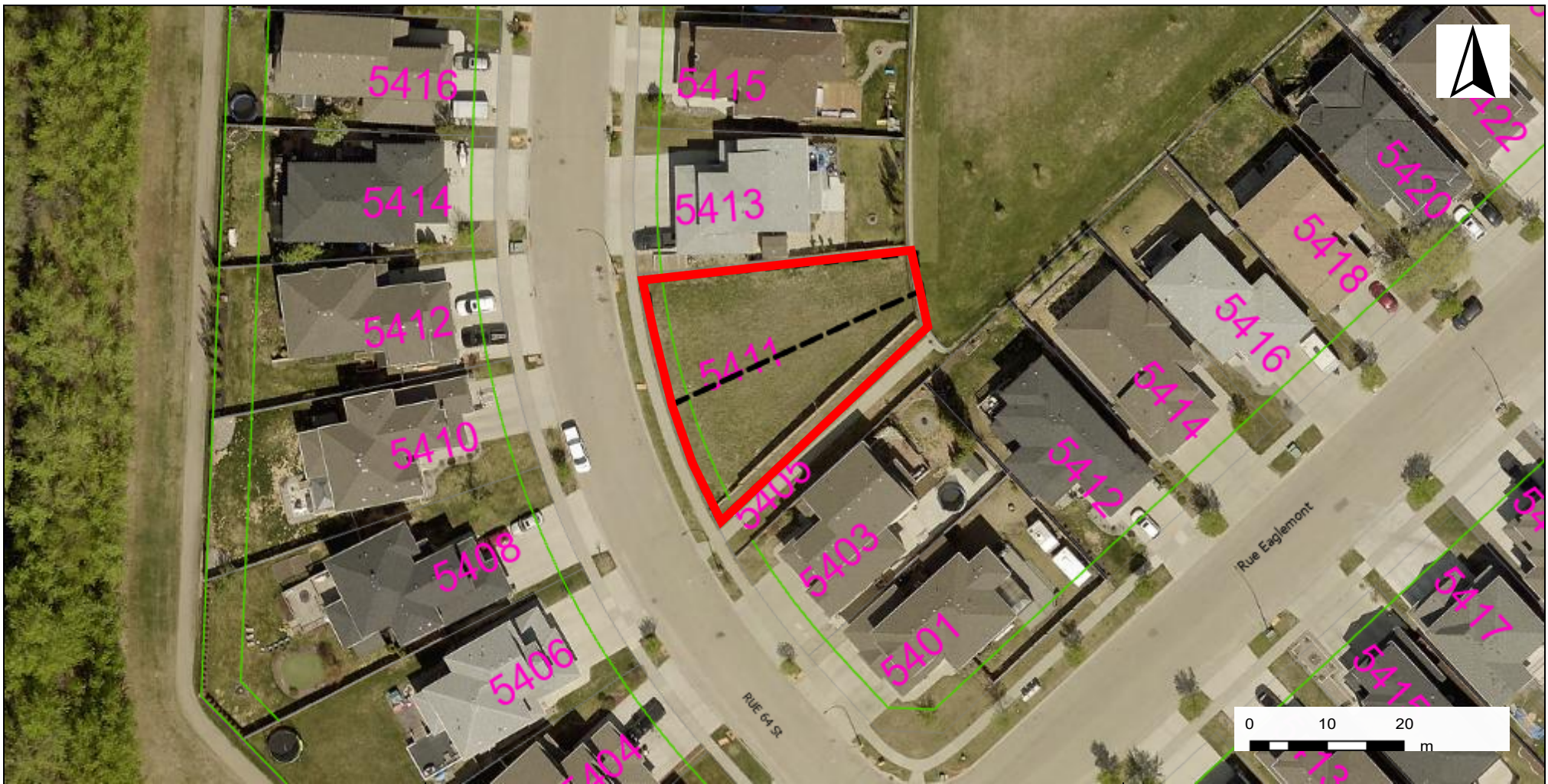
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.
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Commercial
Future Development

M.R.
0.370 ha (0.915 Acres)
27 MR
BLOCK 6

BLOCK 4, PLAN 7922184



Location Map - Eaglemont Phase 3 Lot Split

5411 64 ST - Plan 082 0891 Block 7 Lot 13

City of Beaumont
5600 49 Street
Beaumont, AB
T4X 1A1

Application No.
SDA-24-04

Mapped By:
Georgina Campos



Checked By:
Aleshia Ingram

Numeric Scale:
1:746

Date:
March 25, 2024

CANADA NAD 83-3TM-114

Legend

-  SDA-24-04 Lot Split
-  Registered Parcels

TENTATIVE PLAN

SHOWING SUBDIVISION OF

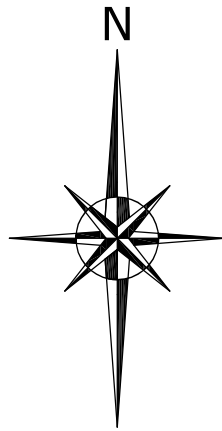
LOT 13, BLK.7, PLAN 082 0891

IN THE

S.W.1/4 SEC.34, TWP.50, RGE.24, W. 4M.

