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## Development Permit Notice of Decision

Date of Decision: May 30, 2023

Attn: Tracy Froland  
Arc Studio  
12634 Stony Plain road NW  
Edmonton, AB T5N 3N7

**Proposed Development:** Commercial: *Self Storage - Light Industrial*  
**Legal Description:** Plan 782 1085, Block 1, Lot TBD  
**Municipal Address:** TBD, Beaumont, AB  
**Land Use District:** Commercial  
**Permit Application No:** 2022-737  
**Tax Roll:** 050034

**Development Permit Status:** Approved with conditions

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### Development Permit Conditions

The development noted above is considered a Discretionary Use within the Commercial District, and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

1. **As this permit has been issued for a discretionary use, this permit shall not come into force and effect until the appeal period has expired.**
2. The site shall be developed in accordance with the attached plans issued for development permit dated May 30, 2023 with the exceptions and conditions as noted herein. **Any changes to the attached plans require prior written notice and be approved by the Development Authority.**
3. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
4. Landscaping shall be provided as shown on the attached approved plans. Hard landscaping shall be contiguous and seamlessly integrated with the public sidewalk with no grade adjustments.
5. Lighting for the building shall be provided as shown on the attached approved plans. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.
6. That the Applicant shall enter into and abide by a Development Agreement with the City of Beaumont pursuant to section 650 of the Municipal Government Act prior to the commencement of any work on the site. The Development Agreement shall be in a form satisfactory to the City and shall include but not limited to the following:
  - a. that the Applicant shall provide security in a form satisfactory to the City for all obligations under the Development Agreement, including but not limited to, pre-grading, civil works on public property, and hard and soft landscaping on private property.

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7. The Applicant shall provide the development authority with **AutoCAD drawings and a plan of survey** to the satisfaction of the development authority with the building permit application.
8. The owner/applicant shall obtain all Federal, Provincial and local permits as they apply to this project.  
**Failure to comply with any of the preceding conditions will render this permit null and void.**

### Additional Information

1. **Prior To Any Work Commencing on the Site:**

*Construction Permit and Letter of Credit*

A Letter of Credit in the amount of 100% of the construction costs for landscaping shall be provided prior to building permit issuance, with such costs to include hard landscaping features such as brick pavers, shale, concrete curbing, sidewalks, patios, paved approaches including culvert and rip rap, fencing and painted lines for parking stalls.

50% of the landscaping security shall be released after planting and the remaining balance to be released once an inspection of the site has demonstrated to the satisfaction of the Development Authority that the landscaping has been well maintained and is in healthy condition two growing seasons after the issuance of the Construction Completion Certification.

**Prior to any construction** commencing on the site, a Construction Permit and a Letter of Credit equal to 25% of the construction costs shall be submitted to the City of Beaumont for the following:

- a. any pre-grading of the site including stripping, grubbing, etc.
- b. the cost of work to be undertaken on municipal property, including but not limited to underground servicing and access.

The above noted securities will be returned upon completion, with no deficiencies as confirmed by Engineering and upon completion and receipt of as-built record drawings.

Prior to securing the Letters of Credit for this project, the Applicant shall provide cost estimates for approval by the Manager, Engineering & Environment.

The Letter of Credit shall have an initial term of one (1) year, shall be renewed by the owner 30 days prior to expiry, and shall:

- c. contain an automatic renewal clause; and
  - d. allow for partial draws by the City of Beaumont.
2. The Applicant shall maintain comprehensive liability insurance in the amount of \$5 million as it relates to this project, for the duration of both phases of the project. A copy of the Certificate of Insurance must be provided, and Beaumont shall be named on same.

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3. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
4. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the *Alberta Safety Codes Act* and any other applicable bylaws or regulations.
5. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
6. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
7. A development permit is required prior to the building being occupied on the ground floor.
8. Failure to keep the sites clean of debris is an offence under Our Zoning Blueprint. The Peace Officers may issue offence tickets to any person who has committed or is committing an offence respecting this infraction and may be subject to the following penalties:
  - a. First Offence – a written warning or a stop work order shall be issued, and a bin will be required onsite;
  - b. Second Offence (on same lot) – a minimum fine of \$1,000.00 and a stop work order shall be issued;
  - c. Third (and Subsequent) offence(s) (on same lot) – a minimum fine of \$5,000.00 and a stop work order shall be issued.
9. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.
10. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.
11. The owner shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.
12. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to

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waterandwastewater@beaumont.ab.ca. This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.

13. The owner shall be responsible for any engineering and legal costs incurred by the City related to this project.
14. Separate sign permit applications will be required for any on-site signage.
15. It is the responsibility of the Applicant to ensure they have reviewed and understand all Instruments registered against the Title of the subject property. This includes all easements, caveats, and restrictive covenants. The City shall not address, nor enforce, any Instruments of which we have no interest in and/or are not a party to.

### **Permit Notification Information**

In accordance with the City of Beaumont Land Use Bylaw 944-19, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

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### **Appeal Information**

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

<b>Notice of Decision:</b>	May 30, 2023
<b>Appeal deadline:</b>	June 19, 2023
<b>Permit active</b> (if no appeals filed):	June 20, 2023



City of Beaumont  
5600 - 49 Street  
Beaumont, Alberta T4X 1A1  
Phone: (780) 929-8782  
Fax: (780) 929-3300  
Email: [development@beaumont.ab.ca](mailto:development@beaumont.ab.ca)

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To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at [legislative@beaumont.ab.ca](mailto:legislative@beaumont.ab.ca). Appeals must be filed no later than 4:30 p.m. on the date indicated above.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:

Sara Boulos  
Development Planner  
780-340-1784  
[Sara.boulos@beaumont.ab.ca](mailto:Sara.boulos@beaumont.ab.ca)

# LE REVE DEVELOPMENT PARCEL 4 - SELF-STORAGE

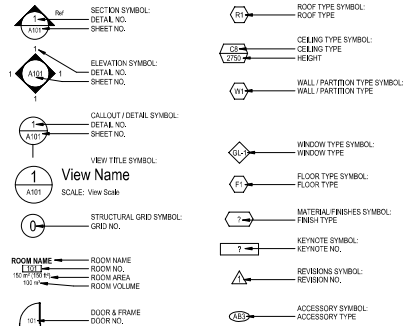
50 STREET & TOWNSHIP ROAD 510  
BEAUMONT NORTH, AB



### GENERAL NOTES:

- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL BUILDING CODE - 2015 ALBERTA EDITION, THE ALBERTA FIRE CODE 2014, THE OCCUPATIONAL HEALTH & SAFETY ACT, AND ANY OTHER AUTHORITIES HAVING JURISDICTION.
- THESE DRAWINGS & SPECIFICATIONS SHALL BE READ IN CONJUNCTION WITH THE NOTES ON THE DRAWINGS. ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH DRAWINGS BY MECHANICAL, ELECTRICAL AND STRUCTURAL ENGINEERING CONSULTANTS.
- REPORT ALL DISCREPANCIES BETWEEN MECHANICAL, ELECTRICAL, STRUCTURAL AND THE ARCHITECTS DRAWINGS TO THE OWNER PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING AND NEW CONDITIONS AND REPORT ALL NON-COMPLIANCE TO THE OWNER PRIOR TO CONSTRUCTION.
- ALL SUBCONTRACTORS MUST FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING THEIR QUOTATION, AND OTHERWISE OBTAIN FOR THEMSELVES ANY INFORMATION REQUIRED TO SUBMIT A FIRM QUOTATION.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE TO REGULATE AND ENFORCE LOCAL FIRE CODES AND BUILDING CODES AS SET FORTH BY LOCAL JURISDICTIONS FOR THE DURATION OF CONSTRUCTION.
- ALL ARCHITECTURAL COMPONENTS WILL BE ENGINEERED AND INSTALLED BY THE RESPECTIVE SUPPLIERS & TRADES SO AS TO CONFORM WITH REQUIRED ANCHORAGE AND SEISMIC RESTRAINT AS PER ALL LOCAL CODES.
- VERTICAL FACE OF HOUSEKEEPING PAD TO BE PAINTED YELLOW.
- ALL DIMENSIONS TO THE CENTRE OF STUD UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
- MAINTAIN DISTANCE OF 150mm FROM DOOR R/L TO THE WALL PERPENDICULAR TO DOOR OPENING FOR ALL INTERIOR DOORS.

### DRAWING SYMBOLS LEGEND:



THIS DRAWING MUST NOT BE SCALED.

THE CONTRACTOR SHALL VERIFY ALL LEVELS, DATUMS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL NON-COMPLIANCE MUST BE REPORTED TO RIDDELL KURCZABA ARCHITECTURE ENGINEERING INTERIOR DESIGN LTD. IMMEDIATELY.

