



**Subdivision Authority Decision
Wednesday, June 5th, 2024 at 1:00pm**

The Subdivision Authority has reviewed the following proposed Subdivision on June 5th, 2024:

- a. SDA-21-08 Le Reve 1B Time Extension**
One-year time extension to create 98 Single Detached Residential Lots, 2 Medium Density Residential Lots, 1 PUL, and 2 Municipal Reserve Lots from a portion of Plan 782 1085, Block 1
- b. SDA-24-04 Eaglemont Lot Split (5411 64 St)**
Hagan Surveys (1982) Ltd. on behalf of 1813098 Alberta Ltd. submitted a subdivision application to split an existing residential lot into 2 residential lots.
- c. SDA-24-06 Elan Neighbourhood 2 Phase 1 (School Site)**
ISL Engineering on behalf of the City of Beaumont submitted a subdivision application for 1 municipal reserve lot, 3 Public Utility Lots and 2 residential lots.

Subdivision Authority's Decision:

- a. SDA-21-08 Le Reve 1B Time Extension**
The Subdivision Authority conditionally approved the one-year time extension to create 98 Single Detached Residential Lots, 2 Medium Density Residential Lots, 1 PUL, and 2 Municipal Reserve Lots from a portion of Plan 782 1085, Block 1
- b. SDA-24-04 Eaglemont Lot Split (5411 64 St)**
The Subdivision Authority has tabled the decision until June 11th, 2024.
- c. SDA-24-06 Elan Neighbourhood 2 Phase 1 (School Site)**
The Subdivision Authority conditionally approved the subdivision application for 1 municipal reserve lot, 3 Public Utility Lots and 2 residential lots.

- *Attachments: Notice of Decision, Conditions of Approval Map, Advisement, Subdivision Plan, Subdivision Application*

Contact the Current Planner at planning@beaumont.ab.ca for more information.

a.



With **spirit** | Avec **esprit**

May 8, 2023

File: SDA-21-08

Stephen Yu, RPP, MCIP
Invistec Consulting Ltd.
Suite 1700, 10130 103 Street NW
Edmonton, AB T5J 3N9

RE: Subdivision Approval Extension – SDA-21-08 Le Reve SW Phase 1B
A portion of Plan 782 1085, Block 1 – City of Beaumont

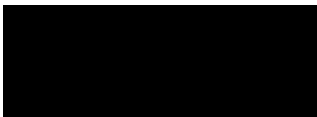
On May 5, 2023, the Subdivision Authority at their regular Subdivision Authority meeting approved the Subdivision Approval Timeline Extension for Le Reve SW Phase 1B.

This subdivision approval is valid for one (1) year expiring May25, 2024. You will be required to apply for endorsement so that Phase 1B may be registered at Land Titles before the expiry date.

If you do not apply for endorsement prior to the expiry date and the approval expires, you will be required to reapply with an entirely new Subdivision Application or you may wish to apply for an extension in accordance with the Section 657 of the *Municipal Government Act*.

For more information, please contact the undersigned.

Yours truly,



Sara Boulos
Development Planner
780-340-1784
Sara.boulos@beaumont.ab.ca

cc: Owner

Encls:
Conditional Subdivision Approval



Notice of Decision

Date of Decision: May 25, 2022

Stephen Yu, RPP, MCIP
Invistec Consulting Ltd.
Suite 1700, 10130 103 Street NW
Edmonton, AB T5J 3N9

Subdivision File Name: SDA-21-08 Le Reve SW 1B
Legal Description: A portion Plan 782 1085, Block 1
Land Use District: Integrated Neighbourhood
Proposed Subdivision: 98 Single Detached Residential Lots, 2 Medium Density Residential Lots, 1 PUL, and 2 Municipal Reserve Lots.

Pursuant to Section 654 of the MGA, the above-described Subdivision was **CONDITIONALLY APPROVED** on May 25, 2022, subject to the following conditions:

1. That the subdivision be effected by plan of survey.
2. That the owner/developer pays their proportionate share of the Off-Site Levies applicable to this subdivision
3. That any outstanding taxes be paid or satisfactory arrangements be made with the City of Beaumont.
4. That all existing easements, caveats, and restrictive covenants registered to the subject property be carried over and registered on the newly created lots.
5. That easement documents required to service this parcel shall be submitted for concurrent registration at the Land Titles Office. The plan shall show a 1.5 m right-of-way on all lots adjacent to any Public Utility Lot for maintenance purposes.
6. Restrictive Covenants will be registered on the lots that are required to install fencing in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City, as shown on the "Conditions of Approval" map, Attachment 1.
7. That the owner/developer provides security and constructs a trail on Lot 19PUL, Block 6 in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City as shown on the "Conditions of Approval" map, Attachment 1.
8. That the owner/developer enter into a cost sharing agreement for the future development of the Lot 1MR, Block 2 in accordance with the Le Reve Area Structure plan prior to endorsement.
9. That the owner dedicates Municipal Reserve of one parcel totaling in the amount of 1.78 ha pursuant to Section 666 and Section 667 of the Municipal Government Act.
10. That at the time of endorsement the City of Beaumont will prepare Deferred Reserve Caveats with concurrent registration at the Land Titles Office.
11. That the owner/developer construct a second water feed connection for Le Reve 1B servicing pursuant to the engineering drawings and to the satisfaction of the City.

PLEASE NOTE THAT THIS OFFICE WILL NOT ENDORSE ANY DOCUMENTS OR PLANS UNTIL THE APPEAL PERIOD AS SET OUT IN THE MUNICIPAL GOVERNMENT ACT HAS EXPIRED. THE APPEAL PERIOD IS CALCULATED AS 14 DAYS FROM THE DATE OF THIS DECISION LETTER.

Notice of Decision

Date of Decision: May 25, 2022

Subdivision File: SDA-21-08

12. That the owner/developer be permitted to register this plan of subdivision in phases in sequential order, as shown on the "Conditions of Approval" map, Attachment 1.
13. That the owner/developer abide by the Terms and Conditions of Water Act Approval, Approval Number DAUT0008787.
14. That the owner/developer enter into and abide by a Development Agreement with the City of Beaumont pursuant to Section 655 of the Municipal Government Act (MGA) to address but are not limited to the following:
 - a. Construct roads, pedestrian walkway system, public utilities and to provide security for the proposed subdivision.
 - b. That the owner/developer pay all costs identified in the Development Agreement, including but not limited to, assessment and inspection costs occasioned by this subdivision prior to the endorsement of the plan of subdivision.
 - c. That the owner/developer pays their proportionate share of the Off-Site Levies applicable to this subdivision
 - d. That the owner/developer submit detailed engineering drawings in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City and affected utility agencies.
 - e. Restrictive Covenants will be registered on the lots that are required to install fencing in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City, as shown on the "Conditions of Approval" map, Attachment 1.
 - f. That the owner/developer provides security and constructs a trail on Lot 19PUL, Block 6 in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City as shown on the "Conditions of Approval" map, Attachment 1.
 - g. That the owner/developer construct a second water feed connection for Le Reve 1B servicing pursuant to the engineering drawings and to the satisfaction of the City.
 - h. That the owner/developer enter into a cost sharing agreement for the future development of the Lot 1MR, Block 2 in accordance with the Le Reve Area Structure plan prior to endorsement.