BEAUMONT, ALBERTA

SCALE 1:200 2024 R.W. SIMPSON, A.L.S.



NOTES:

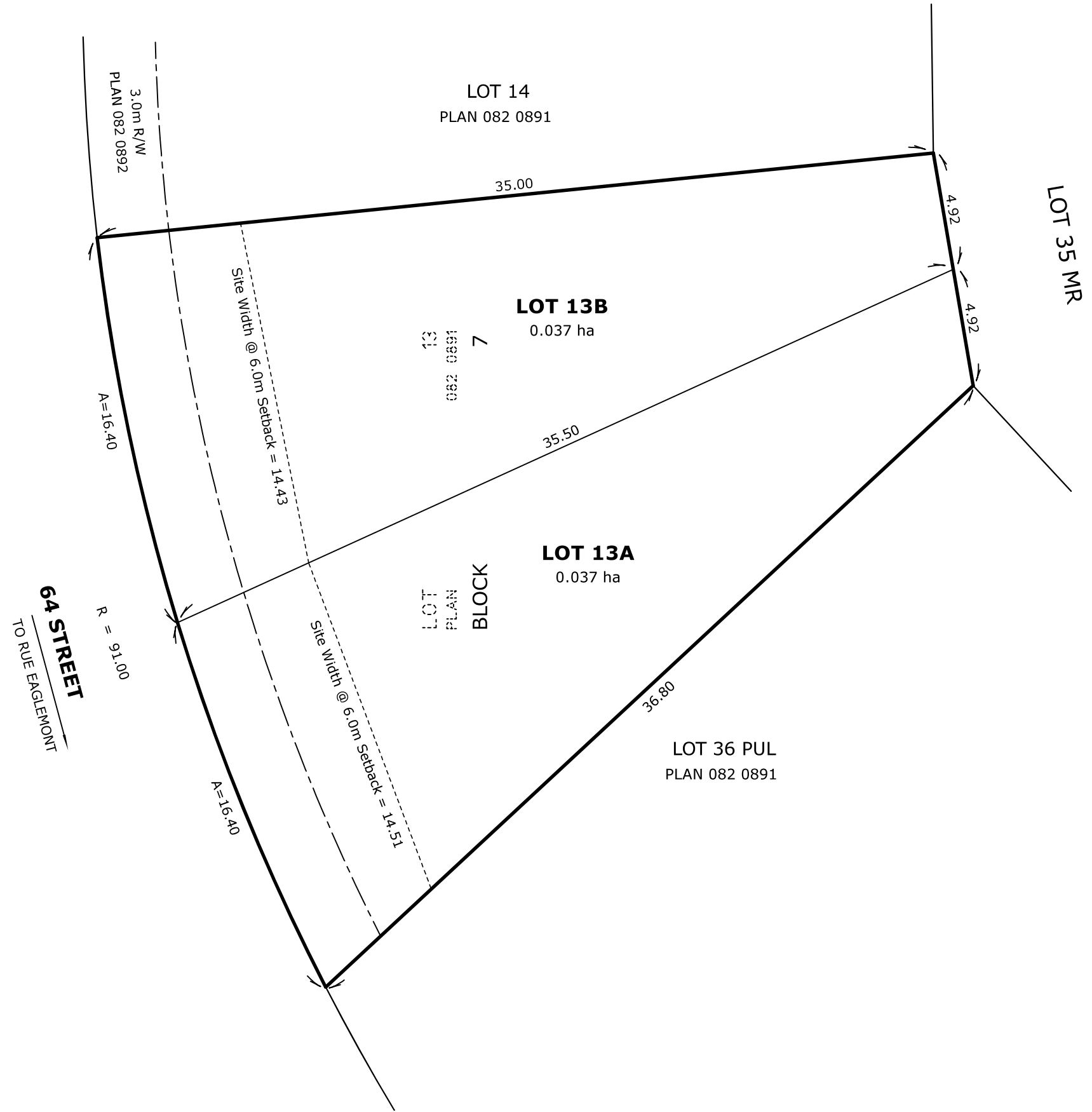
- DISTANCES ARE APPROXIMATE AND ARE IN METRES AND DECIMALS THEREOF.
- AREA DEALT WITH BOUNDED THUS.