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NO.	DATE	ISSUED FOR	BY
1	2022-02-11	ISSUED FOR DEVELOPMENT PERMIT	TD

NO.	DATE	ISSUED FOR	BY
1	2022-02-11	ISSUED FOR DEVELOPMENT PERMIT	TD

DEVELOPMENT PERMIT NO.	BUILDING PERMIT NO.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



CONNECT CREATE STAND-OUT



LE REVE STORAGE BUILDING

BEAUMONT, ALBERTA

COVER SHEET

PROJECT NO.	REVISION NO.
21-5102	1

DRAWN BY	REVIEWED BY	SCALE
YD	TF	As indicated

**DP-0.00**

DEVELOPMENT PERMIT



300 - 10520 JASPER AVENUE  
EDMONTON, ALBERTA, T5J 1Z7  
780.757.6600



#206, 10441 124 STREET  
EDMONTON, ALBERTA, T5N 1R7  
780.757.2412



#1700, 10130 - 103 STREET NW  
EDMONTON, ALBERTA, T5J 3N9  
780.293.7373

### ARCHITECTURAL:

SHEET NO.	SHEET NAME:
DP-0.00	COVER SHEET
DP-1.00	SITE PLAN
DP-1.02	SITE DETAILS
DP-2.00	MAIN FLOOR PLAN
DP-2.01	2ND FLOOR PLAN
DP-2.02	3RD FLOOR PLAN
DP-2.03	4TH FLOOR PLAN
DP-2.04	ROOF PLAN
DP-4.00	NORTH & EAST BUILDING ELEVATIONS
DP-4.01	SOUTH & WEST BUILDING ELEVATIONS
DP-4.02	PARTIAL BUILDING ELEVATIONS
DP-5.00	BUILDING SECTIONS
DP-6.01	BUILDING SECTIONS

SHEET NO.	SHEET NAME:
ET-0	ELECTRICAL SITE PLAN

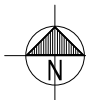
SHEET NO.	SHEET NAME:
L001	LANDSCAPE PLAN
L002	DETAILS











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NO.	DATE	ISSUED FOR	BY
1	2022-02-11	ISSUED FOR DEVELOPMENT PERMIT	TD
2	2023-05-30	APPROVED FOR DEVELOPMENT PERMIT	TD

DEVELOPMENT PERMIT NO. BUILDING PERMIT NO.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



CONNECT CREATE STAND-OUT



LE REVE STORAGE BUILDING

BEAUMONT, ALBERTA

2ND FLOOR PLAN

PROJECT NO. 21-5102 PROJECT NO. 1

DRAWN BY TD REVISIONS BY TF SCALE 1:100

**DP-2.01**

DEVELOPMENT PERMIT

**LOCKERS COUNT PER FLOOR**

LOCKER SIZE	Count	Area (SQM)	Area (SQFT)
<b>Level 1</b>			
5' x 5'	16	34 m <sup>2</sup>	367 ft <sup>2</sup>
5' x 10'	9	35 m <sup>2</sup>	377 ft <sup>2</sup>
10' x 10'	9	90 m <sup>2</sup>	969 ft <sup>2</sup>
10' x 15'	9	135 m <sup>2</sup>	1,450 ft <sup>2</sup>
10' x 20'	27	456 m <sup>2</sup>	4,929 ft <sup>2</sup>
10' x 25'	4	90 m <sup>2</sup>	967 ft <sup>2</sup>
<b>Grand Total</b>	<b>73</b>	<b>842 m<sup>2</sup></b>	<b>9,064 ft<sup>2</sup></b>

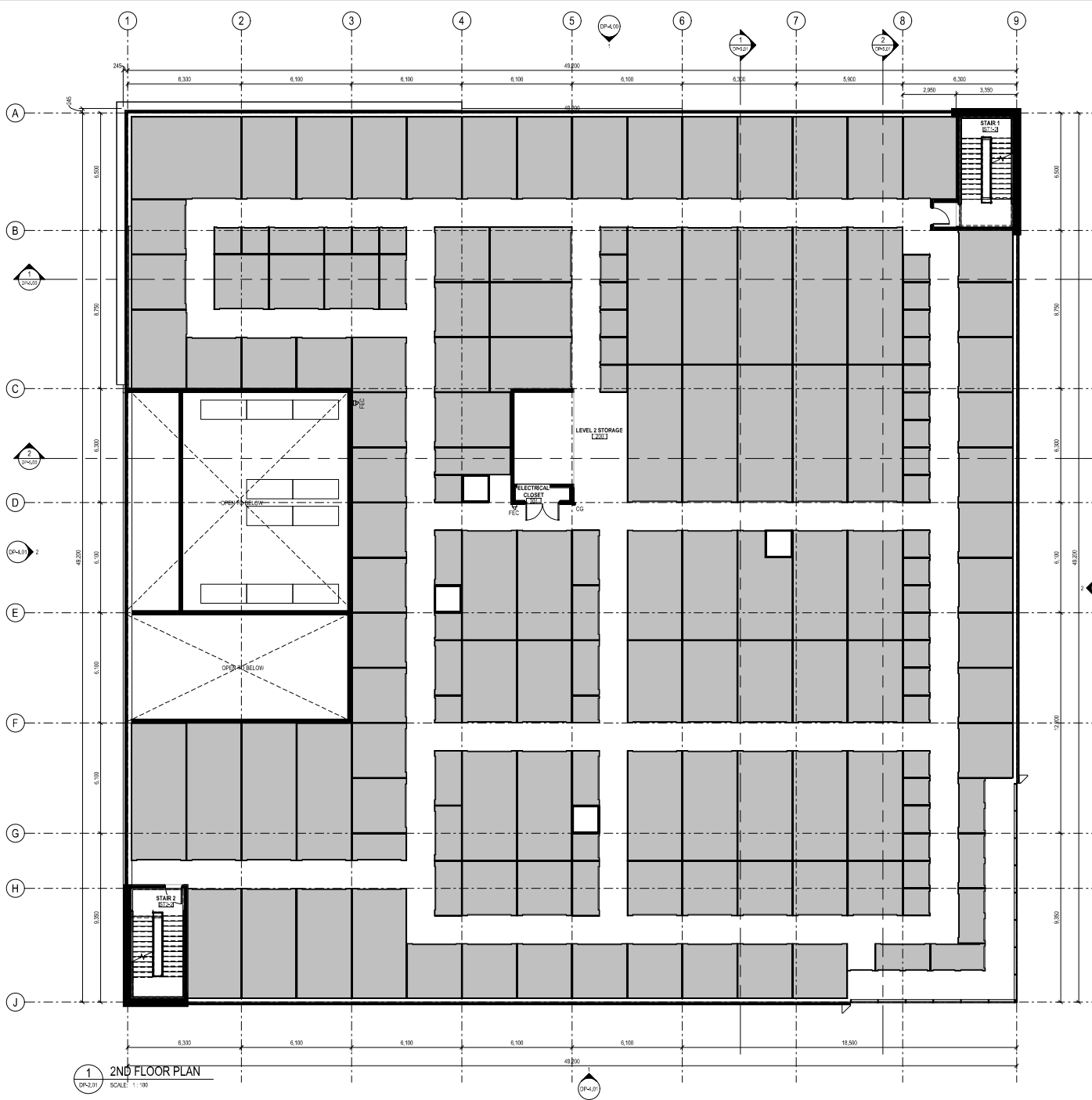
<b>Level 2</b>			
5' x 5'	38	90 m <sup>2</sup>	969 ft <sup>2</sup>
5' x 10'	18	78 m <sup>2</sup>	838 ft <sup>2</sup>
5' x 14'	1	8 m <sup>2</sup>	85 ft <sup>2</sup>
10' x 10'	45	396 m <sup>2</sup>	4,255 ft <sup>2</sup>
10' x 14'	1	12 m <sup>2</sup>	131 ft <sup>2</sup>
10' x 15'	24	320 m <sup>2</sup>	3,444 ft <sup>2</sup>
10' x 20'	18	300 m <sup>2</sup>	3,245 ft <sup>2</sup>
10' x 25'	14	314 m <sup>2</sup>	3,385 ft <sup>2</sup>
10' x 20'	1	27 m <sup>2</sup>	290 ft <sup>2</sup>
<b>Grand Total</b>	<b>160</b>	<b>1554 m<sup>2</sup></b>	<b>16,724 ft<sup>2</sup></b>

<b>Level 3</b>			
5' x 5'	37	78 m <sup>2</sup>	837 ft <sup>2</sup>
5' x 10'	16	69 m <sup>2</sup>	740 ft <sup>2</sup>
5' x 14'	1	8 m <sup>2</sup>	85 ft <sup>2</sup>
10' x 10'	39	345 m <sup>2</sup>	3,710 ft <sup>2</sup>
10' x 14'	1	12 m <sup>2</sup>	131 ft <sup>2</sup>
10' x 15'	48	642 m <sup>2</sup>	6,938 ft <sup>2</sup>
10' x 20'	19	288 m <sup>2</sup>	3,087 ft <sup>2</sup>
10' x 25'	10	225 m <sup>2</sup>	2,418 ft <sup>2</sup>
<b>Grand Total</b>	<b>171</b>	<b>1714 m<sup>2</sup></b>	<b>18,453 ft<sup>2</sup></b>

**LOCKERS COUNT PER TYPE**

LOCKER SIZE	Count	Area (SQM)	Area (SQFT)
5' x 5'	131	275 m <sup>2</sup>	2,955 ft <sup>2</sup>
5' x 10'	159	698 m <sup>2</sup>	7,483 ft <sup>2</sup>
5' x 14'	2	12 m <sup>2</sup>	131 ft <sup>2</sup>
10' x 10'	128	1,160 m <sup>2</sup>	12,547 ft <sup>2</sup>
10' x 14'	3	37 m <sup>2</sup>	401 ft <sup>2</sup>
10' x 15'	127	1,687 m <sup>2</sup>	18,239 ft <sup>2</sup>
10' x 20'	61	1,267 m <sup>2</sup>	13,689 ft <sup>2</sup>
10' x 25'	28	629 m <sup>2</sup>	6,776 ft <sup>2</sup>
10' x 20'	1	27 m <sup>2</sup>	292 ft <sup>2</sup>
<b>Grand Total</b>	<b>688</b>	<b>5,741 m<sup>2</sup></b>	<b>61,734 ft<sup>2</sup></b>

Approved May 30, 2023  
Development Planner



1 2ND FLOOR PLAN  
SCALE: 1:100



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NO.	DATE	ISSUED FOR	BY
1	2022-02-11	REQUEST FOR DEVELOPMENT PERMIT	TD
2	2022-02-11	REQUEST FOR PERMIT	TD