Notice of Decision

Date of Decision: May 25, 2022

Subdivision File: SDA-21-08

Attachment 1 is a map of the subdivision and the location of specific condition requirements. Attachment 2 is a list of advisements.

Pursuant to Section 654(2) in the Municipal Government Act, a variance has been granted to allow the maximum block length of 240 metres in the Integrated Neighbourhood Districted to be extended to 282.45 metres.

A Deferred Reserve Caveat (DRC) will be registered with SDA-21-08 at the time of endorsement. The DRC will note the remaining Municipal Reserve (MR) (1.35ha) for Plan 782 1085, Blk 1.

This approval is valid for one year expiring on **May 25, 2023**. Pursuant to the Land Use Bylaw 944-19, any extensions of the Subdivision approval may be authorized by the Subdivision Authority.

With regard to the conditions of approval, they are to be met and satisfied prior to the submission of the final plan of subdivision, which is to be prepared by an Alberta Land Surveyor.

Once all conditions of approval have been complied with, the final plan of subdivision and endorsement plans/documents can be submitted. Please see our website for endorsement submission requirements at <https://www.beaumont.ab.ca/DocumentCenter/View/6055/Endorsement-Application-Package>.

An endorsement fee will be required to be paid upon submission of the final plan. Endorsement fees are subject to change. If the fee schedule is amended before you submit the final plan of subdivision for endorsement, the new fees will apply.

Appeal Information

Please be advised that an appeal may be submitted in accordance with Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board within 14 days of the written decision. Please visit our website for more details at www.beaumont.ab.ca (See enclosure re: Subdivision and Development Appeals).

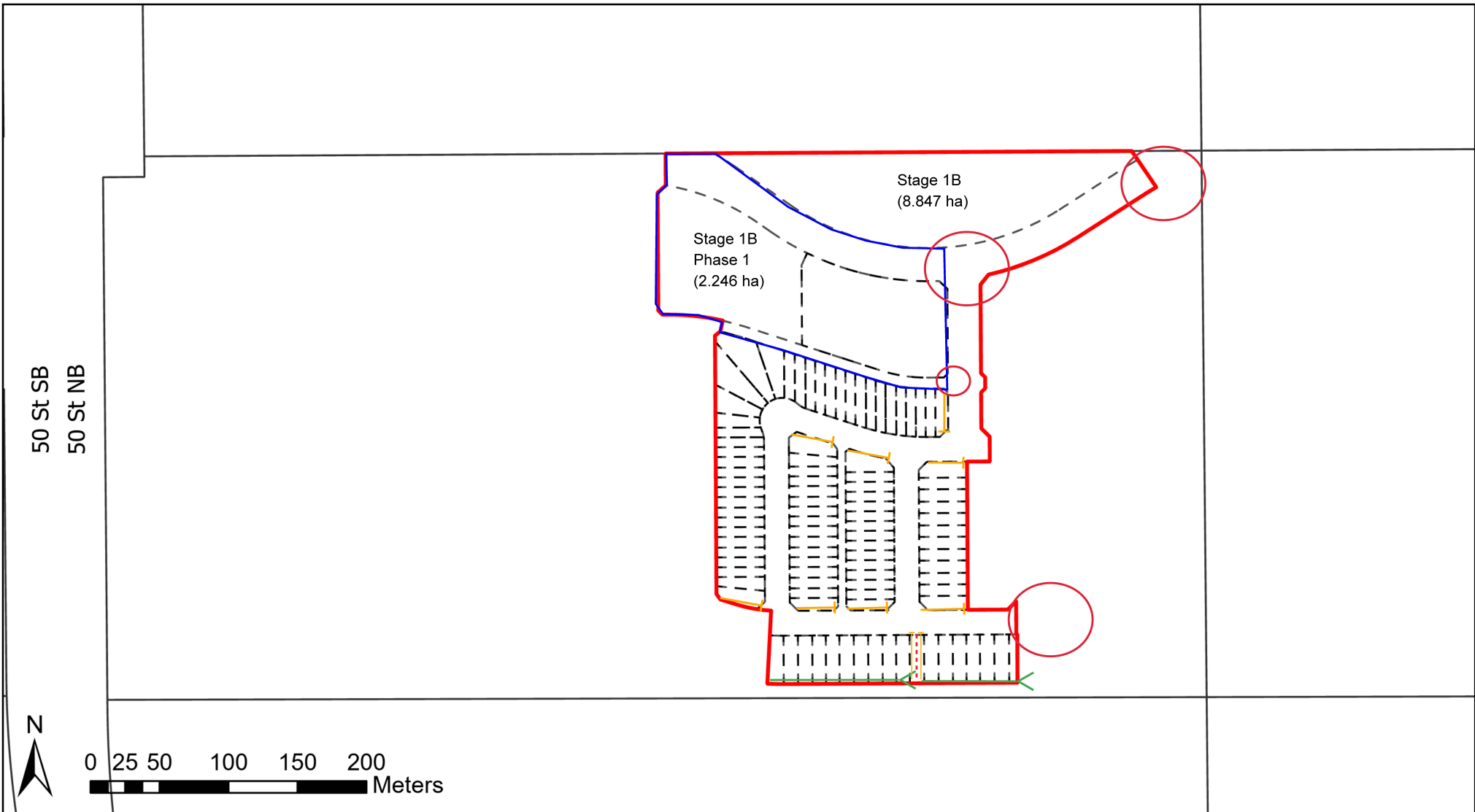
If you have any further questions, please contact Coralie Volker at planning@beaumont.ab.ca or 780-995-7850.