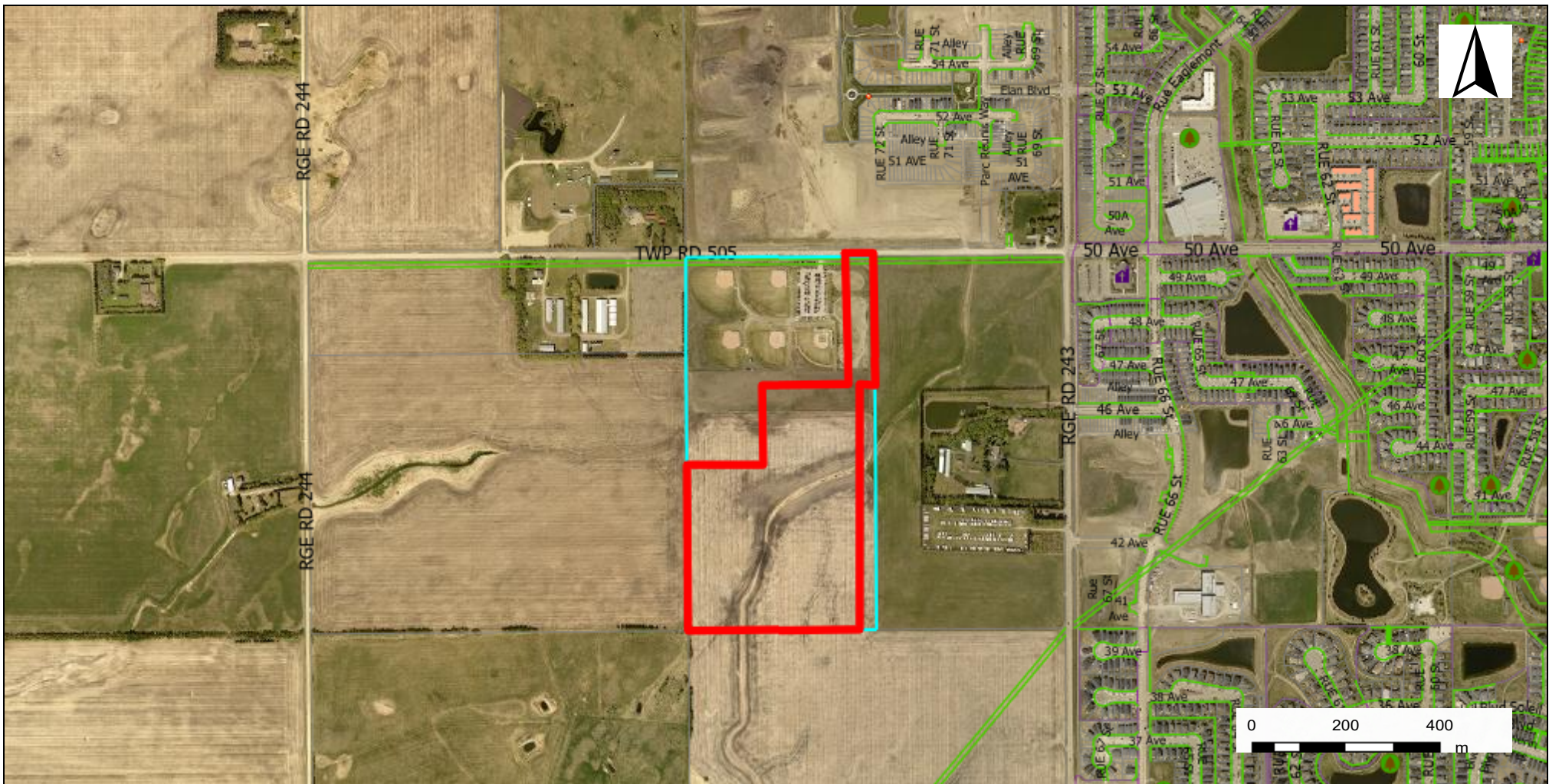


2107 - 87th Avenue N.W. | Edmonton AB, T6P 1L5 | T 780.464.5506 | F 780.464.4450 | hagensurveys.com
Your comprehensive surveying partner.