DEVELOPMENT PERMIT NO. BUILDING PERMIT NO.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**riddell kurczaba**  
 architecture engineering interior design ltd.  
 300 - 1025 Jasper Avenue • Edmonton, Alberta, Canada T5J 1Z7  
 TEL: 780.750.6868 | WWW.RKAD.COM

CONNECT CREATE STAND-OUT

**REDCO**  
 group of companies

LE REVE STORAGE BUILDING

BEAUMONT, ALBERTA

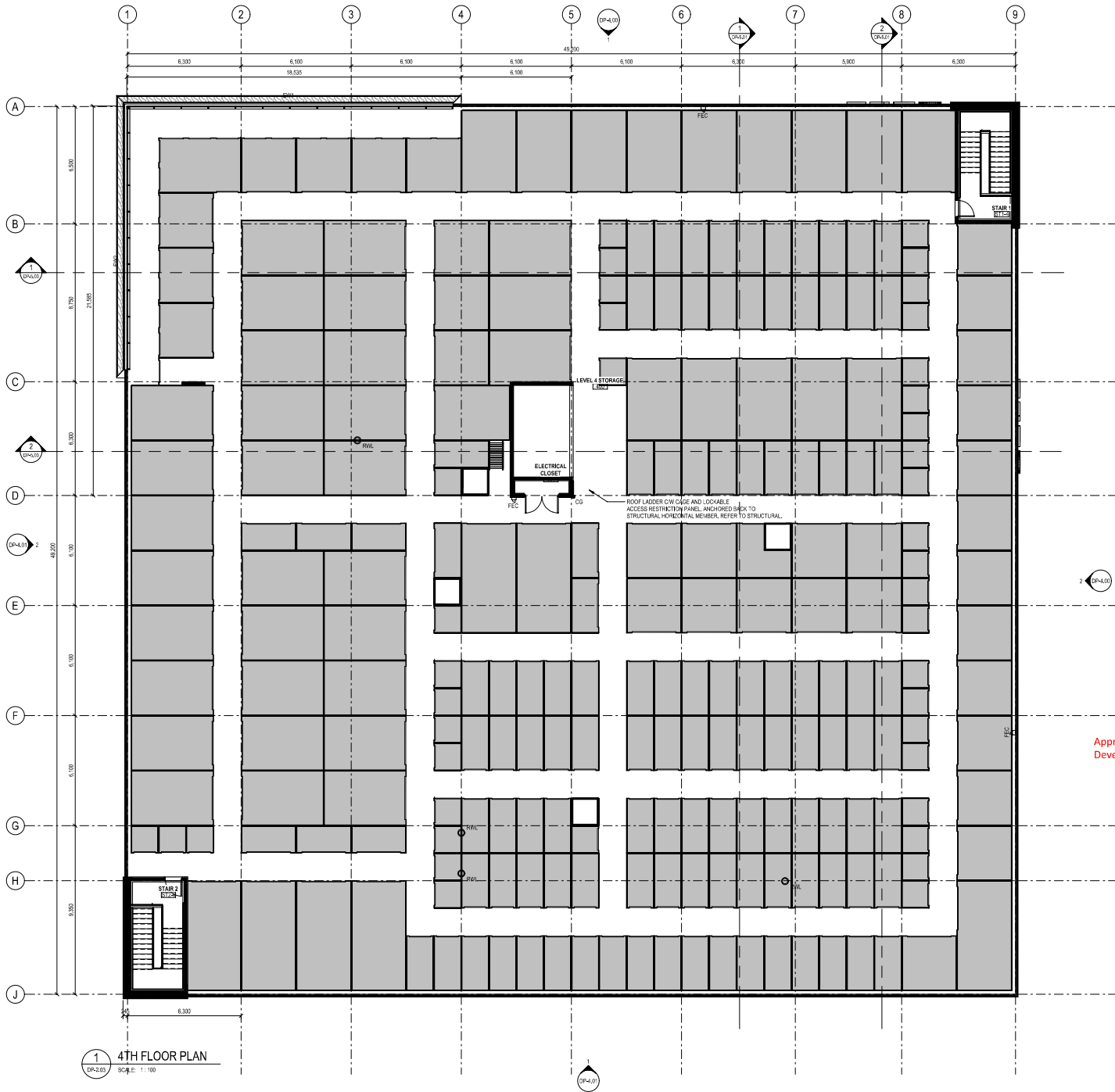
4TH FLOOR PLAN

PROJECT NO. 21-5102 PROJECT NO. 1

DRAWN BY TD REVIEWED BY TF SCALE 1:100

**DP-2.03**

2023-03-15 17:18 PM  
 C:\Users\tdm\Documents\21-5102\_DP-2.03\_4thFloor\_23rptg\_rmk\_LTD.rvt



**LOCKERS COUNT PER FLOOR**

LOCKER SIZE	Count	Area (SQM)	Area (SQFT)
<b>Level 1</b>			
5' x 5'	16	34 m <sup>2</sup>	367 ft <sup>2</sup>
5' x 10'	9	30 m <sup>2</sup>	327 ft <sup>2</sup>
10' x 10'	9	90 m <sup>2</sup>	971 ft <sup>2</sup>
10' x 15'	9	135 m <sup>2</sup>	1,457 ft <sup>2</sup>
10' x 20'	27	450 m <sup>2</sup>	4,854 ft <sup>2</sup>
10' x 25'	4	90 m <sup>2</sup>	971 ft <sup>2</sup>
<b>Grand total</b>	<b>73</b>	<b>842 m<sup>2</sup></b>	<b>9,064 ft<sup>2</sup></b>

<b>Level 2</b>			
5' x 5'	38	90 m <sup>2</sup>	969 ft <sup>2</sup>
5' x 10'	18	78 m <sup>2</sup>	838 ft <sup>2</sup>
5' x 14'	1	8 m <sup>2</sup>	85 ft <sup>2</sup>
10' x 10'	45	396 m <sup>2</sup>	4,255 ft <sup>2</sup>
10' x 14'	1	12 m <sup>2</sup>	131 ft <sup>2</sup>
10' x 15'	24	300 m <sup>2</sup>	3,244 ft <sup>2</sup>
10' x 20'	18	300 m <sup>2</sup>	3,244 ft <sup>2</sup>
10' x 25'	14	354 m <sup>2</sup>	3,785 ft <sup>2</sup>
10' x 20'	1	27 m <sup>2</sup>	291 ft <sup>2</sup>
<b>Grand total</b>	<b>160</b>	<b>1554 m<sup>2</sup></b>	<b>16,724 ft<sup>2</sup></b>

<b>Level 3</b>			
5' x 5'	37	78 m <sup>2</sup>	837 ft <sup>2</sup>
5' x 10'	16	69 m <sup>2</sup>	743 ft <sup>2</sup>
5' x 14'	1	8 m <sup>2</sup>	85 ft <sup>2</sup>
10' x 10'	39	342 m <sup>2</sup>	3,710 ft <sup>2</sup>
10' x 14'	1	12 m <sup>2</sup>	131 ft <sup>2</sup>
10' x 15'	48	642 m <sup>2</sup>	6,938 ft <sup>2</sup>
10' x 20'	19	288 m <sup>2</sup>	3,087 ft <sup>2</sup>
10' x 25'	10	225 m <sup>2</sup>	2,418 ft <sup>2</sup>
<b>Grand total</b>	<b>171</b>	<b>1714 m<sup>2</sup></b>	<b>18,453 ft<sup>2</sup></b>

<b>Level 4</b>			
5' x 5'	40	84 m <sup>2</sup>	905 ft <sup>2</sup>
5' x 10'	117	505 m <sup>2</sup>	5,433 ft <sup>2</sup>
10' x 10'	33	289 m <sup>2</sup>	3,115 ft <sup>2</sup>
10' x 14'	1	12 m <sup>2</sup>	131 ft <sup>2</sup>
10' x 15'	48	615 m <sup>2</sup>	6,620 ft <sup>2</sup>
10' x 20'	7	105 m <sup>2</sup>	1,131 ft <sup>2</sup>
10' x 25'	244	933 m <sup>2</sup>	10,038 ft <sup>2</sup>
<b>Grand total</b>	<b>648</b>	<b>3741 m<sup>2</sup></b>	<b>40,174 ft<sup>2</sup></b>

**LOCKERS COUNT PER TYPE**

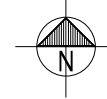
LOCKER SIZE	Count	Area (SQM)	Area (SQFT)
5' x 5'	131	275 m <sup>2</sup>	2,955 ft <sup>2</sup>
5' x 10'	159	698 m <sup>2</sup>	7,483 ft <sup>2</sup>
5' x 14'	2	12 m <sup>2</sup>	131 ft <sup>2</sup>
10' x 10'	138	1189 m <sup>2</sup>	12,847 ft <sup>2</sup>
10' x 14'	3	37 m <sup>2</sup>	401 ft <sup>2</sup>
10' x 15'	127	1687 m <sup>2</sup>	18,289 ft <sup>2</sup>
10' x 20'	41	547 m <sup>2</sup>	5,889 ft <sup>2</sup>
10' x 25'	28	629 m <sup>2</sup>	6,770 ft <sup>2</sup>
10' x 20'	1	27 m <sup>2</sup>	291 ft <sup>2</sup>
<b>Grand total</b>	<b>648</b>	<b>3741 m<sup>2</sup></b>	<b>40,174 ft<sup>2</sup></b>