Kendra Raymond, RPP, MCIP
Subdivision Authority

Encl:
Application for Subdivision
Tentative Subdivision Plan Conditionally Approved by the Subdivision Authority

cc: Owner



Conditions of Approval Map - Le Reve SW Phase 1B

BLOCK 1, PLAN 782 1085

Application # Label:
SDA-21-08

Mapped by:
Kemi.M

Checked by:
Coralie.V

Numeric Scale:
1:4,000

Date - mn\dd\lyr
01\31\2022

Projected Coordinate System:
CANADA NAD 83-3TM-114

Legend

- Le Reve SW Phase 1B Boundary
- Proposed Subdivision
- Registered Parcels
- Stage 1B - Phase 1
- Temporary Turn Around
- Board Fence
- Chain Link Fence
- Pathway



City of Beaumont
5600 49 Street
Beaumont, AB
T4X 1A1

Notice of Decision

Date of Decision: May 25, 2022

Subdivision File: SDA-21-08

Attachment 2: Advisements

1. Homebuilders should be made aware of that any home placed on a lot with a zero lot line maintenance easement, requires a side yard setback of 1.5 m along the zero lot line side.
2. Homebuilders should be made aware that zero lot line properties must connect roof leaders to sump pump discharge services.
3. Homebuilders should be made aware that all building permit applications for Beaumont must meet construction requirements in the National Building Code Alberta Edition 2019 (NBC-AE 2019) for a location without a 10 minute response time as applicable.
4. Homebuilders must be made aware that lots with front or rear attached or detached garage product will not be permitted to construct a driveway within a corner cut as per the GDS (section 2.1.1.3 e. iv.).
5. The City of Beaumont will not vary the GDS to permit owners/builders to construct a driveway extension into the corner cut triangle. Buyers and/or builders of corner lot properties should be made aware of the development constraint.

SDA-21-08 Approved by
Subdivision Authority, Kendra
Raymond, RPP, MCIP, on May
25, 2022.

Expires May 25, 2023

planning@beaumont.ab.ca

Subdivision Application

2021.12.16

DATE RECEIVED
OFFICE USE ONLY

2022.01.10

DATE PAID
OFFICE USE ONLY

OFFICE USE ONLY

SDA Number: **SDA-21-08 Le Reve SW 1B**

Land Use District(s): **IN**

Subdivision Name: **Le Reve SW 1B**

Fees Receipt #: **289035**

Subdivision Application: **\$26,300.00**

Notification Fee: **\$250.00**

Total Fees: **\$26,550.00**

1. Property Information

All/part of the _____ ¼ Sec. _____, Twp. _____, Rge _____, West of the 4th Meridian

OR Being all/part of Lot: _____ Block **1** Plan **7821085**

OR Municipal Address: _____

C.O.T. No(s): _____

Area of the above parcels of land to be subdivided **8.476** Hectares (**20.945** Acres)

2. Applicant and Property Owner Information

Applicant/Consultant Name: **Invistec Consulting Ltd. c/o Stephen Yu**

Mailing Address: **Suite 1700, 10130 103 Street NW**

Municipality: **Edmonton** Province: **Alberta** Postal Code: **T5J 3N9**

Phone: **780-217-7751** Cell Phone: _____

Email (required): **stephen.yu@invistec.ca**

Is the Applicant also the Registered Owner? Yes (Do not fill out below) No (Fill out below - written authorization from registered owner required)

Owner Name: **Redco Properties Ltd.**

Mailing Address: **8105 Davies Road NW**

Municipality: **Edmonton** Province: **Alberta** Postal Code: **T6E 4N1**

Phone: **780-466-1820** Cell Phone: _____

Email (required): **john@redco.ca**

3. Location of Land to be Subdivided

- a. Is the land situated immediately adjacent to the municipal boundary? No Yes
If "yes", the adjoining municipality is: _____
- b. Is the land situated within 1.6 kilometers (1 mile) of the right of way of a highway? No Yes
If "yes", the Highway is No.: **814**
- c. Does the proposed parcel contain or is it bounded by a river, stream, lake or other body of water or by a drainage ditch or canal? No Yes
If "yes", state its name. **unregistered drainage ditch**
- d. Is the proposed parcel within 1.5 kilometers (0.9 miles) of a sour gas facility? No Yes
- e. Does the proposed parcel contain an abandoned well? No Yes
If "yes", please attach a map showing the actual well bore location of the abandoned well with a description of the minimum setback requirements as set out in ERCB Directive 079.

4. Existing and Proposed Use of Land to be Subdivided

a. Existing use of Land: **agriculture**

b. Proposed use of Land: **residential, and park**

5. Physical Characteristics of Land to be Subdivided

a. Describe the nature of topography of the land (flat, rolling, steep, mixed): **flat**

b. Describe the nature of vegetation and water on the land (brush, cleared, shrubs, tree stands, woodlots, sloughs, creeks, etc.):
cleared

c. Describe the kind of soil on the land (sandy, loam, clay, etc.): **clay**

6. Existing Buildings on the Land to be Subdivided

a. Describe any buildings and any structures on the land and whether they are to be demolished or moved:
n/a

7. Water and Sewer Services

a. If the proposed subdivision is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal or indicate N/A: **n/a**

8. Applicant Authorization

I, **Invistec Consulting Ltd** hereby certify that

_____ I am the registered owner,

I am the agent authorized to act on behalf of the registered owner

And that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for subdivision approval.

Suite 1700, 10130 103 Street NW

Address: **Edmonton, AB T5J 3N9**

Signed: _____

Phone Number: **780-217-7751**

Date: **December 14, 2021**

FURTHER INFORMATION MAY BE PROVIDED BY THE APPLICANT ON THE RESERVE OF THIS FORM



SDA-21-08 Approved by
Subdivision Authority,
Kendra Raymond, RPP,
MCIP, on May 25, 2022.
Expires May 25, 2023

Le Reve Drive

Commercial

Park
1.407 ha
(3.477 Acres)

1 MR
BLOCK 2

Le Reve Drive

MDR
0.864 ha
(2.135 Acres)

2
BLOCK 3

Stage 1B - Phase 1
2.246 ha
(5.549 Acres)

MDR
0.712 ha
(1.760 Acres)

1
BLOCK 3

MDR

MDR

Stage 1A

BLOCK 1
PLAN 7821085

Future
Development

Stage 1B
8.847 ha
(21.862 Acres)

LEGEND:

- Stage 1B Subdivision Boundary
- Stage 1A Subdivision Boundary
- Phase 1 Boundary
- Zero Lot Line Dwelling (Does Not Represent The Building Size or Location).

NOTES:

- All distances are shown in metres and decimals thereof.
- Distances on the curved boundaries are arc lengths.
- Area dealt with by this plan shown bounded thus contains: 8.847 ha, 2 MDR parcels, and 98 small residential lots.

THIS IS A CONCEPT PLAN ONLY. SUBJECT TO CHANGE.

