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## **Development Permit Notice of Decision**

Date of Decision: May 29, 2024

ACI Architecture Inc.  
c/o Refilwe Mompe  
17225 – 102 Avenue NW  
Edmonton, AB., T5S 1J8

**Proposed Development: Mixed Use Residential / Commercial: 141 Dwelling Units and 3 CRUs & DayCare (186.17m<sup>2</sup>)**

**Legal Description:** Plan 2516 TR, Block 01, Lot 3 & 4  
**Municipal Address:** 5010 – 50 Avenue, Beaumont, AB  
**Land Use District:** Main Street  
**Permit Application No:** 2024-30  
**Tax Roll:** 000038

**Development Permit Status:** Approved

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### **Development Permit Conditions**

The development noted above is considered a Permitted Use within the Main Street District, and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. Be sure to review all the documentation included with this permit.

1. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
2. The site shall be developed in accordance with the attached plans issued for development dated May 24, 2024. **Any changes to the attached plans require prior written approval by the City.**
3. The properties located at 5010 – 50 Avenue (Plan 3516 TR, Block 1, Lot 3 & 4) shall be consolidated at the Land Titles Office, and a record of consolidation shall be provided to the City of Beaumont prior to building occupancy.
4. Upon consolidation of Lots, all conditions relating to previously issued Development Permit No. 2024-30 shall remain in effect and compliance shall be required.
5. Prior to commencing any activity on the lands, the applicant shall enter into and during the currency of the permit abide by a Development Agreement (pursuant to the Municipal Government Act s. 650), containing terms acceptable to the Municipality. The Applicant may commence certain activities upon the issuance of a footing and foundation permit without a development agreement, adhering strictly to the limitations outlined within the permit. The Development Agreement shall include but not be limited to the following:

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**Permit Number: 2024-30**

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- a. that the Applicant shall provide security in a form satisfactory to the City for all obligations under the Development Agreement, including but not limited to, pre-grading, civil works on public property, and hard and soft landscaping on private property.
  - b. the applicant must meet all engineering requirements, including the following: the watermain service should be 250mm as specified by the GDS, with a 90-degree bend and valve connecting to the north. Additionally, a wastewater inspection manhole must be installed at the southern property line, or the applicant may present alternative options acceptable to the City of Beaumont for approval.
  - c. the applicant shall meet all other engineering requirements as set out in the City of Beaumont's Engineering General Design Standards (GDS) or provide options that are acceptable and approved by the City.
  - d. the applicant shall construct a watermain positioned closer to the eastern property line (PL), with a 6-meter easement created (3 meters on either side of the PL) for the watermain. Alternatively, the applicant may propose an option acceptable to the City of Beaumont.
  - e. that the Applicant shall pay their proportionate share of the offsite levies for this development pursuant to Bylaw 945-19 as may be amended from time to time.
  - f. That applicant shall pay their proportionate share of the Centre-Ville underground storage system, storm pre-servicing, lot storm servicing and water looping for this development in accordance with the Downtown Urban Design Concept Plan submitted July 18, 2017.
  - g. that applicant to provide a Traffic Impact Assessment and implement any mitigation measures that are required from the report to the satisfaction of the City of Beaumont.
6. Final approval and acceptance by the municipality of all civil engineering plans must be completed prior to building permit issuance (except foundation permits).
  7. Landscaping shall be provided as shown on the attached approved plans. Hard landscaping shall be contiguous and seamlessly integrated with the public sidewalk with no grade adjustments. Lighting for the building shall be provided as shown on the attached approved plans. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.
  8. An Access Agreement shall be entered into between 5010 -50 Avenue (Plan 3516 TR, Block 1, Lot 3 & 4) and 5006 – 50 Ave (Plan 4, Block 24, Lot 50) to ensure that access and snow storage are available for the use of this development. The Agreement shall be approved by the City of Beaumont, include the provision that it shall not be released without the approval from the City of Beaumont and be registered at Land Titles on both properties (or proof of submission) prior to issuance of the Building Permit.
  9. The owner/applicant shall obtain all federal, provincial and local permits as they apply to this project.

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### **Additional Information**

1. **Prior to any work commencing on the site**, a Letter of Credit in the amount of 100% of the construction costs for hard and soft landscaping shall be provided prior to building permit issuance, with such costs to include hard landscaping features such as brick pavers, shale, concrete curbing, sidewalks, patios, paved approaches including culvert and rip rap, fencing and painted lines for parking stalls.

50% of the landscaping security shall be released after planting and the remaining balance shall be released once an inspection of the site has demonstrated to the satisfaction of the Development Authority that the landscaping has been well maintained and is in healthy condition two growing seasons after approved inspection.

2. **Prior to any construction commencing on the site**, a Development Agreement and a Letter of Credit equal to 25% of the construction costs shall be submitted to the City of Beaumont for the following:
  - a. any pre-grading of the site including stripping, grubbing, etc.
  - b. the cost of work to be undertaken on municipal property, including but not limited to underground servicing and access.

All but \$7,000 of the above noted securities will be returned upon completion, with no deficiencies as confirmed by Engineering (the municipality will not take less than \$7,000 security). The remainder shall be released upon completion and receipt of as-built record drawings that are received and deemed acceptable by the municipality.

3. Prior to securing the Letters of Credit for this project, the Applicant shall provide cost estimates for approval by the Manager, Engineering & Environment.

The Letter of Credit shall have an initial term of one (1) year, shall be renewed by the owner 30 days prior to expiry, and shall:

- a. contain an automatic renewal clause; and
  - b. allow for partial draws by the City of Beaumont.
4. The Applicant shall maintain comprehensive liability insurance in the amount of \$5 million as it relates to this project, for the duration of both phases of the project. A copy of the Certificate of Insurance must be provided, and Beaumont shall be named on same.
  5. Ground floor uses are limited to lodging, commercial, and institutional uses. Day Care has been approved for 186.17m<sup>2</sup>. A development permit is required prior to the remaining area being occupied on the ground floor.
  6. Fencing between properties is not permitted as per Bylaw 966-19 Our Centre-Ville Area Redevelopment Plan (CARP).

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7. Based on the details of the approved plans, the development meets the minimum required 75% Essential Elements and 25% Suggested Elements of the Beaumont Urban Design Guidelines.
8. Engineering Advisements
  - a. The owner shall be responsible for any engineering and legal costs incurred by the City related to this project.
  - b. A storm drainage plan shall be prepared for approval by the Manager, Municipal Projects. The storm water system should be designed to control storm water flow to a level that would be expected from a residential development of equivalent size.
9. Fire Advisements
  - a. A Fire Safety Plan must be posted in a visible area on the construction site.
  - b. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.
  - c. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.
10. Infrastructure Advisements
  - a. The owner shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.
  - b. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to waterandwastewater@beaumont.ab.ca. This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
11. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
12. The Applicant shall provide the Development Authority with AutoCAD drawings to the satisfaction of the Development Authority with the Building Permit application.



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13. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the Alberta Safety Codes Act and any other applicable bylaws or regulations.
  14. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
  15. The site shall be kept clear of all construction garbage and debris; an on-site garbage container/bin shall be required.
  16. Failure to keep the sites clean of debris is an offence under Our Zoning Blueprint. The Peace Officers may issue offence tickets to any person who has committed or is committing an offence respecting this infraction and may be subject to the following penalties:
    - a. First Offence – a written warning or a stop work order shall be issued, and a bin will be required onsite;
    - b. Second Offence (on same lot) – a minimum fine of \$1,000.00 and a stop work order shall be issued;
    - c. Third (and Subsequent) offence(s) (on same lot) – a minimum fine of \$5,000.00 and a stop work order shall be issued.
  17. Separate sign permit applications will be required for any on-site signage.
  18. It is the responsibility of the Applicant to ensure they have reviewed and understand all Instruments registered against the Title of the subject property. This includes all easements, caveats, and restrictive covenants. The City shall not address, nor enforce, any Instruments of which we have no interest in and/or are not a party to.
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### **Permit Notification Information**

In accordance with the City of Beaumont Land Use Bylaw 944-19, notice regarding this Development Permit has been published on our website, only.

### **Appeal Information**

Permitted Uses may not be appealed unless the provisions of the Land Use Bylaw were relaxed, varied, or misinterpreted. If you have reason to appeal this Development Permit or any of the above conditions on these grounds, you may submit an appeal to the Secretary of the Subdivision Development and Appeal Board (SDAB) or the Land and Property Rights Tribunal within 21 days of the date the decision was made, noted above.