Approved May 30, 2023  
 Development Planner

*[Signature]*

**1 4TH FLOOR PLAN**  
 SCALE: 1:100

**DEVELOPMENT PERMIT**



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1	2022-02-11	REQUEST FOR DEVELOPMENT PERMIT	YD
2	2023-05-30	DEVELOPMENT PERMIT	YD

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CONNECT CREATE STAND-OUT



LE REVE STORAGE BUILDING

BEAUMONT, ALBERTA

ROOF PLAN

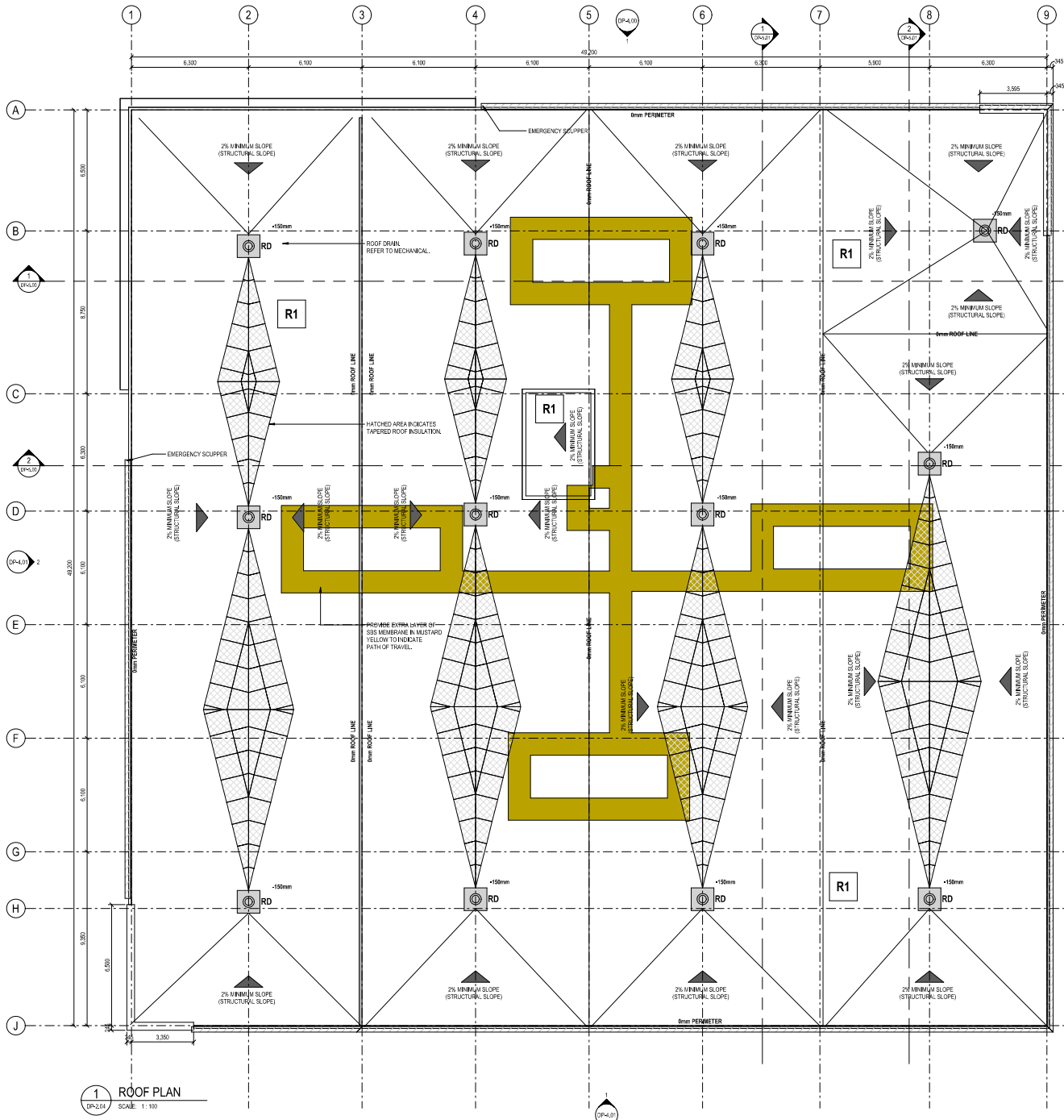
PROJECT NO. 21-5102 PROJECT NO. 1

DRAWN BY YD REVISION BY TF SCALE 1:100

**DP-2.04**

DEVELOPMENT PERMIT

Approved May 30, 2023  
Development Planner



**1 ROOF PLAN**  
SCALE: 1:100

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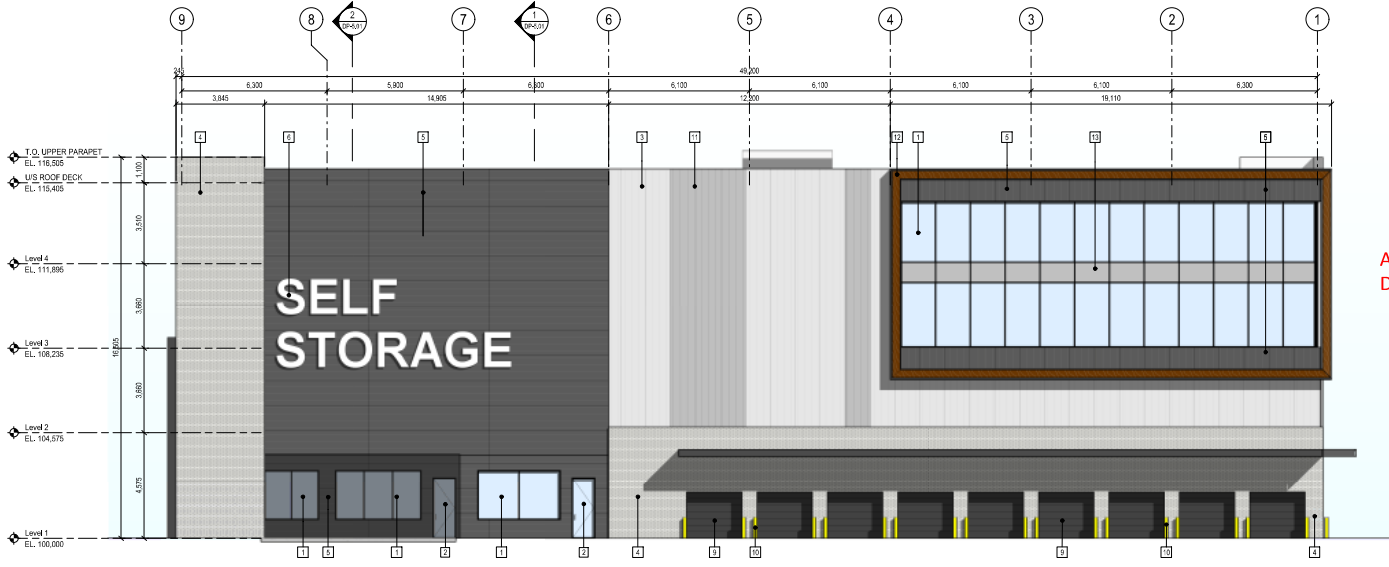
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Approved May 30, 2023  
Development Planner



1 NORTH ELEVATION  
SCALE: 1 : 100

GLAZING RATIO		
TYPE	AREA	PERCENTAGE
EAST ELEVATION		
NON-GLAZED	68.43 m <sup>2</sup>	90%
GLAZED	76.18 m <sup>2</sup>	90%
NORTH ELEVATION		
NON-GLAZED	679.35 m <sup>2</sup>	84%
GLAZED	126.34 m <sup>2</sup>	90%
SOUTH ELEVATION		
NON-GLAZED	751.83 m <sup>2</sup>	84%
GLAZED	42.83 m <sup>2</sup>	8%
WEST ELEVATION		
NON-GLAZED	692.64 m <sup>2</sup>	90%
GLAZED	79.87 m <sup>2</sup>	90%
TOTAL		
NON-GLAZED	2121 m <sup>2</sup>	
GLAZED	227 m <sup>2</sup>	



2 EAST ELEVATION  
SCALE: 1 : 100

- MATERIALS LEGEND:**
- 1 WINDOW GLAZING C/W CURTAIN WALL SYSTEM FINISHED IN ANODIZED BLACK
  - 2 ALUMINUM DOOR - GLAZED FINISHED IN ANODIZED BLACK
  - 3 INSULATED METAL PANEL LIGHT GREY
  - 4 MASONRY BRICK W/ 30% INTERSTATE, ARCTIC WHITE RUNNING BOND W/ 30% INTERSTATE - ASH, RANDOM INSTALLATION
  - 5 INSULATED METAL PANEL CHARCOAL
  - 6 SIGNAGE - TO BE PROVIDED BY OTHERS. GENERAL CONTRACTOR PROVIDE ROUGHIN POWER AND SCHEDING
  - 7 ALUMINUM COMPOSITE PANEL VIEWWEST ALPOLIC, CMC CHARCOAL
  - 8 HOLLOW METAL DOORS - PAINTED DARK GREY
  - 9 INSULATED SECTIONAL DOOR
  - 10 METAL BOLLARDS C/W YELLOW PAINT
  - 11 INSULATED METAL PANEL GREY
  - 12 ALUMINUM COMPOSITE PANEL VIEWWEST ALPOLIC, Q88 TEAK (INSIDE FACE AND SOFFIT)
  - 13 METAL INSULATED SPRINGBEL PANEL C/W INSULATED BACK PAN COLOUR TO MATCH CURTAIN WALL FRAME
  - 14 EMERGENCY SCULLPER

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riddell kurczaba  
architecture engineering interior design ltd.  
300 - 1075 Jasper Avenue • Edmonton, Alberta Canada T5J 1Z7  
Tel: 780.255.6868 Email: info@rkd.ca