SURVEYOR'S STAMP

CALCULATED BY:	E.S.D.	DRAWN BY:	E.S.D.
DATE:	FEBRUARY 23, 2024	REVISED:	--
DRAWING	240087T	FILE NO.	240087





Location Map - SDA-24-06 Élan School Site

Portion of N.E. ¼ Sec. 28-50-24-W4

City of Beaumont
 5600 49 Street
 Beaumont, AB
 T4X 1A1

Application No.
 SDA-24-06

Mapped By:
 Georgina Campos



Checked By:
 Aleshia Ingram

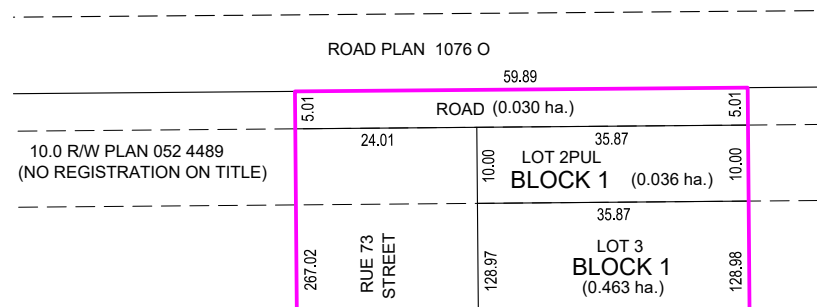
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Date:
 April 5, 2024