DATE: APRIL 28, 2022

PROJECT MANAGER: ALVARO_SOTO

CLIENT: REDCO DEVELOPMENTS LTD

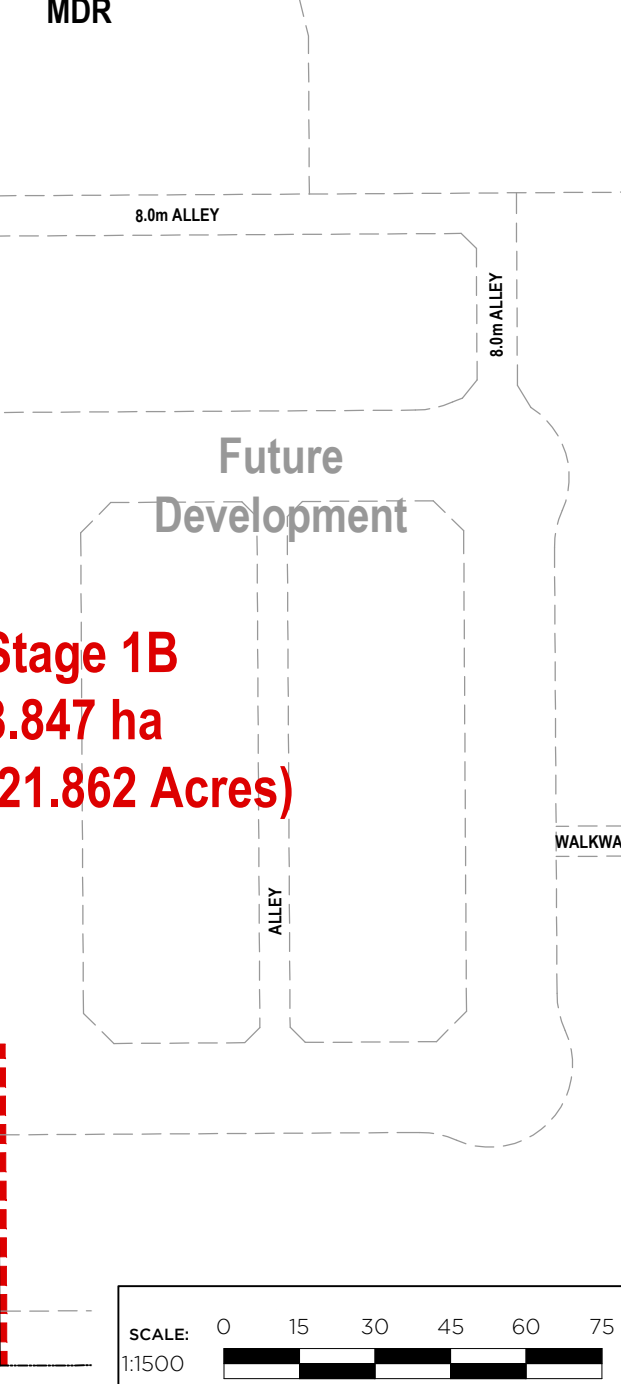
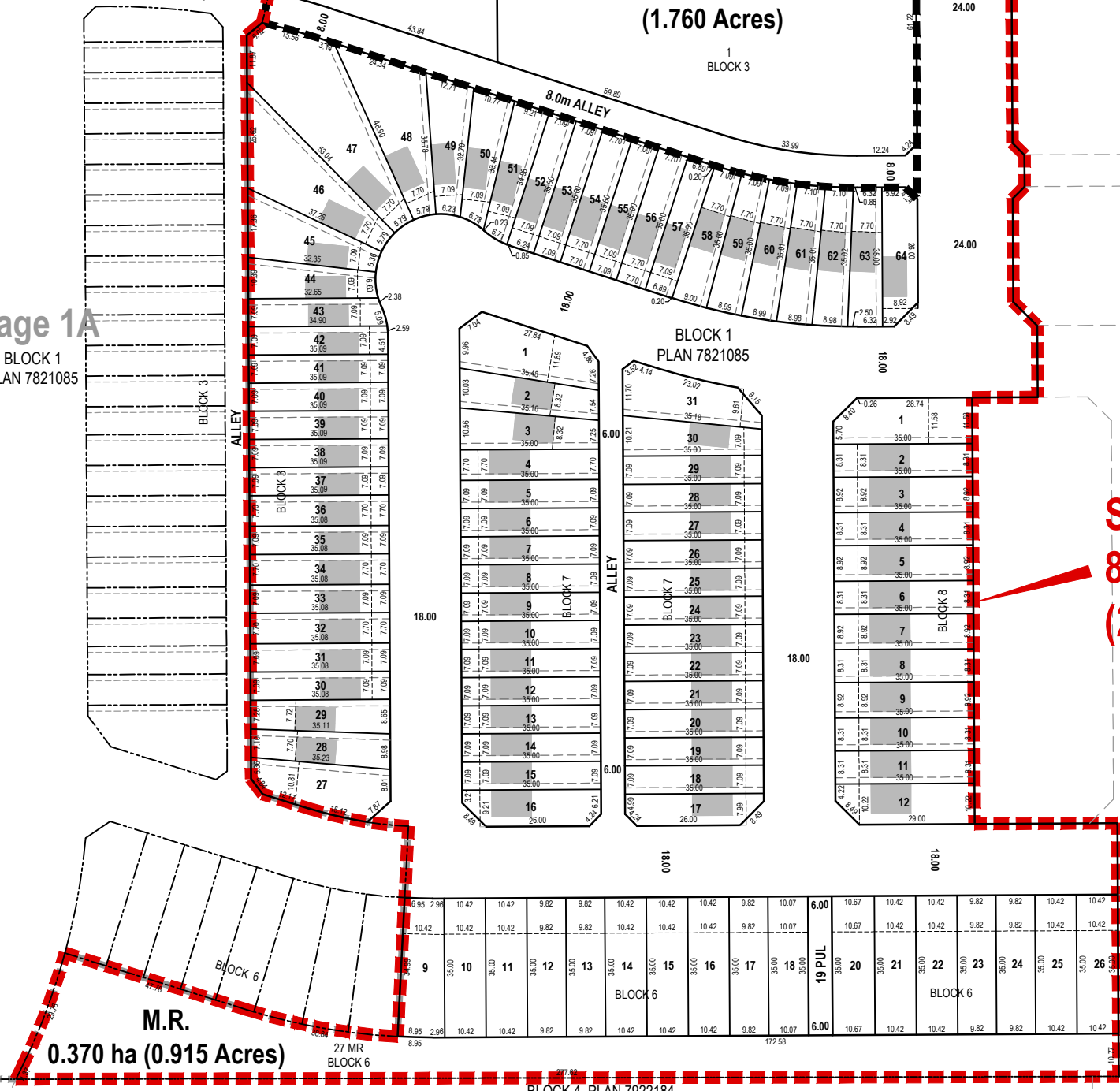
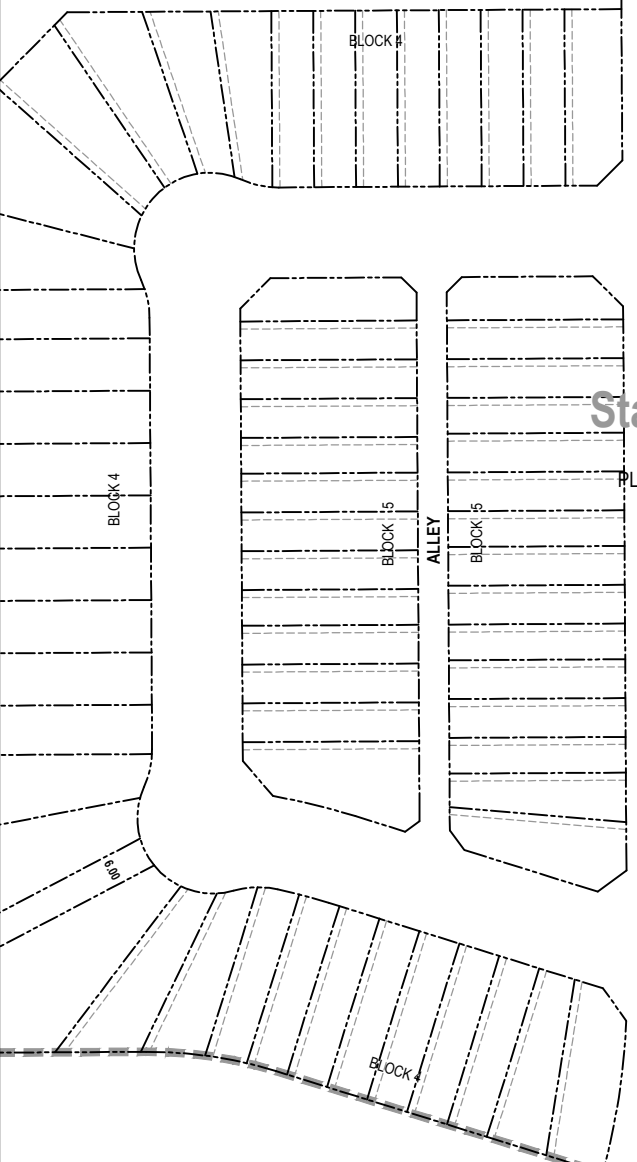
PROJECT: LE RÊVE SOUTHWEST - STAGE 1B
BLOCK 1, PLAN 7821085