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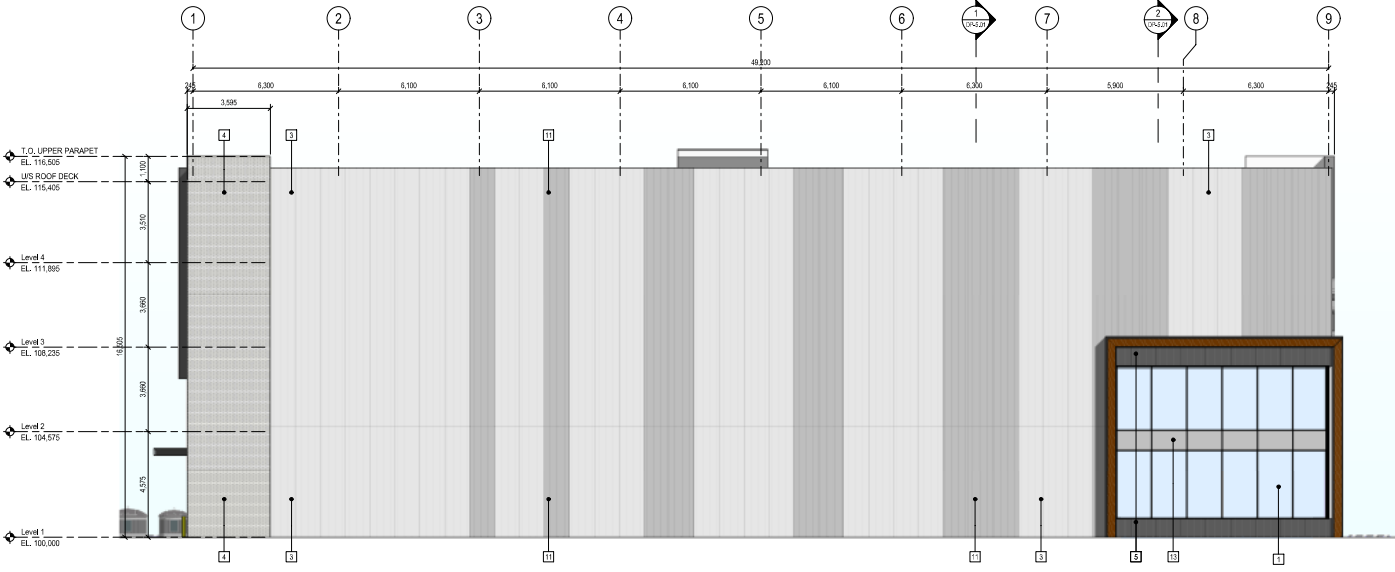
LE REVE STORAGE BUILDING

BEAUMONT, ALBERTA

NORTH & EAST BUILDING  
ELEVATIONS

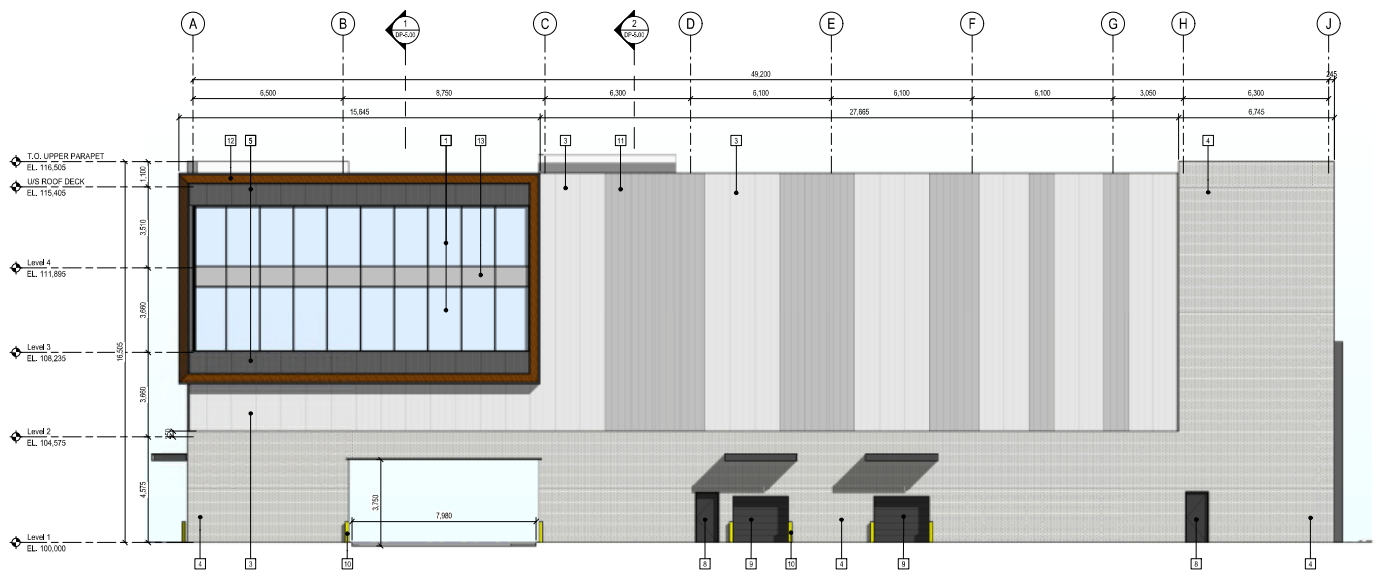
PROJECT NO. 21-5102	REVISION NO. 1
DRAWN BY YD	REVIEWED BY TF
SCALE 1 : 100	

DP-4.00



1 SOUTH ELEVATION  
DP-4.01 SCALE: 1:100

Approved May 30, 2023  
Development Planner



2 WEST ELEVATION  
DP-4.01 SCALE: 1:100

GLAZING RATIO		
TYPE	AREA	PERCENTAGE
EAST ELEVATION		
NON-GLAZED	656.43 m <sup>2</sup>	90%
GLAZED	74.61 m <sup>2</sup>	10%
NORTH ELEVATION		
NON-GLAZED	670.35 m <sup>2</sup>	84%
GLAZED	126.34 m <sup>2</sup>	16%
SOUTH ELEVATION		
NON-GLAZED	751.83 m <sup>2</sup>	94%
GLAZED	48.63 m <sup>2</sup>	6%
WEST ELEVATION		
NON-GLAZED	662.64 m <sup>2</sup>	90%
GLAZED	72.21 m <sup>2</sup>	10%

- MATERIALS LEGEND:**
- 1 WINDOW GLAZING C/W CURTAIN WALL SYSTEM FINISHED IN ANODIZED BLACK
  - 2 ALUMINUM DOOR - GLAZED FINISHED IN ANODIZED BLACK
  - 3 INSULATED METAL PANEL LIGHT GREY
  - 4 MASONRY BRICK
  - 5 MAX. INTERSTATE, ARCTIC WHITE RUNNING BOND W/ 30% INTERSTATE - ASH, RANDOM INSTALLATION
  - 6 INSULATED METAL PANEL CHARCOAL
  - 7 SIGNAGE - TO BE PROVIDED BY OTHERS GENERAL CONTRACTOR PROVIDE ROUGHIN POWER AND SCHEDING
  - 8 ALUMINUM COMPOSITE PANEL VEWEST ALPOLIC, CMC CHARCOAL
  - 9 HOLLOW METAL DOORS - PAINTED DARK GREY
  - 10 INSULATED SECTIONAL DOOR
  - 11 METAL BOLLARDS C/W YELLOW PAINT
  - 12 INSULATED METAL PANEL GREY
  - 13 ALUMINUM COMPOSITE PANEL VEWEST ALPOLIC, C88 TEAK (INSIDE FACE AND SOFFIT)
  - 14 METAL INSULATED SPANDREL PANEL C/W INSULATED BACK PAN COLOUR TO MATCH CURTAIN WALL FRAME
  - 15 EMERGENCY SCULPPER

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CONNECT CREATE STAND-OUT



LE REVE STORAGE BUILDING

BEAUMONT, ALBERTA

SOUTH & WEST BUILDING ELEVATIONS

PROJECT NO. 21-5102	PROJECT NO. 1
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SCALE 1:100	

DP-4.01

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CONNECT CREATE STAND-OUT



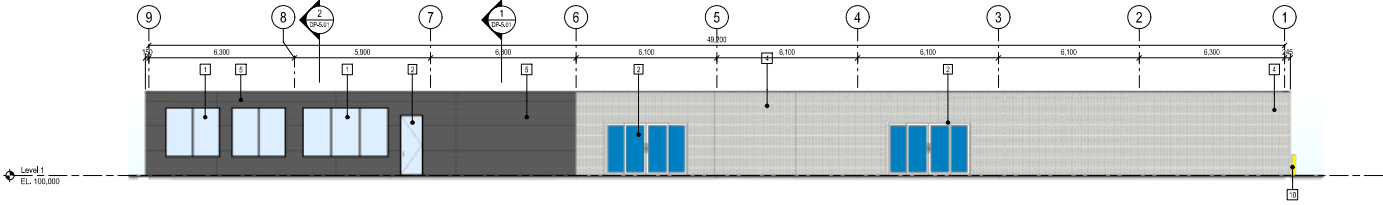
LE REVE STORAGE BUILDING  
 BEAUMONT, ALBERTA