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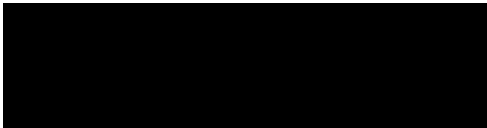
**Permit Number: 2024-30**

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Please be advised that an appeal may be submitted in accordance with Section 685 of the Municipal Government Act with the Subdivision and Development Appeal Board within 21 days of the written decision. To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at [legislative@beaumont.ab.ca](mailto:legislative@beaumont.ab.ca). Appeals must be filed no later than 4:30 p.m. on the date indicated above. Please visit our website for more details at [www.beaumont.ab.ca](http://www.beaumont.ab.ca)

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For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Shawn Hipkiss  
Manager, Development Services  
780-267-3087  
[Shawn.Hipkiss@beaumont.ab.ca](mailto:Shawn.Hipkiss@beaumont.ab.ca)

cc: Curtis Doblanko, Director, Finance  
Kendra Raymond, Director, Planning & Development  
Jennifer Niesink, Director, Economic Development  
Jay Melvin, Director, Protective Services & Fire Chief  
Punam Grewal, Manager, Engineering & Environment  
Joannes Wong, Manager, Long Range Planning  
Shawn Hipkiss, Manager, Development Services  
Aleshia Ingram, Senior Development Planner  
Parth Mehta, Development & Engineering Coordinator  
Carley Krahn, Fire Prevention Officer  
Ellen Feron, Operations Facility Administrative Assistant  
Troy Birtles, Accurate Assessment

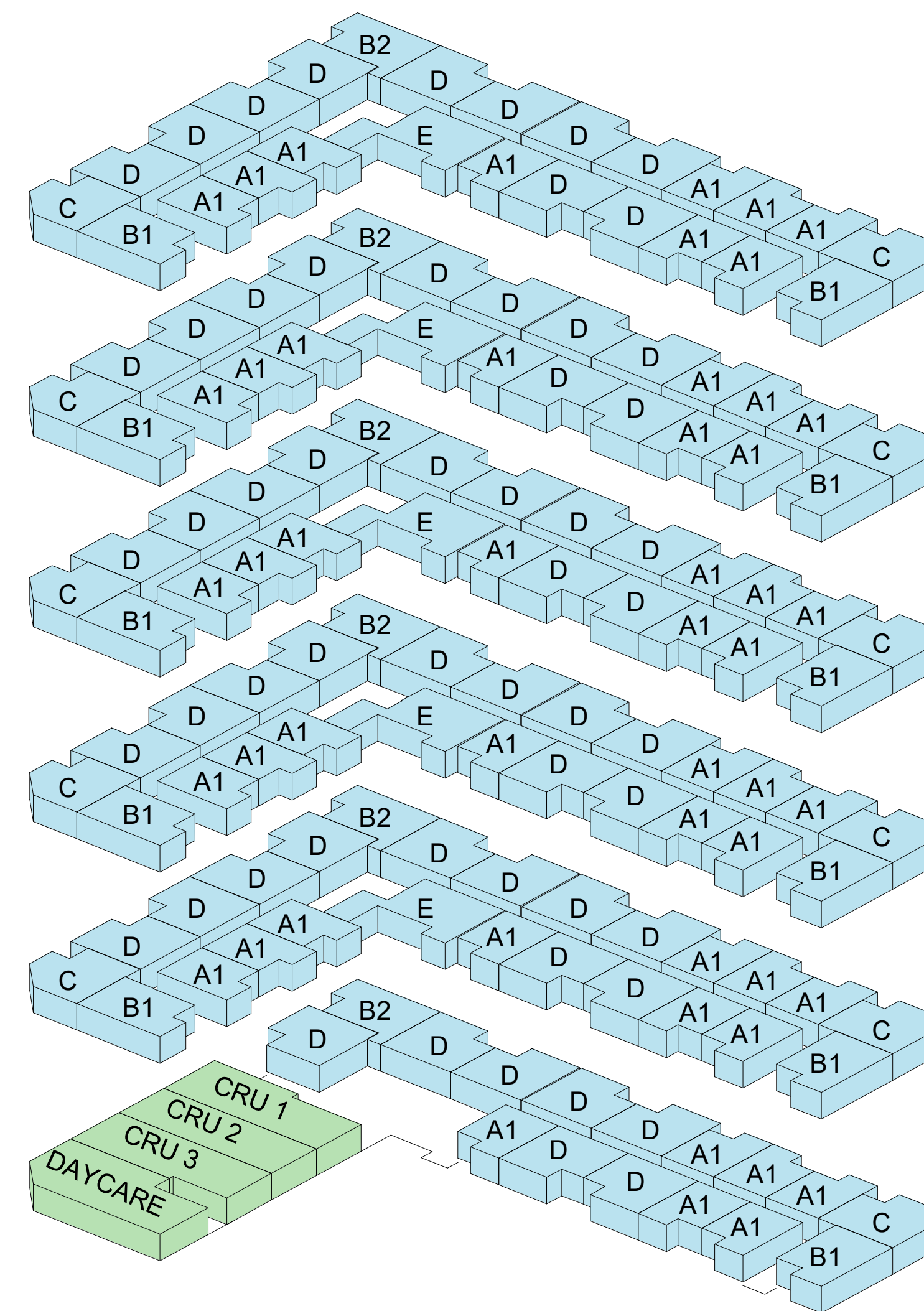


# ESPRIT MIXED-USE

## MIXED-USE RENTAL APARTMENT

5010-50 AVENUE, BEAUMONT, ALBERTA

2024.03.07 - ISSUED FOR DEVELOPMENT PERMIT



STACKING DIAGRAM

Approved: May 29, 2024  
Permit #: 2024-30

City of Beaumont Development Officer  
Shawn Hipkiss

### ARCHITECTURAL

ACI ARCHITECTURE INC.

17225 - 102 Ave N.W.  
EDMONTON, ALBERTA  
T5S 1J8

TELEPHONE: 780.486.6400  
www.aci-arch.com

- A1.1 SITE PLAN
- A1.2 SITE DETAILS
- A2.0 PARKADE - OVERALL FLOOR PLAN
- A2.1 MAIN FLOOR - OVERALL PLAN
- A2.2 LEVELS 2-4 TYPICAL FLOOR PLAN
- A3.1 OVERALL EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A3.3 EXTERIOR ELEVATIONS COURTYARD
- A3.4 EXTERIOR ELEVATIONS
- A4.1 BUILDING SECTIONS

### ELECTRICAL

ECCOM CONSULTING INC.

13009-156 STREET  
EDMONTON, ALBERTA  
T5V 0A2

TELEPHONE: 780.481.0005

- E04 SITE PLAN - LIGHTING

### LANDSCAPE

DESIGN NORTH LANDSCAPE

282-150 CHIPPEWA ROAD  
SHERWOOD PARK, ALBERTA  
T8A 6A2

TELEPHONE: 780.417.9596

- L1.1 LANDSCAPE PLAN
- L1.2 LANDSCAPE DETAILS

### CIVIL

GRADE CONSULTING INC.

#201A, 10639-124 STREET  
EDMONTON, ALBERTA  
T5N 1S5

TELEPHONE: 780.239.8283

- C000 COVER
- C100 SITE SERVICING PLAN
- C200 SITE GRADING PLAN
- C201 STORM WATER MANAGEMENT PLAN
- C400 STANDARD DETAILS