DRAWING TITLE: TENTATIVE PLAN OF SUBDIVISION

PROJECT NO/ DRAWING NO: 2019074-001

Invistec Consulting Ltd.
Suite 1700, 10130 - 103 Street NW
Edmonton, Alberta, T5J 3N9
(780) 293 - 7373
www.invistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.
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Notice of Decision

Date of Decision: June 6, 2024

ISL Engineering and Land Services Ltd.
 7909 51 Avenue NW
 Edmonton, AB T6E 5L9

Subdivision File Name: SDA-24-06 Élan Neighbourhood 2 Phase 1
Legal Description: A portion of N.E. ¼ Sec. 28-50-24-W4 – City of Beaumont
Land Use District: Integrated Neighbourhood
Proposed Subdivision: 1 Municipal Reserve Lot, 3 Public Utility Lots, 2 Residential Lots

Pursuant to Section 654 of the MGA, the above-described Subdivision was **APPROVED** on June 6, 2024, subject to the following conditions:

1. That the subdivision be effected by plan of survey.
2. That all existing easements, caveats, and restrictive covenants registered to the subject property be carried over and registered on the newly created lots.
3. That the owner/developer shall dedicate road widening in this phase of subdivision, south of Township 505 extending from the east boundary to west boundary of the subdivision boundary as shown on the "Conditions of Approval" map, Attachment 1.
4. That the owner/developer shall construct two temporary gravel turnarounds, located at the west end of 45 Avenue and the south end of Rue 73 Street in accordance with approved engineering drawings, the City of Beaumont General Design Standards, and to the satisfaction of the Municipality, as shown on the "Conditions of Approval" map, Attachment 1.
5. That the owner/developer shall construct a temporary emergency access road with knock-down bollards from the west end of 45 Avenue to the north of Lot 50, Block 24, Plan 4 in accordance with the City of Beaumont General Design Standards, and to the satisfaction of the Municipality and affected utility agencies, as shown on the "Conditions of Approval" map, Attachment 1.
6. That the owner/developer construct roads, pedestrian walkway systems, and public utilities for the proposed subdivision in accordance with approved engineering drawings, the City of Beaumont General Design Standards, and to the satisfaction of the City and affected utility agencies.
7. That the owner/developer dedicate Municipal Reserve as one parcel on Lot 1, Block 1 in the amount of 12.1 ha pursuant to Section 666 and Section 667 of the Municipal Government Act.

This approval is valid for one year expiring on **June 6, 2025**. Pursuant to the Land Use Bylaw 944-19, any extensions of the Subdivision approval may be authorized by the Subdivision Authority.

Attachment 1 is a map of the subdivision and the location of specific condition requirements.

With regard to the conditions of approval, they are to be met and satisfied prior to the submission of the final plan of subdivision, which is to be prepared by an Alberta Land Surveyor.

Once all conditions of approval have been complied with, the final plan of subdivision and endorsement plans/documents can be submitted. Please see our website for endorsement submission requirements at <https://www.beaumont.ab.ca/DocumentCenter/View/6055/Endorsement-Application-Package>.

An endorsement fee will be required to be paid upon submission of the final plan. Endorsement fees are subject to change. If the fee schedule is amended before you submit the final plan of subdivision for endorsement, the new fees will apply.

Notice of Decision

Date of Decision: June 6, 2024

Subdivision File: SDA-24-06

Appeal Information

Please be advised that an appeal may be submitted in accordance with Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board within 14 days of the written decision. Please visit our website for more details at www.beaumont.ab.ca

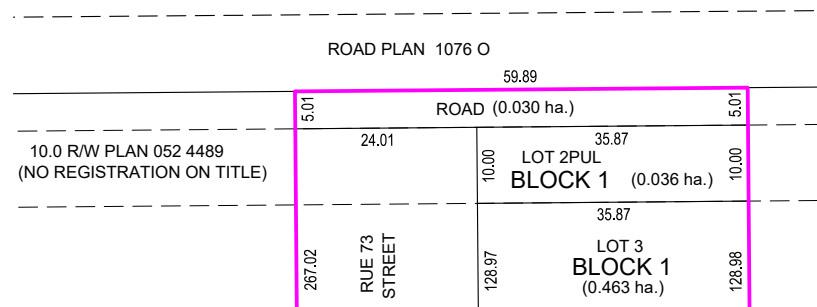
If you have any further questions, please contact Georgina Campos at planning@beaumont.ab.ca or 780-243-0552.