PARTIAL BUILDING ELEVATIONS

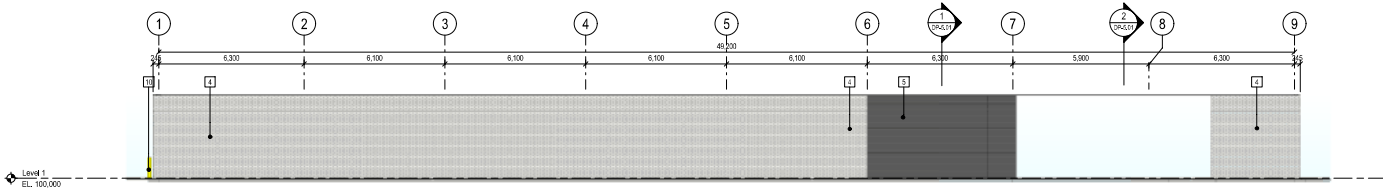
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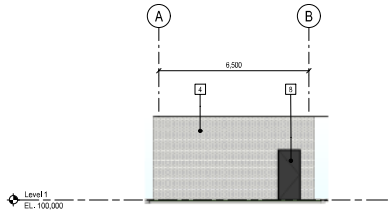
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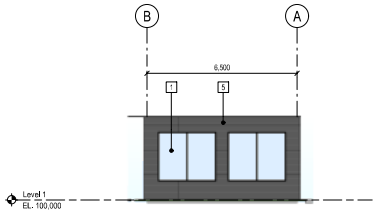
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 DP-4.02 SCALE: 1:100



**2 PARTIAL ELEVATION**  
 DP-4.02 SCALE: 1:100



**3 PARTIAL ELEVATION**  
 DP-4.02 SCALE: 1:100



**4 PARTIAL ELEVATION**  
 DP-4.02 SCALE: 1:100

Approved May 30, 2023  
 Development Planner

**MATERIALS LEGEND:**

- 1 WINDOW GLAZING C/W CURTAIN WALL SYSTEM FINISHED IN ANODIZED BLACK
- 2 ALUMINUM DOOR - GLAZED FINISHED IN ANODIZED BLACK
- 3 INSULATED METAL PANEL LIGHT GREY
- 4 MASONRY BRICK PA. INTERSTATE, ARCTIC WHITE RUNNING BOND W/3% INTERSTATE-ASH, RANDOM INSTALLATION
- 5 INSULATED METAL PANEL CHARCOAL
- 6 SIGNAGE - TO BE PROVIDED BY OTHERS GENERAL CONTRACTOR PROVIDE ROUGHEN POWER AND SCHEDING
- 7 ALUMINUM COMPOSITE PANEL VIOLEST ALPOLIC, CMC CHARCOAL
- 8 HOLLOW METAL DOORS - PAINTED DARK GREY
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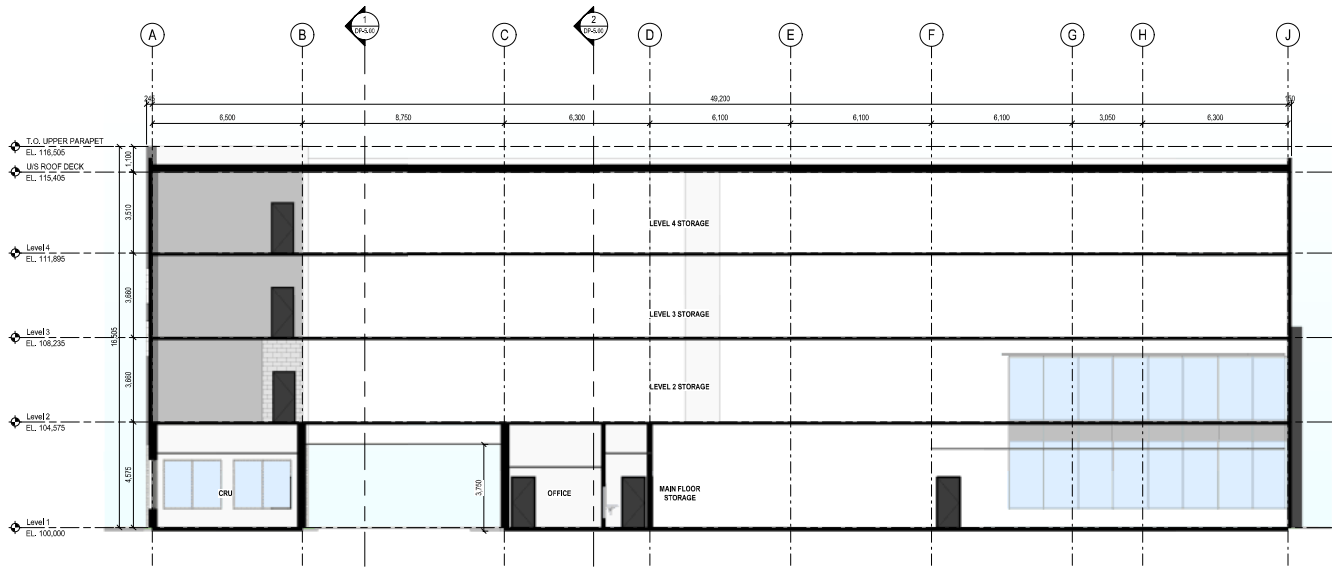
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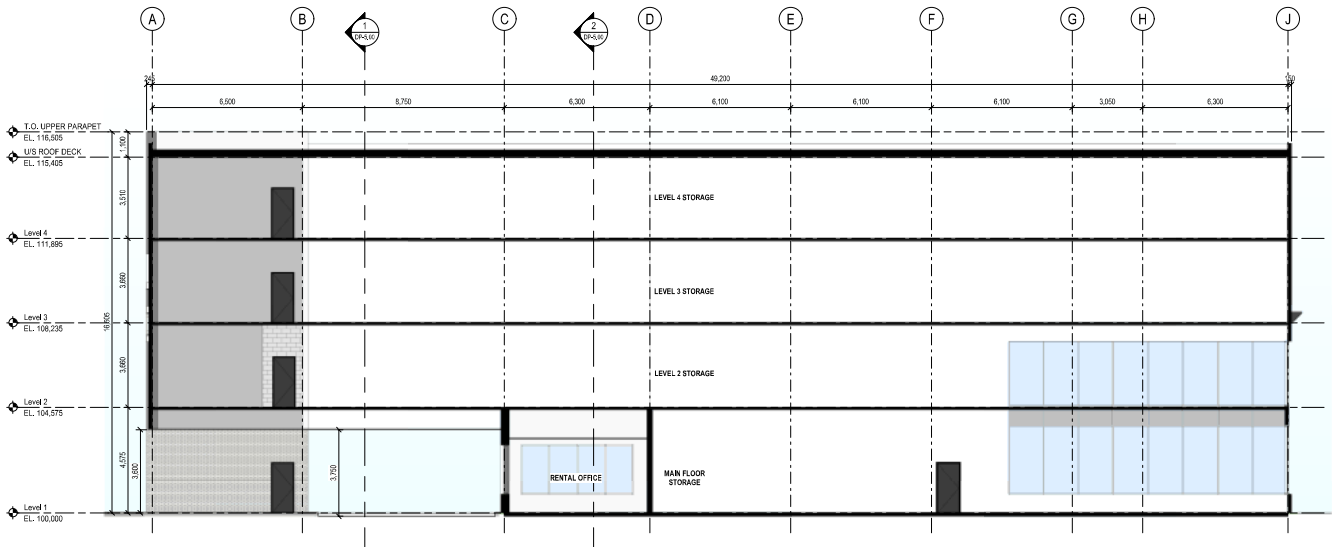
NO.	DATE	ISSUED FOR	BY
1	2022-02-11	ISSUED FOR DEVELOPMENT PERMIT	YD
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1 BUILDING SECTION  
 DP-5.01 SCALE: 1:100

Approved May 30, 2023  
 Development Planner

*[Signature]*



2 BUILDING SECTION  
 DP-5.01 SCALE: 1:100

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CONNECT CREATE STAND-OUT

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 architecture engineering interior design ltd.  
 300 - 1025 Jasper Avenue • Edmonton, Alberta, Canada T5J 1Z7  
 Tel: 780.750.6868 | Email: info@rkd.com