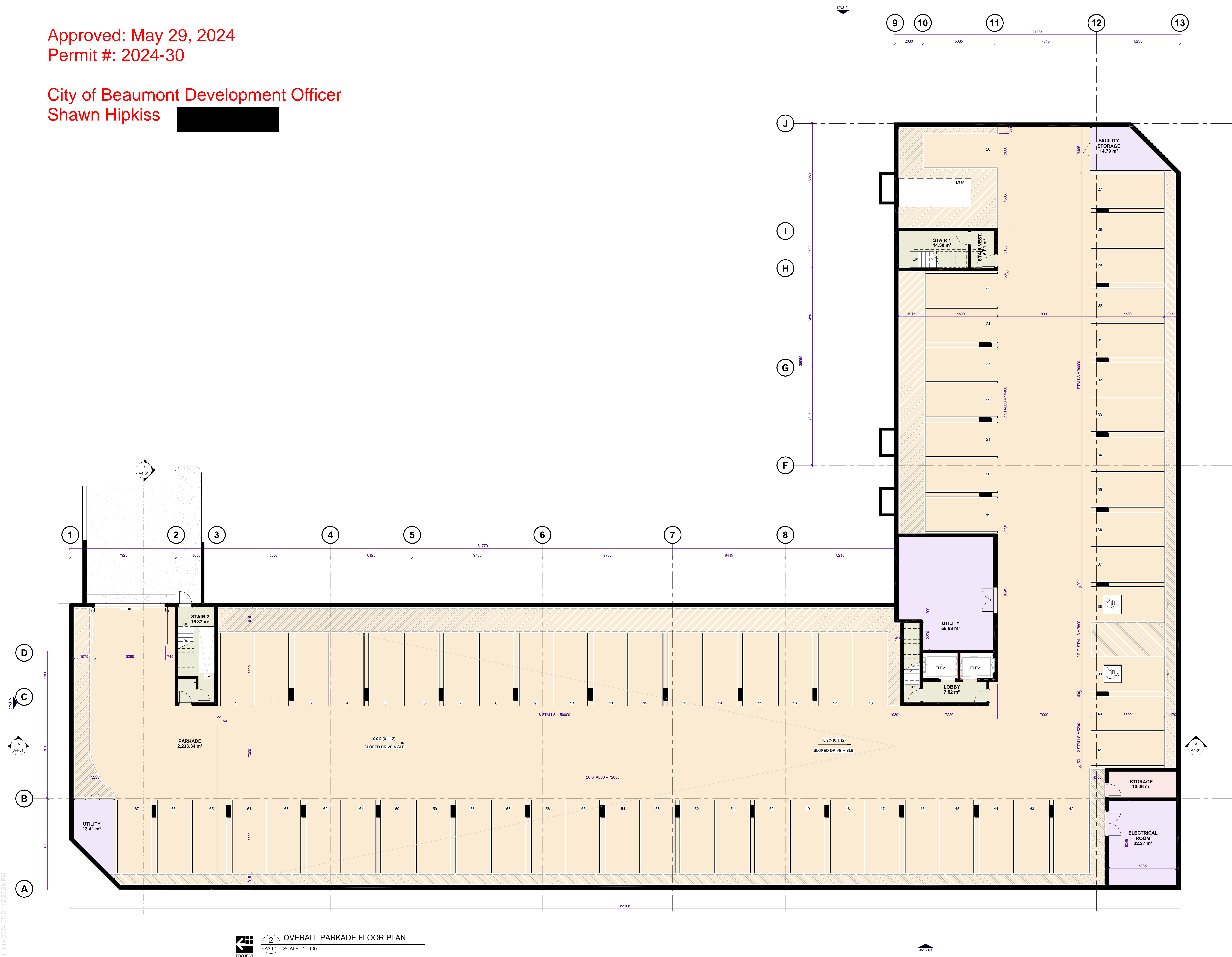




Approved: May 29, 2024  
Permit #: 2024-30

City of Beaumont Development Officer  
Shawn Hipkiss

Notes:  
•Do not scale drawings.  
•It is the responsibility of the Contractor to check and verify all dimensions on site and report all errors and/or omissions to the Architect or Engineers.  
•It is the responsibility of the appropriate Contractor to comply with all Codes and Regulations applicable to the performance of their work.  
•All Drawings and Specifications are instruments of service and are the property of the Architect or Engineer. This Drawing is the Copyright of ACI ARCHITECTURE INC or the Consultant named on this Drawing as at the date shown and may not be used or reproduced in whole or in part without the express written consent of the Architect or Engineer.



Project:  
**ESPRIT  
MIXED-USE**

Scale	As Indicated	Designed By	MT/DL
Project No.	23044	Drawn By	MT/DL
Start Date	2024.02.01	Checked By	EC

Drawing Title:  
**PARKADE -  
OVERALL FLOOR  
PLAN**

Drawing No.:

**A2-00**

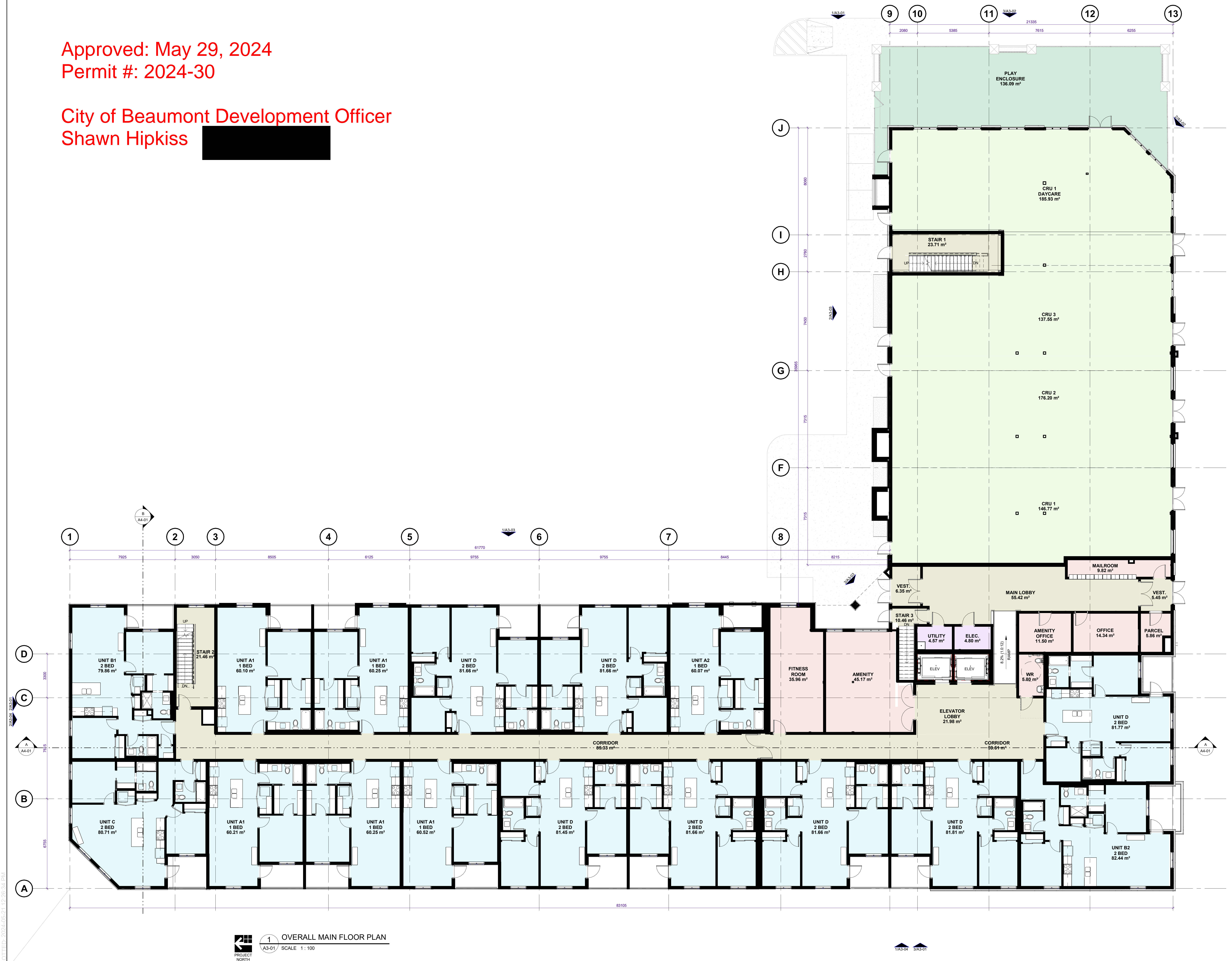
PROJECTED: 2024-05-21 12:26:26 PM



Approved: May 29, 2024  
Permit #: 2024-30

City of Beaumont Development Officer  
Shawn Hipkiss

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PROJECTED: 2024-05-21 12:26:34 PM

**1** OVERALL MAIN FLOOR PLAN  
PROJECT NORTH  
A3-01 SCALE 1:100

Client



Project  
**ESPRIT  
MIXED-USE**

Scale 1:100	Designed By DL
Project No. 23044	Drawn By DL/MT
Start Date 2024.02.01	Checked By EC

Drawing Title  
**OVERALL MAIN  
FLOOR PLAN**

Drawing No.

**A2-01**



Approved: May 29, 2024  
 Permit #: 2024-30

City of Beaumont Development Officer  
 Shawn Hipkiss

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1 TYPICAL OVERALL FLOOR PLAN  
 A3-01 SCALE 1:100  
 PROJECT NORTH

Client



Project  
**ESPRIT MIXED-USE**

Scale 1:100	Designed By DL
Project No. 23044	Drawn By DL/MT
Start Date 2024.02.01	Checked By EC

Drawing Title  
**OVERALL LEVEL 2-6 FLOOR PLAN**

Drawing No.

**A2-02**

PLOT DATE: 2024.05.21 12:26:41 PM



Notes:  
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1 EAST EXTERIOR ELEVATION  
A2-00 SCALE 1:200



2 NORTH EXTERIOR ELEVATION  
A2-00 SCALE 1:200



3 WEST EXTERIOR ELEVATION  
A2-00 SCALE 1:200



4 SOUTH EXTERIOR ELEVATION  
A2-00 SCALE 1:200

Approved: May 29, 2024  
Permit #: 2024-30

City of Beaumont Development Officer  
Shawn Hipkiss [Redacted]



Project  
**ESPRIT  
MIXED-USE**

Scale	1:200	Designed By	DL
Project No.	23044	Drawn By	DL/MT
Start Date	2024.02.01	Checked By	EC