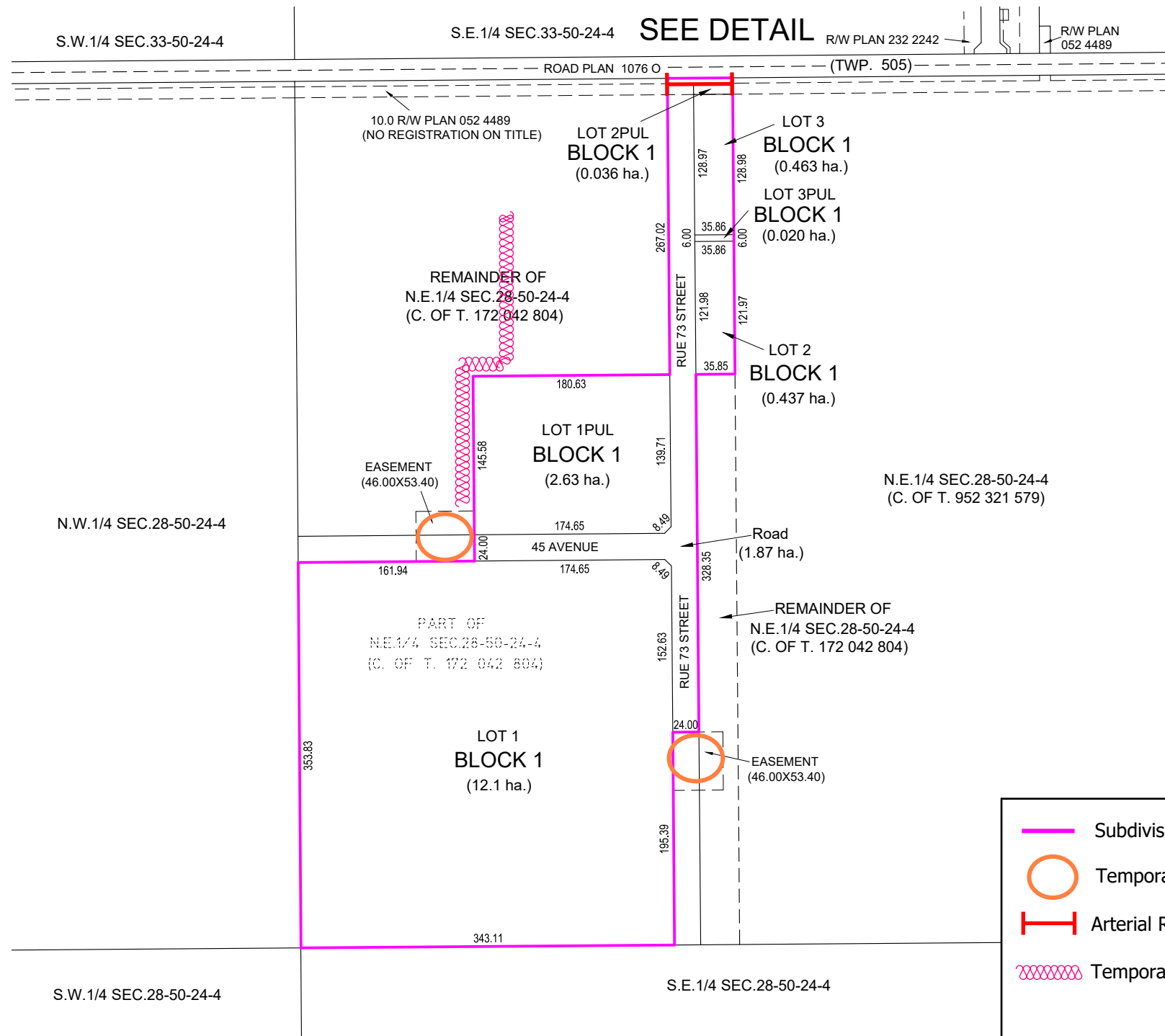
Kendra Raymond, RPP, MCIP
Subdivision Authority

Encl:
Conditions of Approval Map
Application for Subdivision
Tentative Subdivision Plan Conditionally Approved by the Subdivision Authority

cc: City of Beaumont – Joannes Wong, Manager of Long Range Planning



DETAIL
SCALE 1:1000

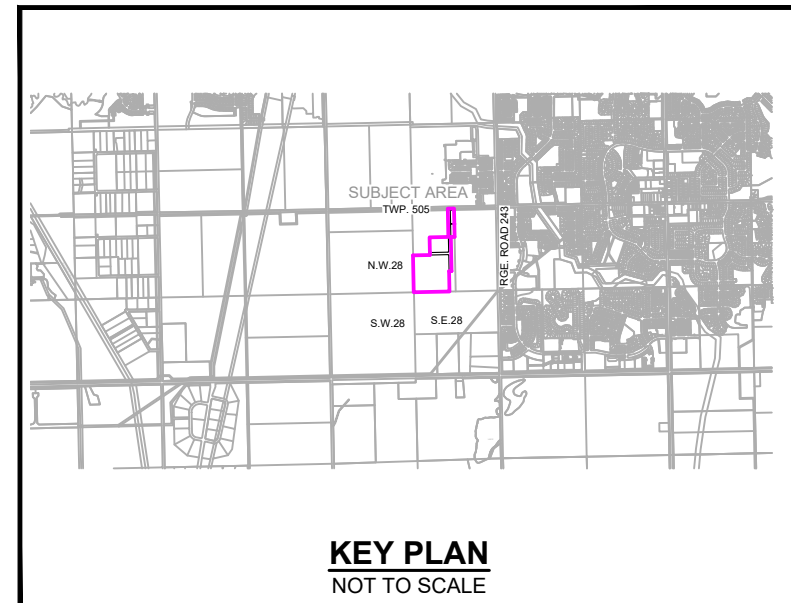


- Subdivision Boundary
- Temporary turnaround location
- Arterial Road Dedication
- Temporary Emergency Access

ISL ENGINEERING AND LAND SERVICE

NOTES:

- ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
- ALL INFORMATION SHOWN ON THIS PLAN IS BOTH TENTATIVE AND PRELIMINARY, AND SUBJECT TO CHANGE BY THE 'PLAN OF SURVEY'.
- THE BOUNDARY SHOWN, EVEN IF ANNOTATED, IS SUBJECT TO CHANGE BY THE 'PLAN OF SURVEY'.
- THE ZONING OF THIS SUBJECT AREA IS AGRICULTURAL (A)
- PLAN TO BE SUBDIVIDED SHOWN OUTLINED THUS: AND CONTAINS: 17.6 ha.