**REDCO**  
 group of companies

LE REVE STORAGE BUILDING

BEAUMONT, ALBERTA

BUILDING SECTIONS

PROJECT NO. 21-5102 PROJECT NO. 1

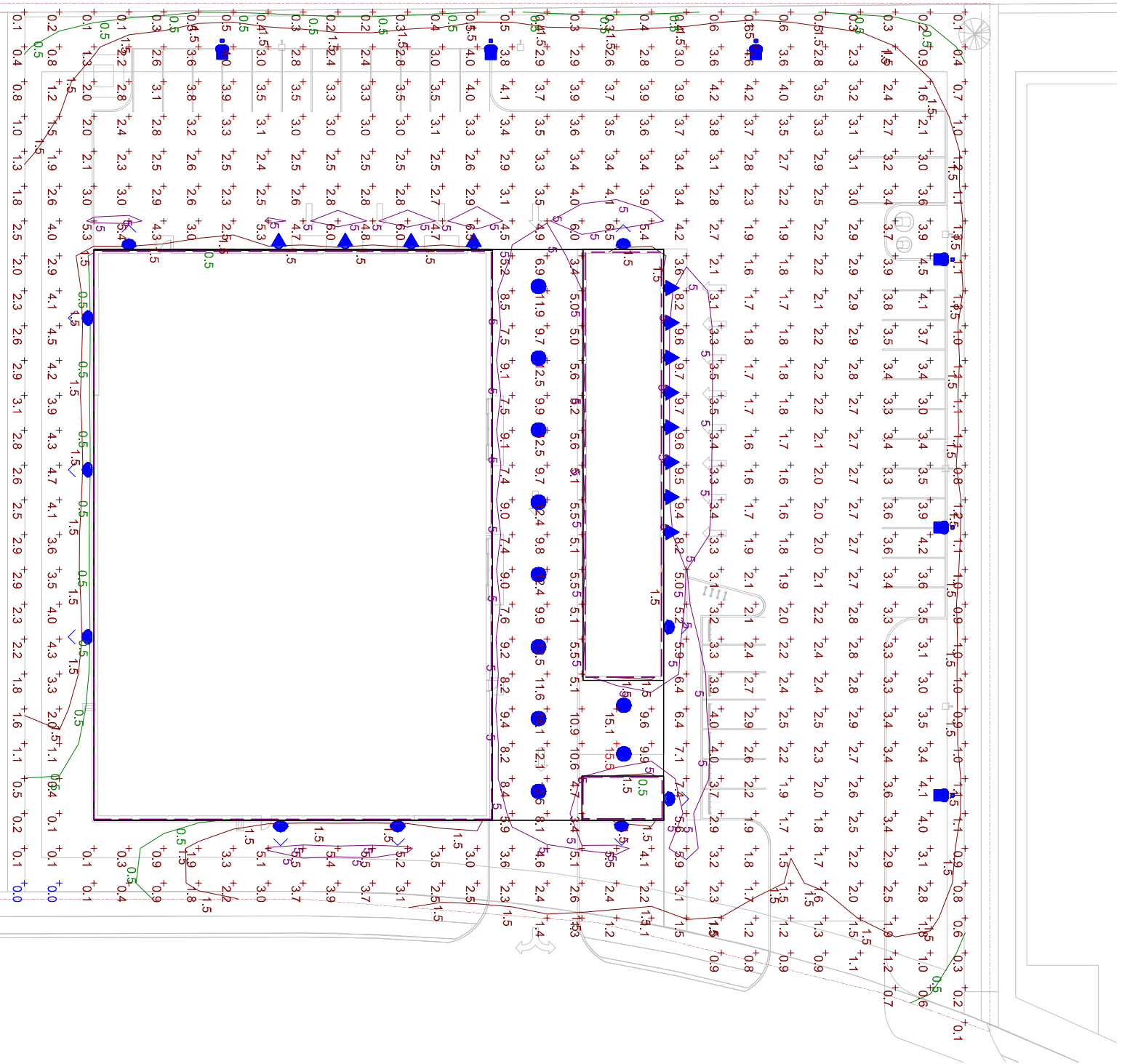
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**DP-5.01**

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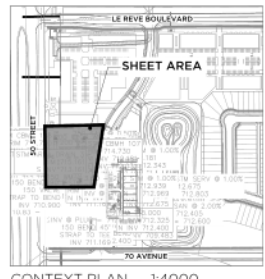
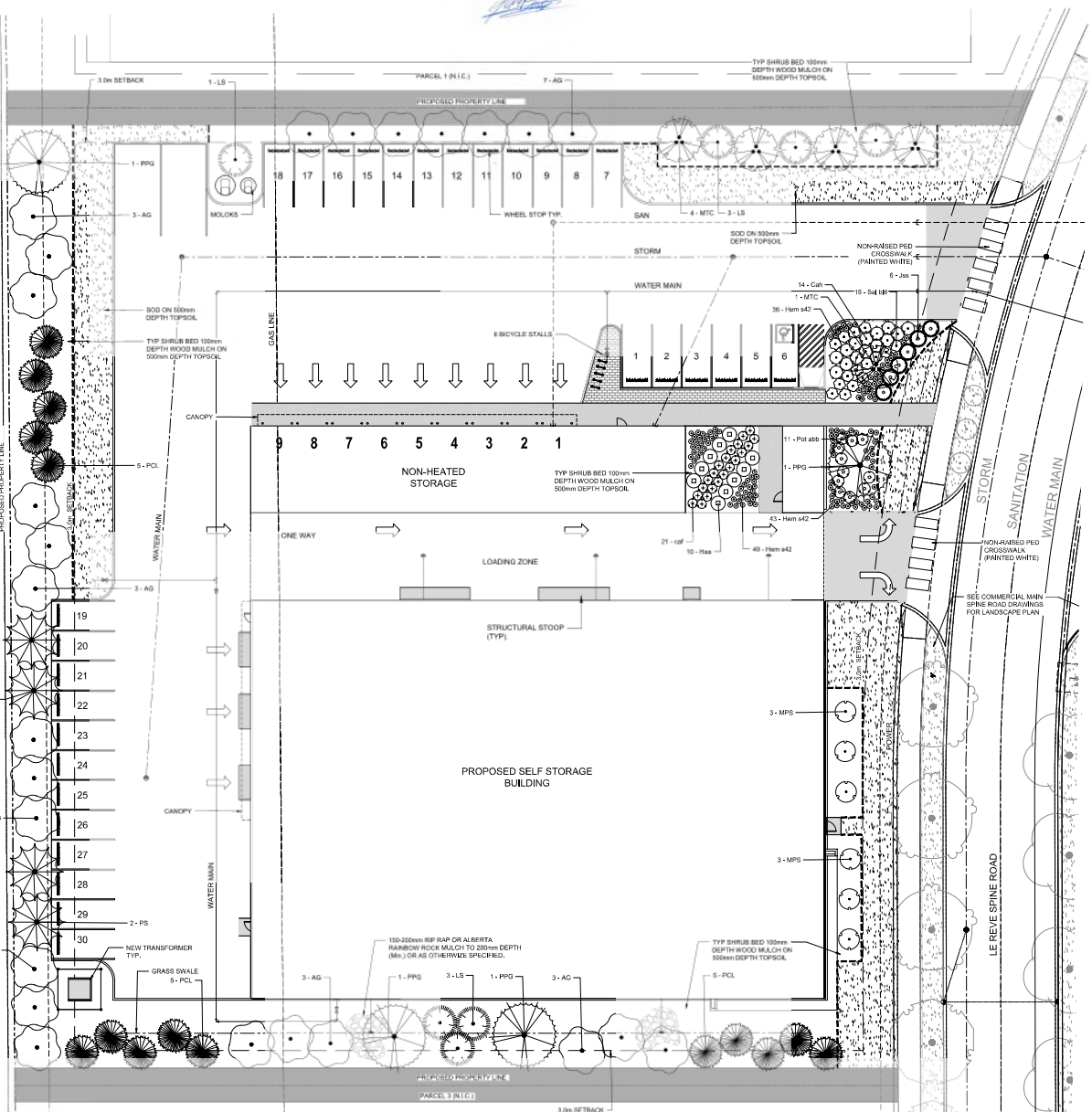


Statistics						
Description	Symbol	Avg	Max	Min	Max/Min Avg/Min	
Calc Zone #1	+	3.3 fc	15.5 fc	0.0 fc	N/A	N/A



Approved May 30, 2023  
 Development Planner

*[Handwritten Signature]*



CONTEXT PLAN - 1:4000

**TOTAL SOD AREA: 500m<sup>2</sup>**  
**TOTAL MULCH AREA: 1230m<sup>2</sup>**  
**LANDSCAPE REQUIREMENTS**

Plant Material	Required	Provided
1 Tree per 35m <sup>2</sup>	55	66
1 Shrub per 35m <sup>2</sup>	55	56

CONIFEROUS/DECIDUOUS MIX		
Plant Material	Required	Provided
Coniferous Trees	40%	35%
Deciduous Trees	60%	65%

**TREE SETBACK REQUIREMENTS**

LIGHT STANDARDS/POWER HARDWARE	3.5m
TELEPHONE FEDESTALS	1.5m
FIRE HYDRANTS	3.0m
YIELD & STOP SIGNS	3.5m
TRANSIT ZONES	3.5m
STREET CORNERS	10.5
(include trees to not obstruct sight lines)	
OTHER SIGNS	1.8m
PRIVATE PROPERTY LINES	1.0m
PLAYGROUND & SPLASH PARKS	3.0m
PLAYGROUND & SPLASH PARKS (Shrub trees)	1.0m
PLAYGROUND & SPLASH PARKS (Trees with large canopies and/or suckering root systems)	10.0m
SHALLOW UNDERGROUND UTILITIES	1.0m
GAS OR OIL ROW	CONTACT UTILITY
DEEP UNDERGROUND UTILITIES	1.5m
VALVES, WATERMETS & SIGNETTES	1.5m
OVERHEAD POWER UTILITIES	7.5m
ARTERIAL ROAD MEDIAN CURB FACE	2.0m
COLLECTOR ROAD MEDIAN CURB FACE	3.0m
LOCAL ROAD MEDIAN CURB FACE	1.5m
ARTERIAL ROAD BOULEVARD CURB FACE	5.0m
COLLECTOR ROAD BOULEVARD CURB FACE	2.0m
LOCAL ROAD BOULEVARD CURB FACE	2.0m
DISTANCE FROM DRIVEWAYS	1.5m
DISTANCE FROM SIDEWALKS	1.0m
FUL CASSEMENTS	No Trees