Drawing Title  
**OVERALL EXTERIOR  
ELEVATIONS**

Drawing No.  
**A3-01**

PLOTTED: 2024.05.21 12:27:27 PM



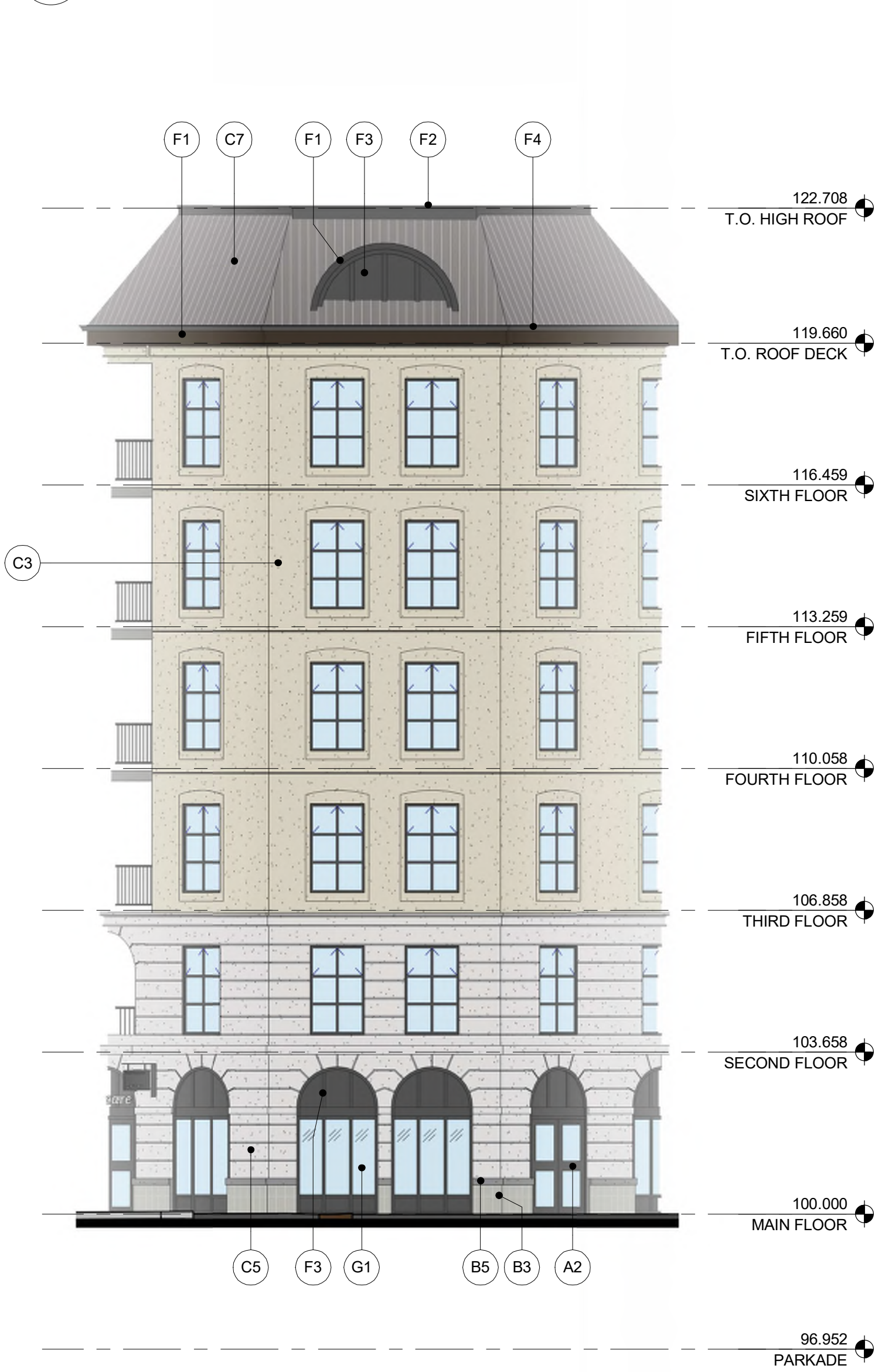
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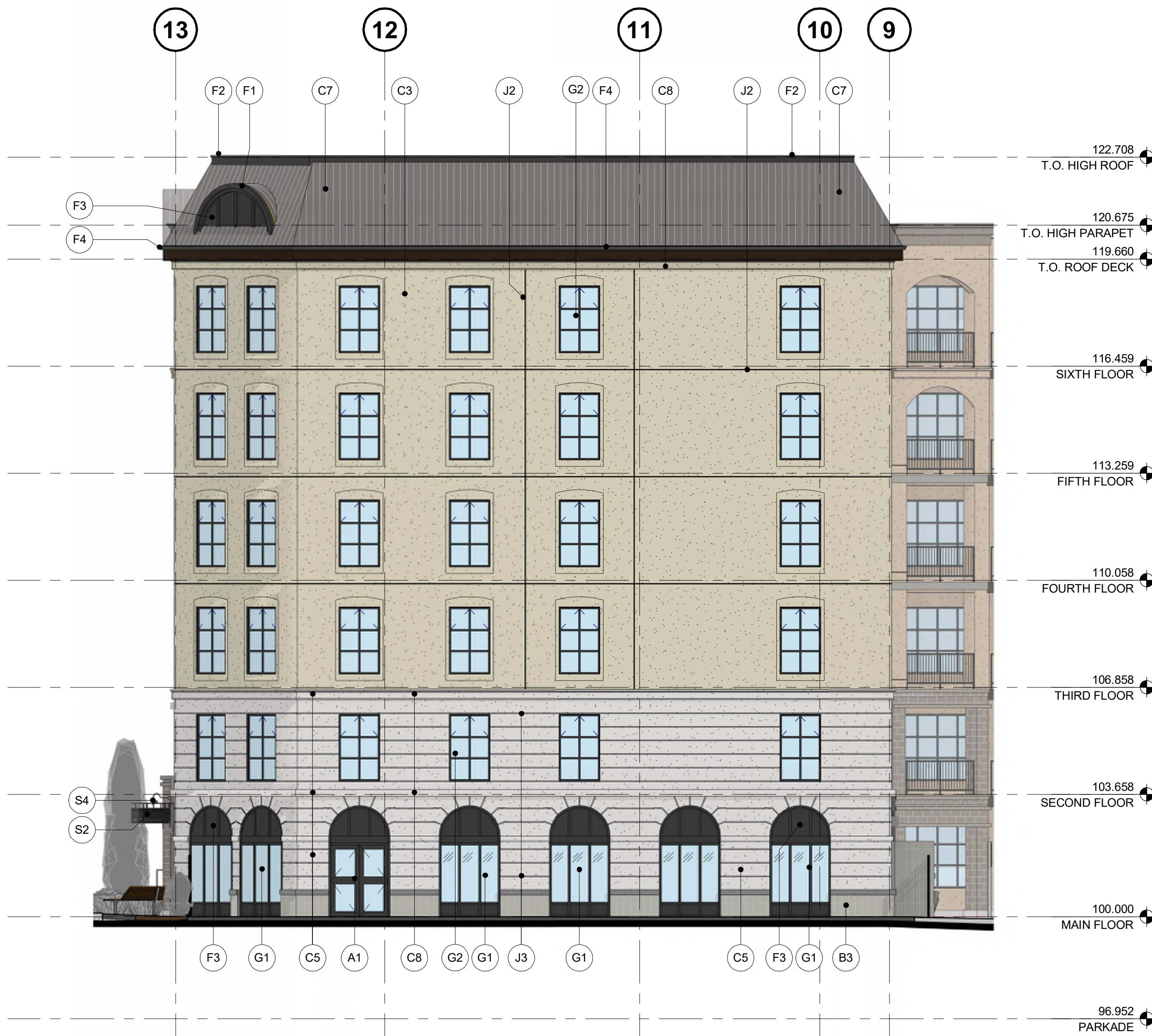
#	DESCRIPTION
A1	BLACK ANODIZED ALUMINUM DOOR CW SEALED GLAZED UNITS
A2	BLACK ANODIZED ALUMINUM DOOR CW SEALED GLAZED UNITS AND TRANSOM GLAZING
B1	SMOOTH FACE CONCRETE MASONRY VENEER - RUNNING BOND - COLOUR: BROWN
B3	SMOOTH FACE VERTICAL CONCRETE MASONRY VENEER - COLOUR: LIGHT GREY
B4	SMOOTH FACE VERTICAL CONCRETE MASONRY VENEER - COLOUR: CHARCOAL
B5	PREFINISHED CONCRETE CAP - COLOUR: GREY
B6	200mm CONCRETE BASE - COLOUR: GREY
C2	ACRYLIC STUCCO SYSTEM - COLOUR: TAN/LIGHT BROWN
C3	ACRYLIC STUCCO SYSTEM - COLOUR: BEIGE
C4	ACRYLIC STUCCO SYSTEM - COLOUR: BROWN
C5	ACRYLIC STUCCO SYSTEM - COLOUR: LIGHT GREY
C6	ACRYLIC STUCCO SYSTEM - COLOUR: MEDIUM GREY
C7	STANDING SEAM MANSARD ROOF - COLOUR: BLACK
C8	CORNICE FEATURE
E1	FIRE DEPARTMENT CONNECTION
F1	PREFINISHED METAL FLASHING - COLOUR: CHARCOAL
F2	PREFINISHED METAL PARAPET CAP FLASHING - COLOUR: CHARCOAL
F3	PREFINISHED METAL BRAKEHAPE TO MATCH BLACK ANODIZED GLAZING FRAME
F4	PREFINISHED METAL GUTTER - COLOUR: CHARCOAL
G1	BLACK ANODIZED ALUMINUM CURTAIN WALL SYSTEM CW SEALED GLAZING UNITS
G2	PREFINISHED WINDOW W/ OPERABLE UNIT
J2	STUCCO V-GROOVE REVEAL
J3	STUCCO 25mm X 25mm SQUARE REVEAL
R1	PREFINISHED BLACK ALUMINUM PICKET GUARDRAIL
R2	METAL PICKET FENCE PAINTED BLACK
R3	BRICK FENCE PLASTER CW CONCRETE CAP
R4	STUCCO FINISHED STUD WALL PATIO DIVIDER
S1	WALL MOUNTED FACE SIGNAGE
S2	WALL MOUNTED HANGING SIGNAGE
S3	RESIDENTIAL ENTRANCE SIGNAGE
S4	GOOSENECK LIGHTING - BLACK



1 SOUTH EXTERIOR ELEVATION  
A2-00 SCALE 1:100



2 SOUTHEAST CORNER EXTERIOR ELEVATION  
A2-00 SCALE 1:100



3 SOUTH WING EAST EXTERIOR ELEVATION  
A2-00 SCALE 1:100

Approved: May 29, 2024  
Permit #: 2024-30

City of Beaumont Development Officer  
Shawn Hipkiss

Client



Project  
**ESPRIT MIXED-USE**

Scale 1:100	Designed By DL
Project No. 23044	Drawn By DL/MT
Start Date 2024.02.01	Checked By EC

Drawing Title  
**EXTERIOR ELEVATIONS**

Drawing No.