REV. NO.	DATE	ITEM	BY
1	MAY 15, 2024	REVISED PLAN	SZ
0	FEB. 13, 2024	ORIGINAL PLAN COMPLETED	SZ

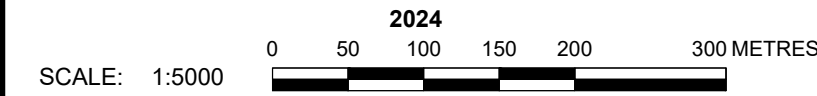
REVISIONS

TENTATIVE PLAN SHOWING PROPOSED
SUBDIVISION

OF PART OF
N.E. 1/4 SEC.28-TWP.50-RGE.24-W.4th MER.
(C. OF T. 172 042 804)

ALL WITHIN THE
N.E. 1/4 SEC.28-TWP.50-RGE.24-W.4th MER.

BEAUMONT - ALBERTA



Pals Geomatics Corp.
Phone: (780) 455 - 3177 Fax: (780) 451 - 2047
Email: edmonton@palsgeomatics.com
10704-176 Street NW, Edmonton, Alberta T5S 1G7

FILE NO.	123013800T	DRAFTED BY:	SZ	CHECKED BY:	JB
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Planning & Development
5600 - 49 Street
Beaumont, AB T4X 1A1
780-929-8782
planning@beaumont.ab.ca

March 1, 2024
DATE RECEIVED
OFFICE USE ONLY

N/A
DATE PAID
OFFICE USE ONLY

OFFICE USE ONLY

SDA Number: **SDA-24-06**

Land Use District(s): **IN**

Subdivision Name: **Elan School Site**

Fees	Receipt #:
Subdivision Application:	n/a
Notification Fee:	n/a
Total Fees: n/a	

1. Property Information

All/part of the NE ¼ Sec. 28, Twp. 50, Rge 24, West of the 4th Meridian

OR Being all/part of Lot: _____ Block _____ Plan _____

OR Municipal Address: _____

C.O.T. No(s): 172 042 804

Area of the above parcels of land to be subdivided 18.4 Hectares (45.46 Acres)

2. Applicant and Property Owner Information

Applicant/Consultant Name: Natalie Tremblay ISL Engineering and Land Services

Mailing Address: 7909 51 Avenue NW

Municipality: Edmonton Province: Alberta Postal Code: T6E 5L9

Phone: 780 138 9000 ext 3222 Cell Phone: _____

Email (required): ntremblay@islengineering.com

Is the Applicant also the Registered Owner? Yes (Do not fill out below) No (Fill out below - written authorization from registered owner required)

Owner Name: City of Beaumont, c/o Joannes Wong, Manager, Long Range Planning

Mailing Address: 5600 49 Street

Municipality: Beaumont Province: Alberta Postal Code: T4X 1A1

Phone: 780 915 7874 Cell Phone: _____

Email (required): joannes.wong@beaumont.ab.ca

3. Location of Land to be Subdivided

a. Is the land situated immediately adjacent to the municipal boundary? No Yes
If "yes", the adjoining municipality is: _____

b. Is the land situated within 1.6 kilometers (1 mile) of the right of way of a highway? No Yes
If "yes", the Highway is No.: _____

c. Does the proposed parcel contain or is it bounded by a river, stream, lake or other body of water or by a drainage ditch or canal? No Yes
If "yes", state its name. "Existing Drainage Ditch"

d. Is the proposed parcel within 1.5 kilometers (0.9 miles) of a sour gas facility? No Yes

e. Does the proposed parcel contain an abandoned well? No Yes
If "yes", please attach a map showing the actual well bore location of the abandoned well with a description of the minimum setback requirements as set out in ERCB Directive 079.

4. Existing and Proposed Use of Land to be Subdivided

a. Existing use of Land: Agricultural Holdings District (AH)

b. Proposed use of Land: Integrated Neighbourhood District (IN). To accommodate a shared school site with two high schools to meet the local and regional student demand.

5. Physical Characteristics of Land to be Subdivided

a. Describe the nature of topography of the land (flat, rolling, steep, mixed): gentle slopes

b. Describe the nature of vegetation and water on the land (brush, cleared, shrubs, tree stands, woodlots, sloughs, creeks, etc.):
cleared, shrubs, cultivated

c. Describe the kind of soil on the land (sandy, loam, clay, etc.): clay

6. Existing Buildings on the Land to be Subdivided

a. Describe any buildings and any structures on the land and whether they are to be demolished or moved:
No existing buildings on the land to be subdivided

7. Water and Sewer Services

a. If the proposed subdivision is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal or indicate N/A: N/A

8. Applicant Authorization

I, Natalie Tremblay hereby certify that

I am the registered owner,
 I am the agent authorized to act on behalf of the registered owner

And that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for subdivision approval.