**PLANT SCHEDULE SELF STORAGE**

COMMON TREE	CODE	QTY	SCHEMATIC NAME	COMMON NAME	SIZE	COMMENTS
PPG	4	Five	pauperia green	Colorado Blue Spruce	2.0m H. Min.	SH
PCL	14	Five	caudata white	Lodgepole Pine	2.0m H. Min.	SH
FL	4	Three	arbutifolia	Rock Rose	2.0m H. Min.	SH
AD	28	Four	gracilis	Arctostaphylos	40mm Cal.	SH
LS	7	Two	alba	Black Locust	2.0m H. Min.	SH
MCO	8	Three	rubra	Thunbergian Crab Apple	40mm Cal.	SH
MPI	4	Three	californica	Red Spine Currant	40mm Cal.	SH
COB	20	One	alba	Common Hawthorn	SH	CONIFER
COH	14	One	alba	Common Hawthorn	300mm H. Min.	CONIFER
HSL	10	Hydrangea	arborescens	Annabelle Smooth Hydrangea	300mm H. Min.	CONIFER
JL	4	Japanese	reticulata	Red Japanese Maple	40mm Cal.	CONIFER
Par-16	11	Parlati	subulata	Abies	40mm Cal.	CONIFER
Par-16	11	Parlati	subulata	Abies	40mm Cal.	CONIFER
Par-16	11	Parlati	subulata	Abies	40mm Cal.	CONIFER
COB	20	One	alba	Common Hawthorn	SH	CONIFER
COH	14	One	alba	Common Hawthorn	300mm H. Min.	CONIFER
COB	20	One	alba	Common Hawthorn	SH	CONIFER
COH	14	One	alba	Common Hawthorn	300mm H. Min.	CONIFER
COB	20	One	alba	Common Hawthorn	SH	CONIFER
COH	14	One	alba	Common Hawthorn	300mm H. Min.	CONIFER

**LEGEND:**

- CATCH BASIN
- VALVE (WATER OR GAS)
- HYDRANT
- LIGHT STANDARD
- SWITCHING CUBICLE
- TRANSFORMER
- STORM LINE
- SANITARY LINE
- WATER LINE
- CATCH BASIN LEAD
- UTILITY CASSEMENT
- UNDERGROUND POWER
- UNDERGROUND GAS
- SOD ON 500mm DEPTH TOPSOIL
- NOTE SOD TO BACK OF CURB & EDGE OF SIDEWALKS, ENSURE SMOOTH TRANSITION WITH ADJACENT SURFACES.
- WOOD MULCH

- NOTES:**
- ALL TREE STAKES FOR TREES PLANTED IN 2022 TO BE PAINTED YELLOW. ALL TREE STAKES FOR TREES PLANTED IN 2023 TO BE PAINTED GREEN. TREE STAKES ARE NOT PERMITTED WITHIN 10% OF U/S ELECTRICAL TRENCHES.
  - PRIOR TO INSTALLATION OF THE PLANT MATERIAL, THE CONTRACTOR SHALL ENSURE COORDINATION WITH ALBERTA FIRST CALL TO LOCATE AND STAKE ALL UNDERGROUND UTILITIES, CALL 1-800-242-5447, ALBERTA FIRST CALL TO ARRANGE FOR STAKING OF ALL FACILITIES 48 HOURS PRIOR TO ANY CONSTRUCTION.
  - ALL TREE PLANTING TO FOLLOW THE SETBACK DISTANCES TO SHALLOW AND DEEP UTILITIES AS PER THE CITY OF BEAUMONT GENERAL DESIGN STANDARDS IN ITS LATEST EDITION.
  - IF EXCAVATIONS ARE REQUIRED CLOSER THAN 10% TO UNDERGROUND UTILITIES, THE CONTRACTOR TO CONTACT THE APPROPRIATE UTILITY TO APPROVE, REVIEW AND/OR DEFINE SAFE PROCEDURES FOR THESE EXCAVATIONS.
  - ALL PLANT MATERIAL SHALL BE SUPPLIED FROM CERTIFIED CLEAN NURSERIES. IF THE CONTRACT PLANT MATERIAL IS UNAVAILABLE FROM CERTIFIED CLEAN NURSERIES THE DEVELOPER/CONTRACTOR MAY CONTACT THE PARKS AND FACILITIES DIVISION FOR APPROVAL OF PURCHASE FROM ALTERNATIVE LOCAL VENDORS.

**APPROVALS:**

DEVELOPMENT ENGINEER: SUSTAINABLE DEVELOPMENT	DATE
REVISION:	DATE
ISSUE:	BY APPD DATE
02 SECOND SUBMITTAL	CK DB MAR 14, 2023
01 FIRST SUBMITTAL	CK DB DEC 11, 2022

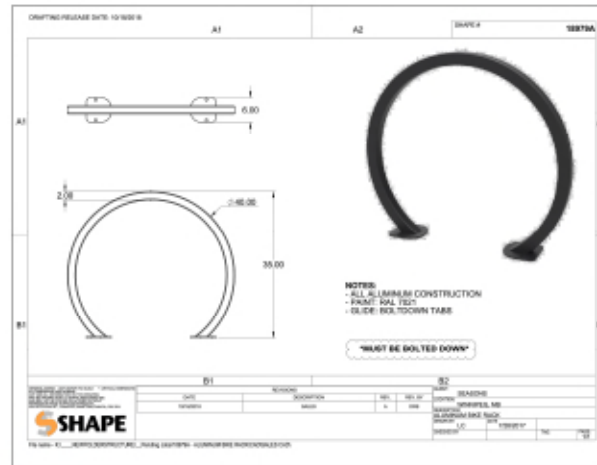
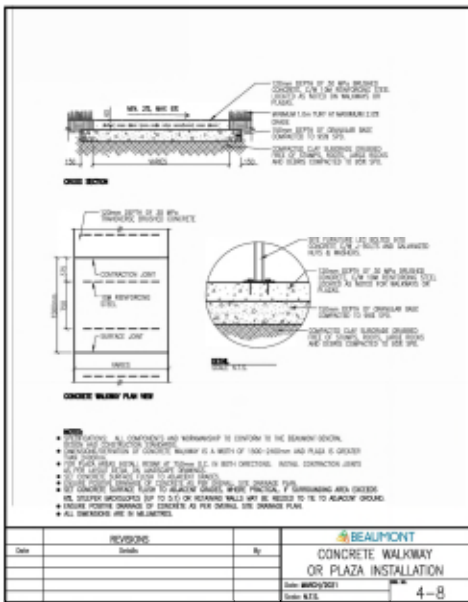
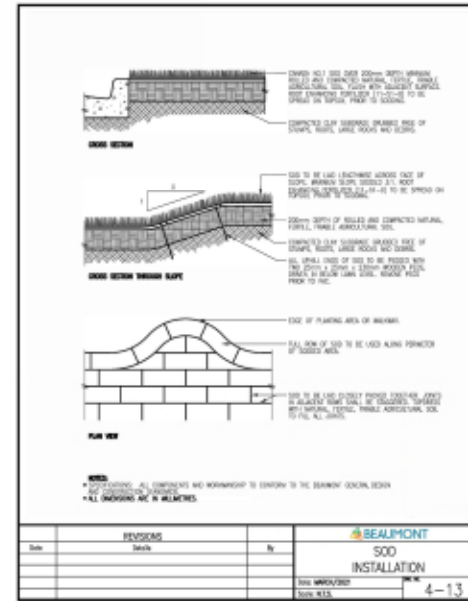
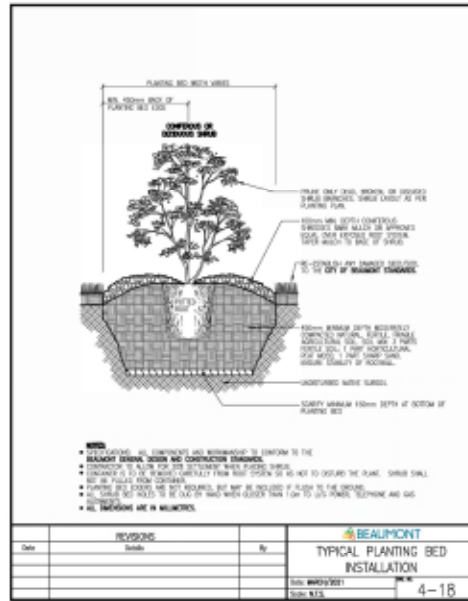
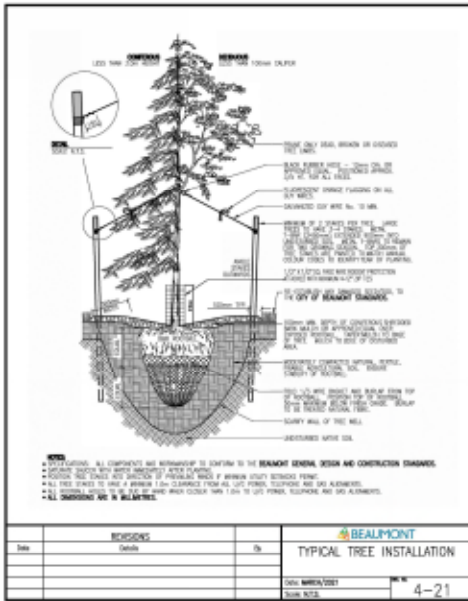
**PROJECT MANAGER:** V. LIU  
**CLIENT:** RPTG GP LTD.  
**PROJECT:** LE REVE SELF STORAGE BEAUMONT, AB.  
**DRAWING TITLE:** LANDSCAPE PLAN

<b>PROJECT NO:</b>	2021-009
<b>SCALE:</b>	AS SHOWN
<b>DRAWING NO.</b>	LO01
<b>PERMIT / SEAL</b>	

**Invistec Consulting Ltd.**  
Suite 1700, 10130 - 103 Street NW  
Edmonton Alberta, T5J 3N9  
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LE REVE SELF STORAGE LANDSCAPE PLAN 1:200



Approved May 30, 2023  
Development Planner

LEGEND:

NOTES:

APPROVALS:

REVISION	DATE

ISSUE	BY	APPD	DATE

PROJECT MANAGER: V. L. L.

CLIENT: RPTG GP LTD.

PROJECT: LE REVE SELF STORAGE BEAUMONT, AB.

DRAWING TITLE: DETAILS

PROJECT NO: 2021-009

SCALE: AS SHOWN DRAWING NO. L002

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