**A3-02**



**Notes:**

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#	DESCRIPTION
A1	BLACK ANODIZED ALUMINUM DOOR C/W SEALED GLAZED UNITS
B1	SMOOTH FACE CONCRETE MASONRY VENEER - RUNNING BOND - COLOUR: BROWN
B2	SMOOTH FACE CONCRETE MASONRY VENEER - RUNNING BOND - COLOUR: CHARCOAL
B3	SMOOTH FACE VERTICAL CONCRETE MASONRY VENEER - COLOUR: LIGHT GREY
B6	200mm CONCRETE BASE - COLOUR: GREY
C1	ACRYLIC STUCCO SYSTEM - COLOUR: WHITE
C2	ACRYLIC STUCCO SYSTEM - COLOUR: TAN/LIGHT BROWN
C3	ACRYLIC STUCCO SYSTEM - COLOUR: BEIGE
C4	ACRYLIC STUCCO SYSTEM - COLOUR: BROWN
C5	ACRYLIC STUCCO SYSTEM - COLOUR: LIGHT GREY
C6	ACRYLIC STUCCO SYSTEM - COLOUR: MEDIUM GREY
C7	STANDING SEAM WANSKROD ROOF - COLOUR: BLACK
C8	CORNICE FEATURE
F1	PREFINISHED METAL FLASHING - COLOUR: CHARCOAL
F2	PREFINISHED METAL PARAPET CAP FLASHING - COLOUR: CHARCOAL
F4	PREFINISHED METAL GUTTER - COLOUR: CHARCOAL
G2	PREFINISHED WINDOW W/ OPERABLE UNIT
H1	INSULATED HOLLOW METAL DOOR - FINISH DOOR & FRAME - COLOUR: CHARCOAL
H2	STUCCO V-GROOVE REVEAL
OH	SECTIONAL OVERHEAD DOOR - COLOUR: WHITE
R1	PREFINISHED BLACK ALUMINUM PICKET GUARDRAIL
R2	METAL PICKET FENCE PAINTED BLACK
R3	BRICK FENCE PILASTER C/W CONCRETE CAP



**2**  
 COURTYARD NORTH  
 EXTERIOR ELEVATION  
 A2-00 SCALE 1:100

**3**  
 COURTYARD NORTHWEST  
 EXTERIOR ELEVATION  
 A2-00 SCALE 1:100



**A2-00**  
 COURTYARD WEST  
 EXTERIOR ELEVATION  
 SCALE 1:100

Approved: May 29, 2024  
 Permit #: 2024-30

City of Beaumont Development Officer  
 Shawn Hipkiss



Project  
**ESPRIT  
 MIXED-USE**

Scale	1:100	Designed By	DJMT
Project No.	23044	Drawn By	DJMT
Start Date	2024.02.01	Checked By	EC

Drawing Title  
**EXTERIOR  
 ELEVATIONS  
 COURTYARD**

Drawing No.  
**A3-03**

PLOT FILED: 2024-05-21 12:28:16 PM



Approved: May 29, 2024  
Permit #: 2024-30

City of Beaumont Development Officer  
Shawn Hipkiss

#	DESCRIPTION
B4	SMOOTH FACE VERTICAL CONCRETE MASONRY VENEER - COLOUR: CHARCOAL
C1	ACRYLIC STUCCO SYSTEM - COLOUR: WHITE
C2	ACRYLIC STUCCO SYSTEM - COLOUR: TAN/LIGHT BROWN
C3	ACRYLIC STUCCO SYSTEM - COLOUR: BEIGE
C4	ACRYLIC STUCCO SYSTEM - COLOUR: BROWN
C5	ACRYLIC STUCCO SYSTEM - COLOUR: LIGHT GREY
C6	ACRYLIC STUCCO SYSTEM - COLOUR: MEDIUM GREY
C7	STANDING SEAM MANSARD ROOF - COLOUR: BLACK
C8	CORNICE FEATURE
F1	PREFINISHED METAL FLASHING - COLOUR: CHARCOAL
F2	PREFINISHED METAL PARAPET CAP FLASHINGS - COLOUR: CHARCOAL
F4	PREFINISHED METAL GUTTER - COLOUR: CHARCOAL
G2	PREFINISHED WINDOW W/ OPERABLE UNIT
J2	STUCCO V-GROOVE REVEAL
J3	STUCCO 25mm X 25mm SQUARE REVEAL
R1	PREFINISHED BLACK ALUMINUM PICKET GUARDRAIL
R5	PREFINISHED METAL DIVIDER CW FROSTED GLAZING - METAL FINISH: BLACK

**ACI**  
ARCHITECTURE INC

17225 - 102 Avenue Edmonton AB T5S 1J8 Canada  
T 780.486.6400 | F 780.486.6401 | www.aci-arch.com

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2 NORTH EXTERIOR ELEVATION  
A2-00 SCALE 1:100



1 WEST EXTERIOR ELEVATION  
A2-00 SCALE 1:100

Client

**BOUDREAU**  
Communities Ltd

Project  
**ESPRIT MIXED-USE**

Scale 1:100	Designed By DLMT
Project No. 23044	Drawn By DLMT
Start Date 2024.02.01	Checked By EC

Drawing Title  
**EXTERIOR ELEVATIONS**

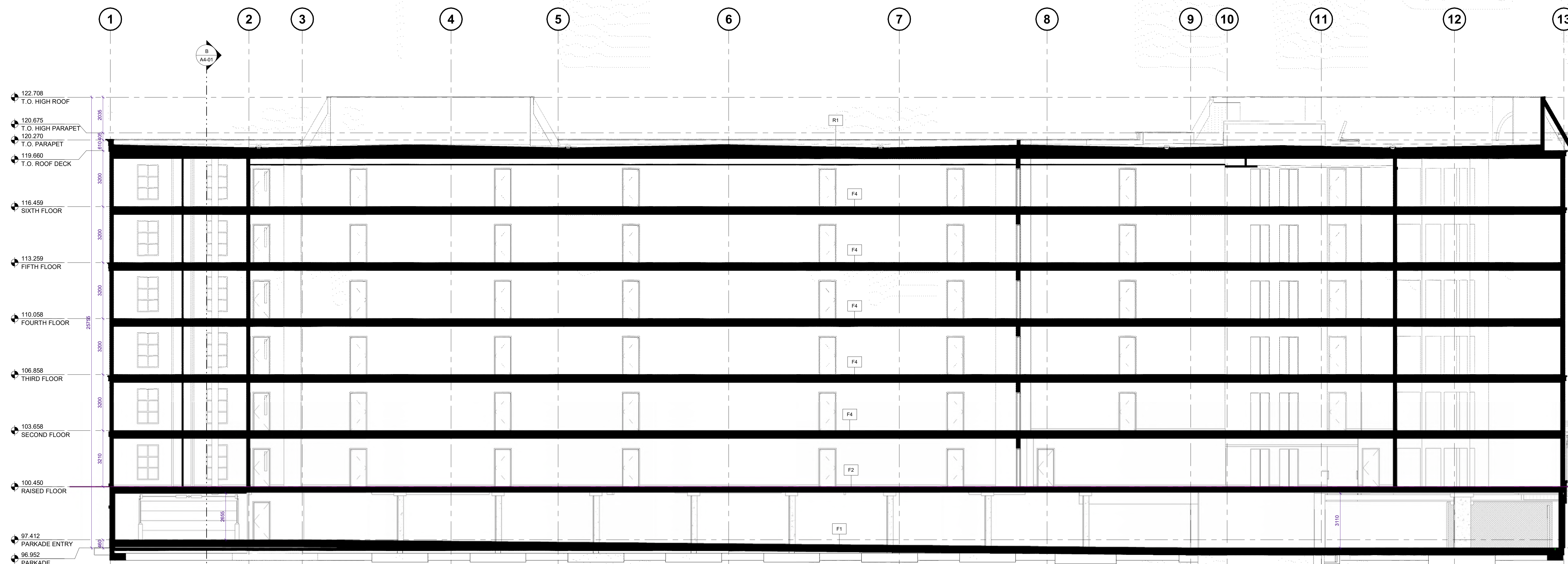
Drawing No.