Address: 7909 51 Avenue NW Edmonton AB T6E 5L9 Signed: _____

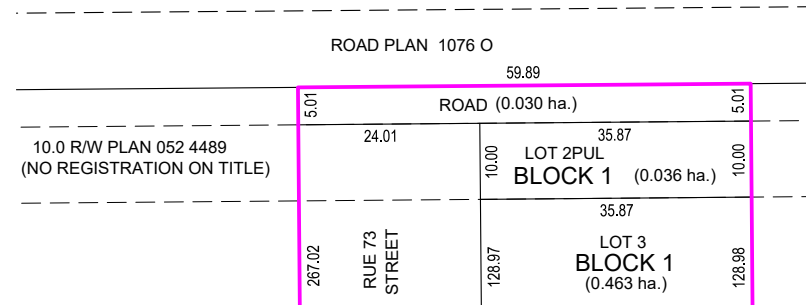
Phone Number: 780 438 9000 Date: _____

FURTHER INFORMATION MAY BE PROVIDED BY THE APPLICANT ON THE RESERVE OF THIS FORM

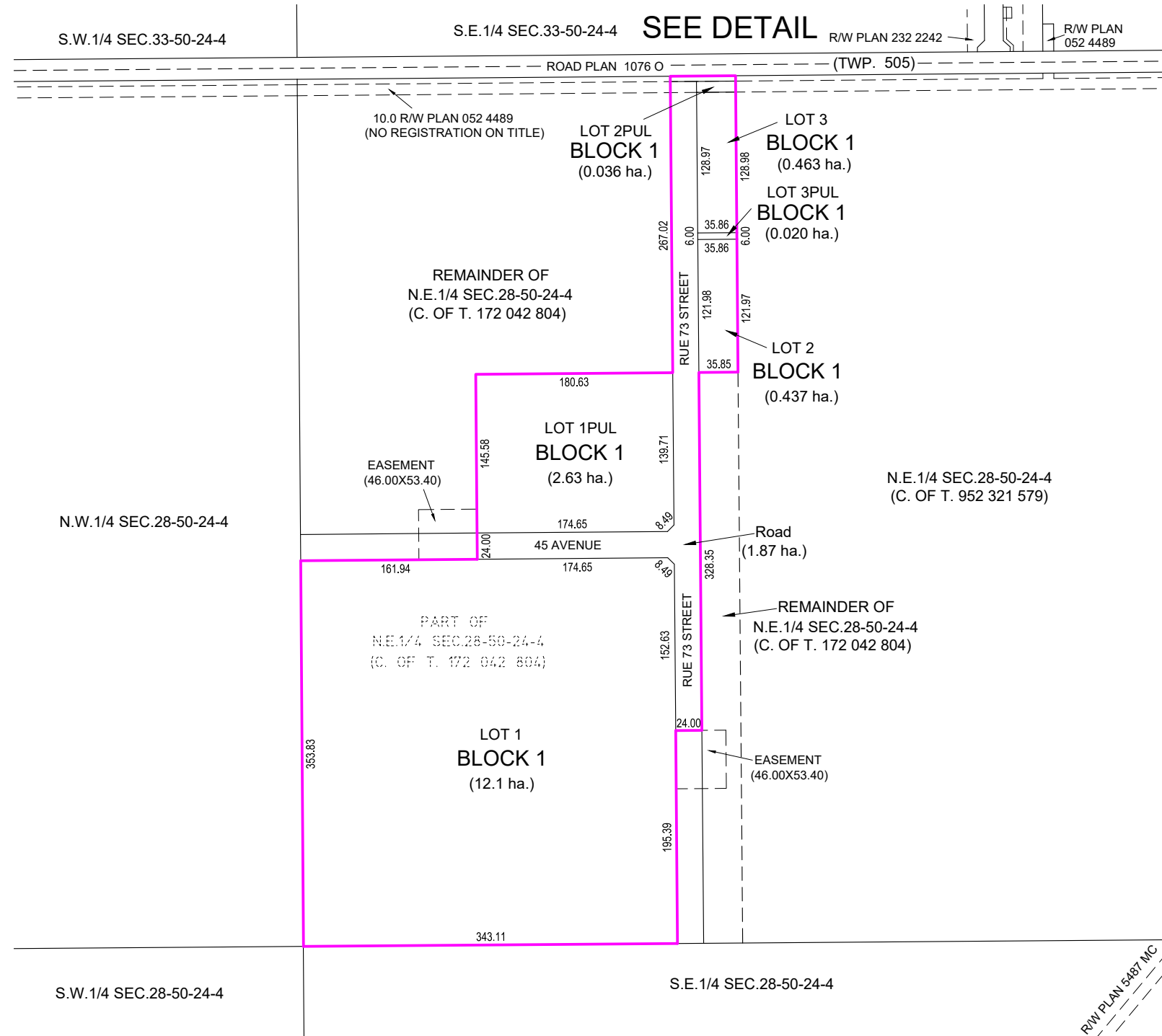


SDA-24-06 Conditionally Approved by
Kendra Raymond, RPP, MCIP, Subdivision
Authority on June 6, 2024

SDA-24-06 expires on June 6, 2025



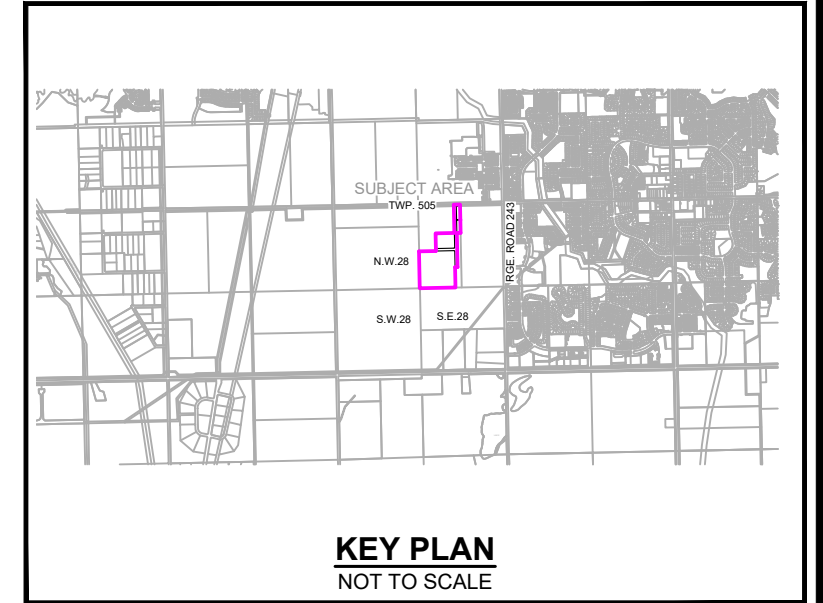
DETAIL
SCALE 1:1000



ISL ENGINEERING AND LAND SERVICE

NOTES:

- ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
- ALL INFORMATION SHOWN ON THIS PLAN IS BOTH TENTATIVE AND PRELIMINARY, AND SUBJECT TO CHANGE BY THE 'PLAN OF SURVEY'.
- THE BOUNDARY SHOWN, EVEN IF ANNOTATED, IS SUBJECT TO CHANGE BY THE 'PLAN OF SURVEY'.
- THE ZONING OF THIS SUBJECT AREA IS AGRICULTURAL (A)
- PLAN TO BE SUBDIVIDED SHOWN OUTLINED THUS: AND CONTAINS: 17.6 ha.

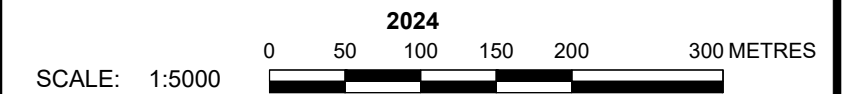


REV. NO.	DATE	ITEM	BY
1	MAY 15, 2024	REVISED PLAN	SZ
0	FEB. 13, 2024	ORIGINAL PLAN COMPLETED	SZ

REVISIONS

TENTATIVE PLAN SHOWING PROPOSED
SUBDIVISION
OF PART OF
N.E. 1/4 SEC.28-TWP.50-RGE.24-W.4th MER.
(C. OF T. 172 042 804)

ALL WITHIN THE
N.E. 1/4 SEC.28-TWP.50-RGE.24-W.4th MER.
BEAUMONT - ALBERTA



Pals Geomatics Corp. Phone: (780) 455 - 3177 Fax: (780) 451 - 2047
Email: edmonton@palsgeomatics.com
10704-176 Street NW, Edmonton, Alberta T5S 1G7

FILE NO.	123013800T	DRAFTED BY:	SZ	CHECKED BY:	JB
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