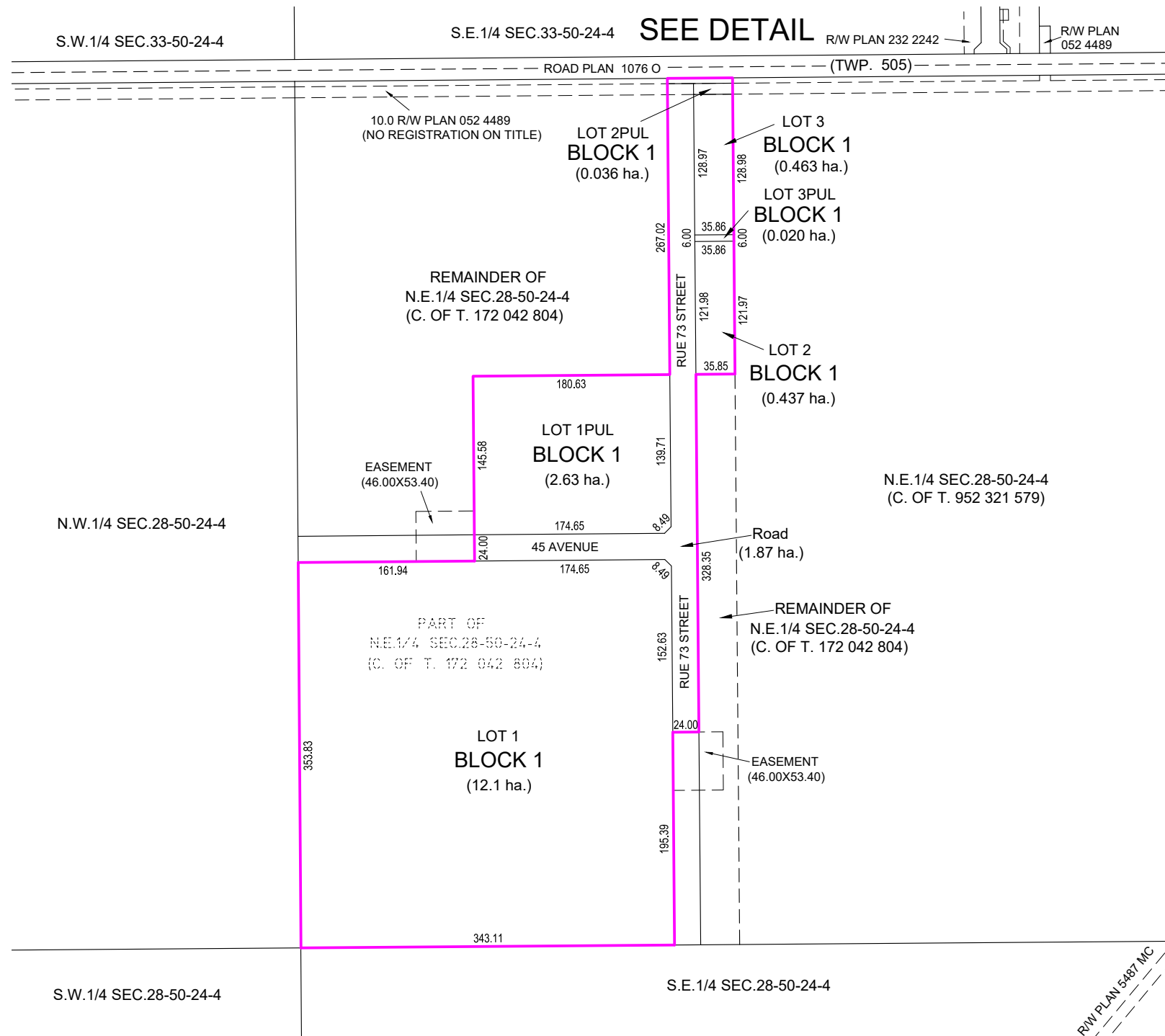
CANADA NAD 83-3TM-114

Legend

-  SDA-24-06 Subdivision Boundary
-  Registered Parcels



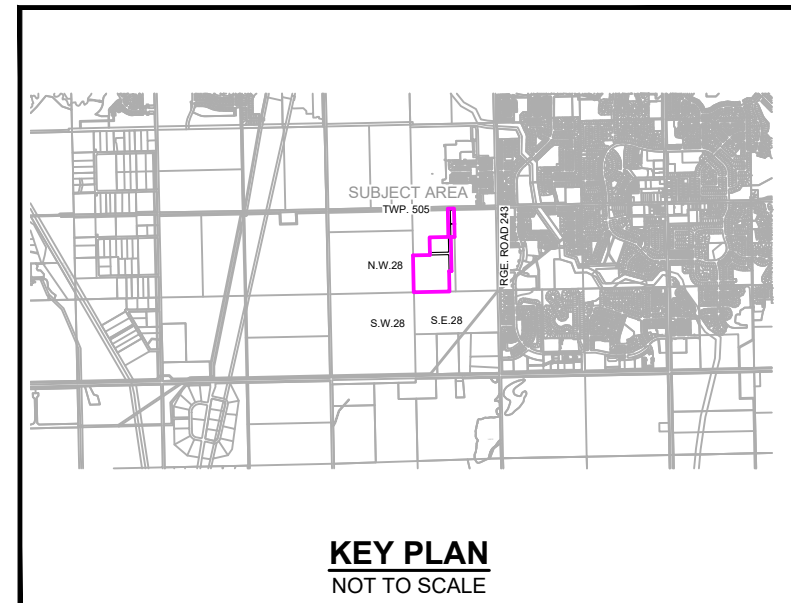
DETAIL
SCALE 1:1000



ISL ENGINEERING AND LAND SERVICE

NOTES:

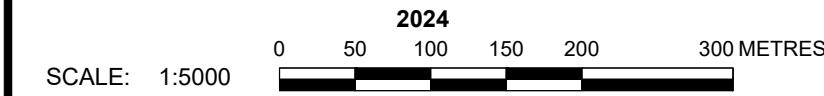
- ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
- ALL INFORMATION SHOWN ON THIS PLAN IS BOTH TENTATIVE AND PRELIMINARY, AND SUBJECT TO CHANGE BY THE 'PLAN OF SURVEY'.
- THE BOUNDARY SHOWN, EVEN IF ANNOTATED, IS SUBJECT TO CHANGE BY THE 'PLAN OF SURVEY'.
- THE ZONING OF THIS SUBJECT AREA IS AGRICULTURAL (A)
- PLAN TO BE SUBDIVIDED SHOWN OUTLINED THUS: AND CONTAINS: 17.6 ha.



REV. NO.	DATE	ITEM	BY
1	MAY 15, 2024	REVISED PLAN	SZ
0	FEB. 13, 2024	ORIGINAL PLAN COMPLETED	SZ

REVISIONS

TENTATIVE PLAN SHOWING PROPOSED
SUBDIVISION
OF PART OF
N.E. 1/4 SEC.28-TWP.50-RGE.24-W.4th MER.
(C. OF T. 172 042 804)
ALL WITHIN THE
N.E. 1/4 SEC.28-TWP.50-RGE.24-W.4th MER.
BEAUMONT - ALBERTA



Pals Geomatics Corp. Phone: (780) 455 - 3177 Fax: (780) 451 - 2047
Email: edmonton@palsgeomatics.com
10704-176 Street NW, Edmonton, Alberta T5S 1G7

FILE NO.	123013800T	DRAFTED BY:	SZ	CHECKED BY:	JB
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