**A3-04**

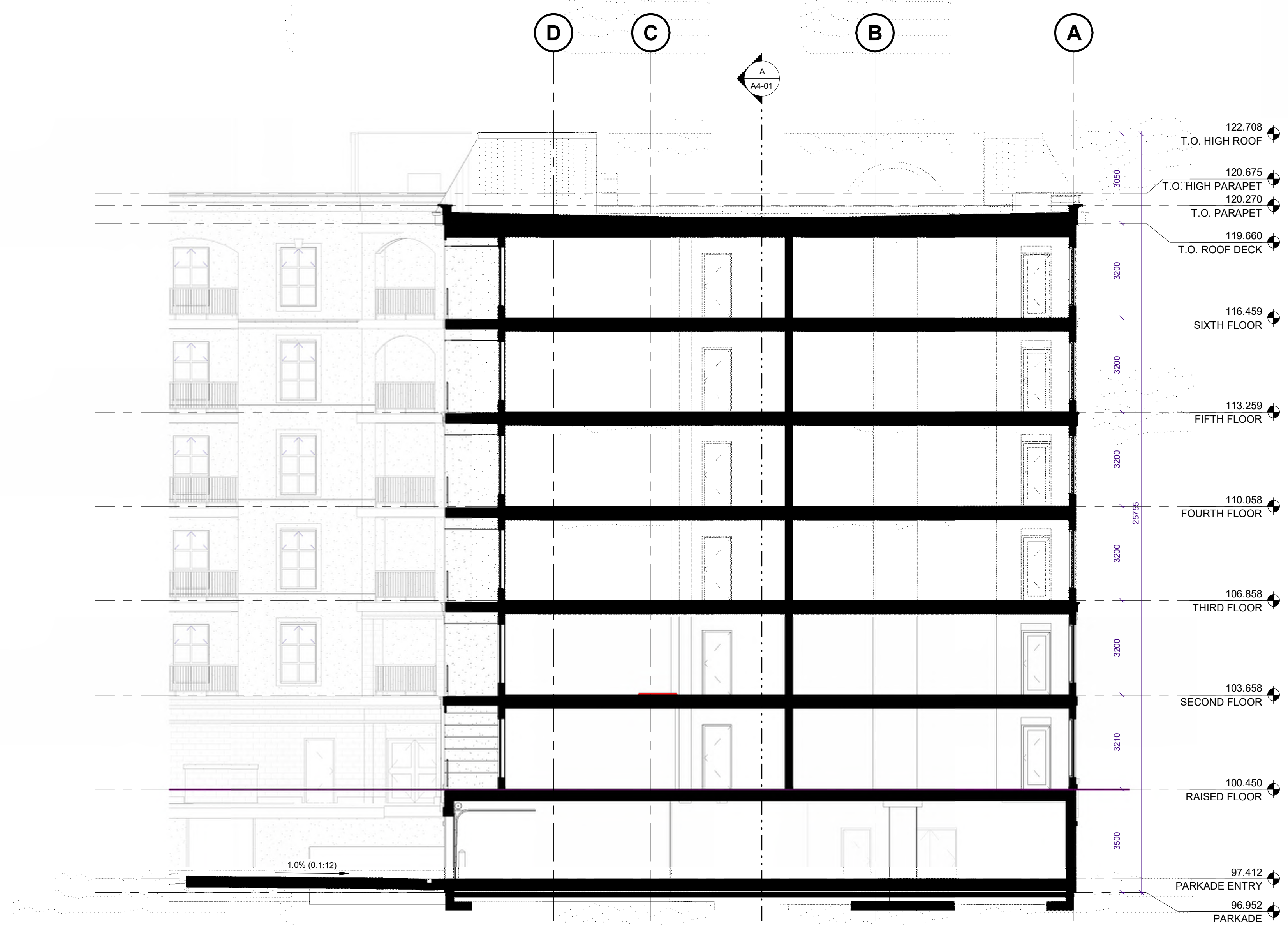


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**A** BUILDING SECTION  
A2-00 / SCALE 1:100



**B** BUILDING SECTION  
A2-00 / SCALE 1:100

Approved: May 29, 2024  
Permit #: 2024-30

City of Beaumont Development Officer  
Shawn Hipkiss



Project:  
**ESPRIT  
MIXED-USE**

Scale 1:100	Designed By DL
Project No. 23044	Drawn By DL/MT
Start Date 2024.02.01	Checked By EC

Drawing Title:  
**BUILDING  
SECTIONS**

Drawing No.

**A4-01**

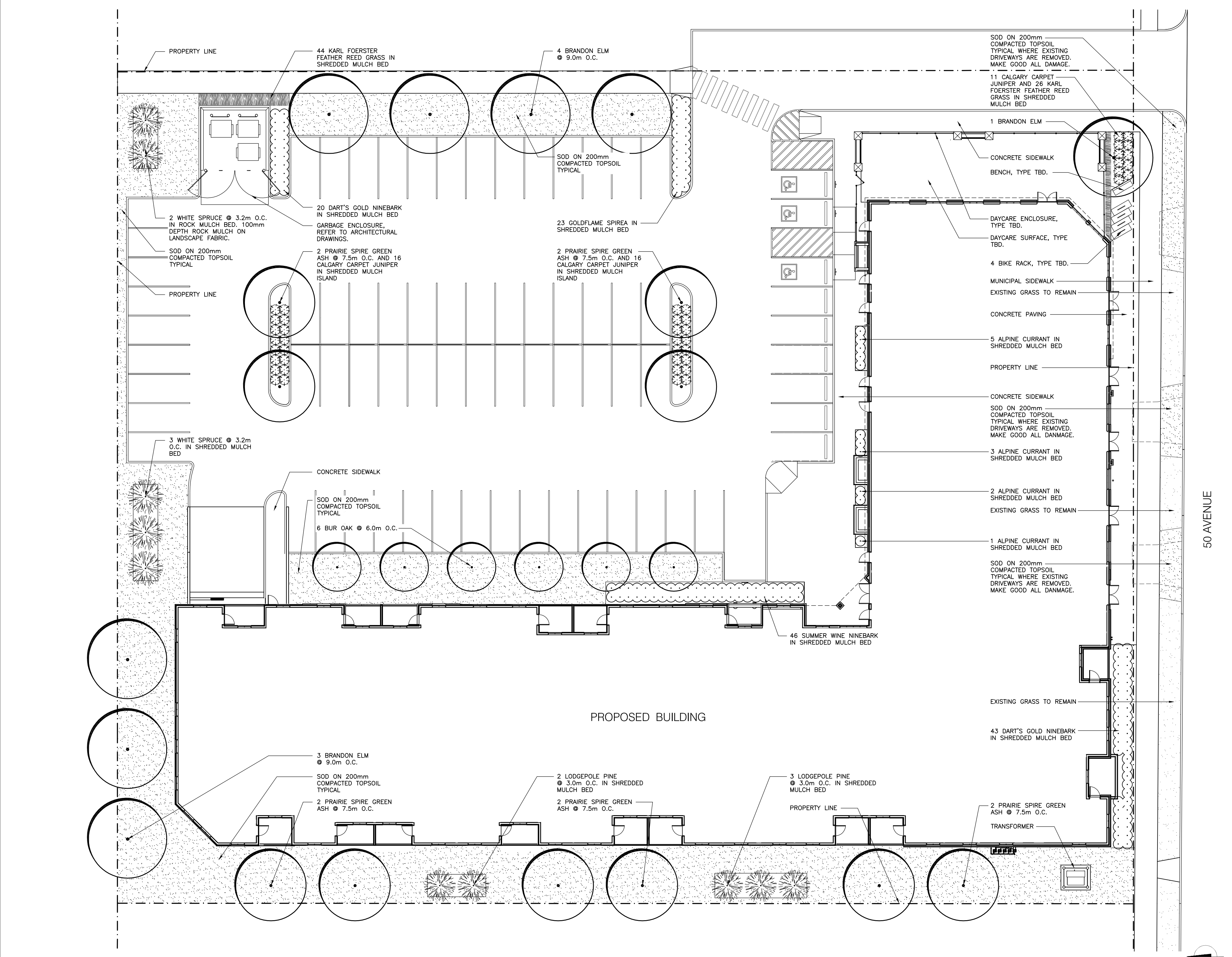


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### LEGAL DESCRIPTION

LOTS 4 & 5, BLK. 1, PLAN 3516 TR

### MUNICIPAL ADDRESS

5010 50 AVENUE  
 BEAUMONT, ALBERTA

### GENERAL NOTES

FOR SITE GRADING REFER TO ENGINEERS DRAWINGS.  
 FOR EXACT LOCATION OF ALL UNDERGROUND SHALLOW AND DEEP UTILITIES REFER TO ENGINEERS DRAWINGS.

### SOD MIX & NOTES

CERTIFIED "CANADA #1" CULTIVATED TURF SOD WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEALTHY GROWTH AND DELIVERED 24 HOURS FROM THE TIME OF CUTTING. SOD MUST BE FREE OF STONES, BURNS, DRY OR BARE SPOTS, TEARS AND DELIVERED MOIST, CUT IN STRIPS OF UNIFORM WIDTH AND THICKNESS AND OF THE FOLLOWING MIX OR APPROVED EQUAL:  
 65% MINIMUM KENTUCKY BLUE GRASS  
 35% CREEPING RED FESCUE OR APPROVED ALTERNATIVE  
 CONTRACTOR TO ENSURE THAT SOD PLACEMENT IS ON TOP OF 200mm DEPTH COMPACTED TOPSOIL.

### LANDSCAPE REQUIREMENTS

ZONING: MS - MAIN STREET DISTRICT  
 ALL LOTS GREATER THAN 2,500 sqm, SHALL BE REQUIRED TO PROVIDE A MINIMUM OF 1 TREE PER 35 sqm, BASED ON 10% OF THE SITE, WHERE 40% OF THOSE TREES ARE CONIFEROUS.  
 ALL LOTS GREATER THAN 2,500 sqm, SHALL BE REQUIRED TO PROVIDE A MINIMUM OF 1 SHRUB PER 35 sqm, BASED ON 10% OF THE SITE.

TOTAL SITE AREA:	6719.76 sqm
10% OF TOTAL SITE AREA:	671.976 sqm
No. OF REQUIRED TREES:	20
No. OF REQUIRED SHRUBS:	20
No. OF PROVIDED TREES:	34
No. OF PROVIDED SHRUBS:	186
No. OF PROVIDED PERENNIALS:	68

### TREE PLANTING SETBACKS

TREES SHALL BE SET BACK A MINIMUM DISTANCE, MEASURED FROM CENTRE OF THE TREE TRUNK, TO THE FOLLOWING ITEMS:  
 3.5m FROM LIGHT STANDARDS/POWER HARDWARE  
 3.5m FROM FIRE HYDRANTS  
 3.5m - 5.0m FROM STOP SIGNS AND YIELD SIGNS  
 3.5m FROM TRANSIT ZONES  
 2.0m FROM OTHER SIGNS  
 1.0m FROM PRIVATE PROPERTY ON WALKWAY ROW  
 3.0m FROM PRIVATE PROPERTY ON OPEN PARKLAND  
 1.0m FROM PRIVATE PROPERTY ON BOULEVARDS  
 1.0m FROM SHALLOW UNDERGROUND UTILITIES (POWER, PHONE, CABLE)  
 CONTACT UTILITY - FROM GAS OR OIL ROW  
 1.5m FROM DEEP UNDERGROUND UTILITIES  
 1.8m FROM WASTE WATER AND STORM SEWERS  
 2.0m FROM WASTE WATER AND STORM SEWERS AND MANHOLES  
 2.0m FROM WATER MAINS  
 2.0m FROM ROAD MEDIAN CURB FACE  
 1.5m FROM ALL OTHER CURB FACE  
 1.0m FROM DRIVEWAYS  
 0.5m FROM SIDEWALKS

### MAINTENANCE NOTES

ALL LANDSCAPE MAINTENANCE TO MEET OR EXCEED MINIMUM STANDARDS OF CITY OF BEAUMONT GENERAL DESIGN STANDARDS AND LANDSCAPE SPECIFICATIONS.  
 LANDSCAPE CONTRACTOR TO PROVIDE FULL MAINTENANCE FOR ALL LANDSCAPING FOR A MINIMUM OF 2 FULL YEARS AFTER COMPLETION OF LANDSCAPE CONSTRUCTION.

THE 2 YEARS MINIMUM MAINTENANCE PERIOD DOES ONLY START ONCE THE CONSULTANT HAS ISSUED A SUBSTANTIAL COMPLETION REPORT.  
 ALL LANDSCAPING HAS TO BE IN TOP SHAPE AND NEEDS TO BE WELL MAINTAINED DURING MAINTENANCE PERIOD.

LANDSCAPE MAINTENANCE DOES INCLUDE, BUT IS NOT LIMITED TO: REGULAR MOWING, FERTILIZING, AERATING, WATERING, TOPDRESSING IF NECESSARY OF ALL GRASS AREAS.

LANDSCAPE MAINTENANCE DOES INCLUDE, BUT IS NOT LIMITED TO: WATERING, FERTILIZING, PRUNING, TOPPING UP OF MULCH, WEEDING, PEST AND DISEASE CONTROL, PLANT REPLACEMENT IF NECESSARY FOR ALL PLANT MATERIAL.

LANDSCAPE MAINTENANCE DOES INCLUDE FALL CLEAN UP AND SPRING CLEAN UP.  
 LANDSCAPE MAINTENANCE DOES INCLUDE REMOVAL OF GARBAGE IN LANDSCAPED AREAS.

LANDSCAPE CONTRACTOR TO ENSURE NO PARKED CARS GET DAMAGED IN PARKING LOT.  
 LANDSCAPE MAINTENANCE TO BE PERFORMED BY QUALIFIED PERSONNEL.

LANDSCAPE CONTRACTOR TO PROVIDE A DETAILED MONTHLY MAINTENANCE LOG TO GENERAL CONTRACTOR PRIOR TO RELEASE OF ANY PAYMENT FOR MAINTENANCE.

1 LANDSCAPE PLAN  
 L1.1 PLAN

### PLANTING SCHEDULE

TOTAL BOTANICAL NAME	COMMON NAME	COMMENTS
<b>DECIDUOUS TREES</b>		
10 Fraxinus pennsylvanica 'Rugby'	Prairie Spire Green Ash	65mm cal. min., 4.0 m ht. min., b. & b.
6 Quercus macrocarpa	Bur Oak	65mm cal. min., 3.5 m ht. min., b. & b.
8 Ulmus americana 'Brandon'	Brandon Elm	65mm cal. min., 4.0 m ht. min., b. & b.
<b>CONIFEROUS TREES</b>		
5 Picea glauca	White Spruce	2.5m ht. min., b. & b.
5 Pinus contorta latifolia	Lodgepole Pine	2.5m ht. min., b. & b.
<b>DECIDUOUS SHRUBS</b>		
63 Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	50cm ht. min., 5 major basal branches, 5 gal. pot
46 Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	50cm ht. min., 5 major basal branches, 5 gal. pot
11 Ribes alpinum	Alpine Currant	50cm ht. min., 5 major basal branches, 5 gal. pot
23 Spiraea bumalda 'Goldflame'	Goldflame Spirea	50cm ht. min., 5 major basal branches, 5 gal. pot
<b>CONIFEROUS SHRUBS</b>		
43 Juniperus sabinia 'Monna'	Calgary Carpet Juniper	75cm spread. min., 5 major basal branches, 5 gal. pot
<b>PERENNIALS</b>		
68 Calamagrostis acutiflora 'K. Foerster'	Karl Foerster Feather Reed Grass	2 gal. pot

### PLANTING NOTES

CONTRACTOR TO NOTIFY CONSULTANT FOR SELECTION OF ALL TREES AT LOCAL NURSERY. ALL TREES TO APPROVAL OF CONSULTANT.

PRIOR TO INSTALLATION OF TREES, THE CONTRACTOR SHALL ENSURE COORDINATION WITH ALBERTA FIRST CALL TO STAKE ALL UTILITIES. ALL PLANT MATERIAL TO HAVE REQUIRED SETBACK FROM UTILITIES. NO TREE STAKES WITHIN 1.0m OF POWER LINE.

PRIOR TO INSTALLATION OF TREES THE CONSULTANT WILL APPROVE STAKING OF ALL TREES AND TREE BEDS. CONTRACTOR TO NOTIFY CONSULTANT 48h PRIOR TO INSPECTION.

IF EXCAVATIONS ARE REQUIRED CLOSER THAN 1.0m TO UNDERGROUND POWER, PHONE, CABLE AND GAS ALIGNMENTS, HAND DIGGING UNDER THE SUPERVISION OF THE AFFECTED UTILITY IS REQUIRED.

SUBSTITUTION OF PLANT MATERIAL TO APPROVAL OF CONSULTANT. ONLY ELM GROWN IN ALBERTA WITH PROOF OF ORIGIN WILL BE ACCEPTED.

ENSURE ALL TREES HAVE A STRONG SINGLE LEADER, AND A NICE, WELL GROWN TYPICAL SHAPE.  
 TREES TO BE INSTALLED IN STRAIGHT LINES WHERE APPLICABLE AND WITH EQUAL SPACING BETWEEN.

ALL SHRUB BEDS 450mm DEPTH SOIL MIX MINIMUM. SHRUB SETBACK SHALL BE 450mm MIN. FROM EDGE OF SHRUB BED.

MULCH: USE 100mm DEPTH SHREDDED CONIFEROUS MULCH FOR ALL TREE PLANTING AND PLANTING BEDS UNLESS OTHERWISE NOTED. NO LANDSCAPE FABRIC REQUIRED UNDER SHREDDED MULCH UNLESS OTHERWISE NOTED.

EDGING: USE PERMALOC CLEAN LINE ALUMINUM EDGING BETWEEN GRASS AND SHRUB AND PERENNIAL BEDS, AND GRASS AND ROCK MULCHED AREAS. EDGING INSTALLED AS PER MANUFACTURERS INSTRUCTIONS. EDGING TO BE STRAIGHT AND FLUSH WITH SOD. NO EDGING IS REQUIRED FOR SINGLE TREES IN GRASS AREAS.

ENSURE CONTROL OF NOXIOUS WEEDS FOR ALL LANDSCAPED AREAS.

ALL LANDSCAPE CONSTRUCTION AND MAINTENANCE (TWO YEARS MINIMUM) TO BE COMPLETED BUT NOT LIMITED TO MINIMUM STANDARDS OF CITY OF BEAUMONT GENERAL DESIGN STANDARDS AND LANDSCAPE SPECIFICATIONS.

TOTAL LANDSCAPE AREA: 1171.66sqm (17% OF TOTAL SITE AREA)

Approved: May 29, 2024  
 Permit #: 2024-30

City of Beaumont Development Officer  
 Shawn Hipkiss

### Project

**ESPRIT MIXED-USE**

Scale	AS SHOWN	Designed By	SL
Project No.	23044	Drawn By	IP
Start Date	2024.05.17	Checked By	SL

### LANDSCAPE PLAN

Drawing No.

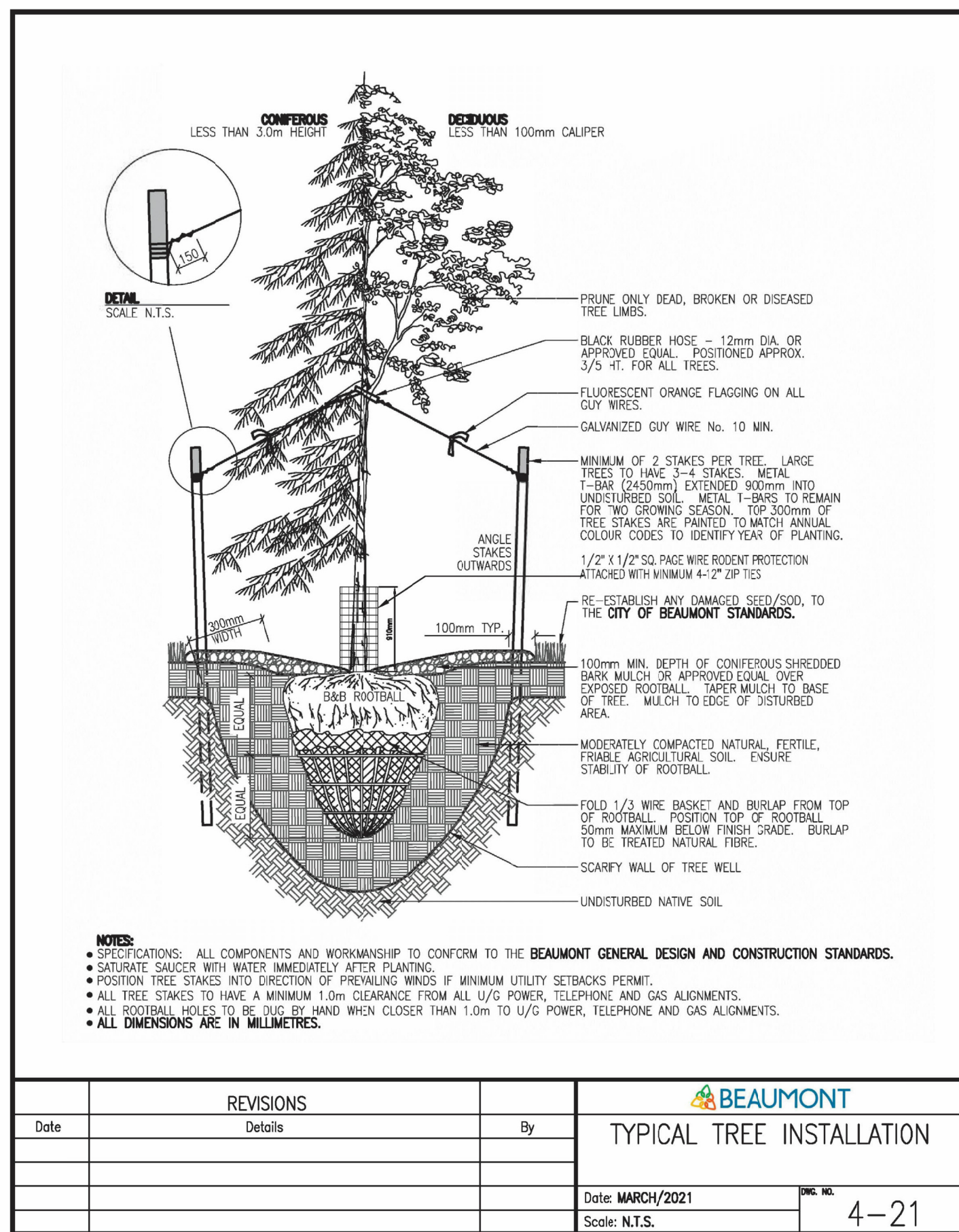
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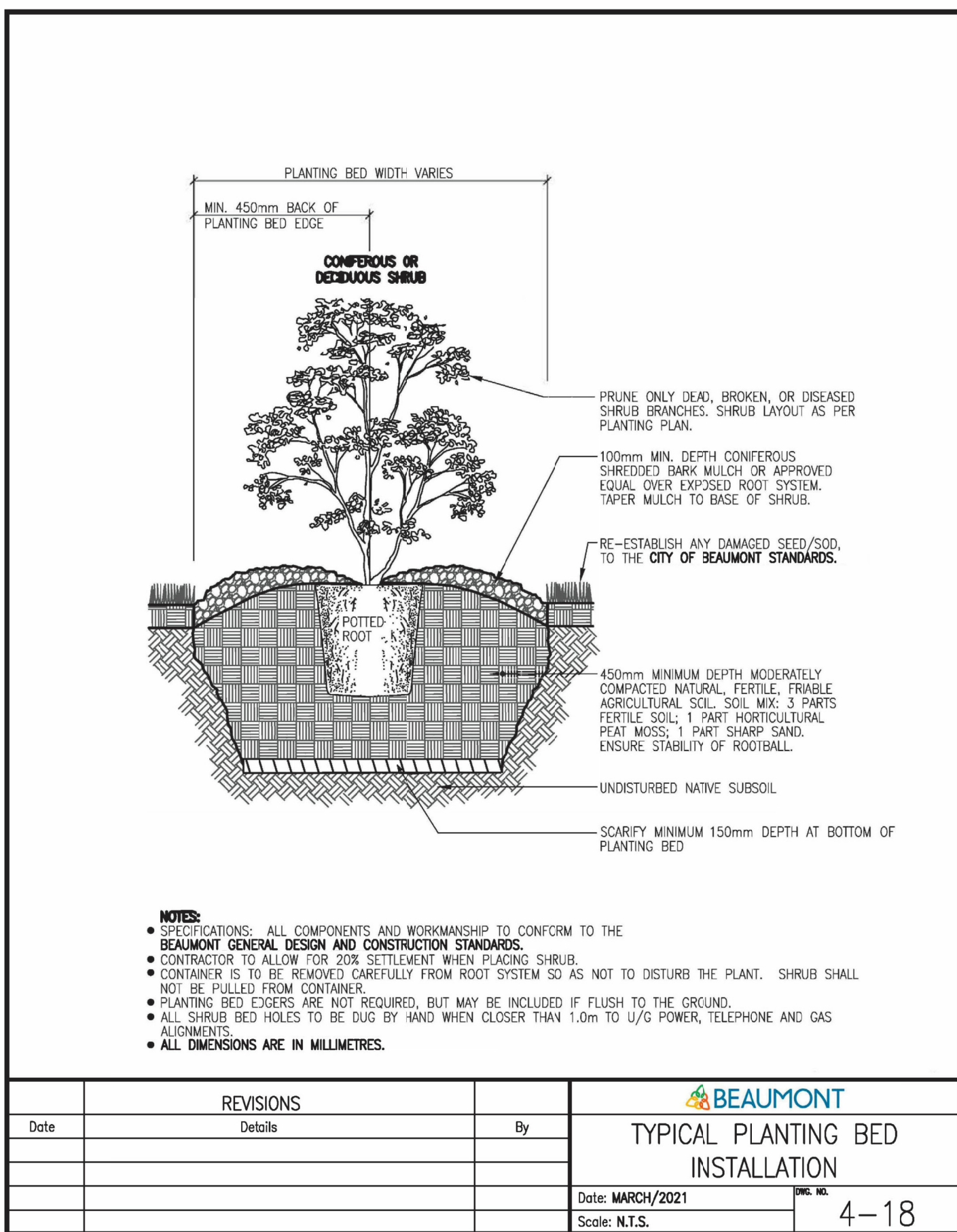


**Notes:**

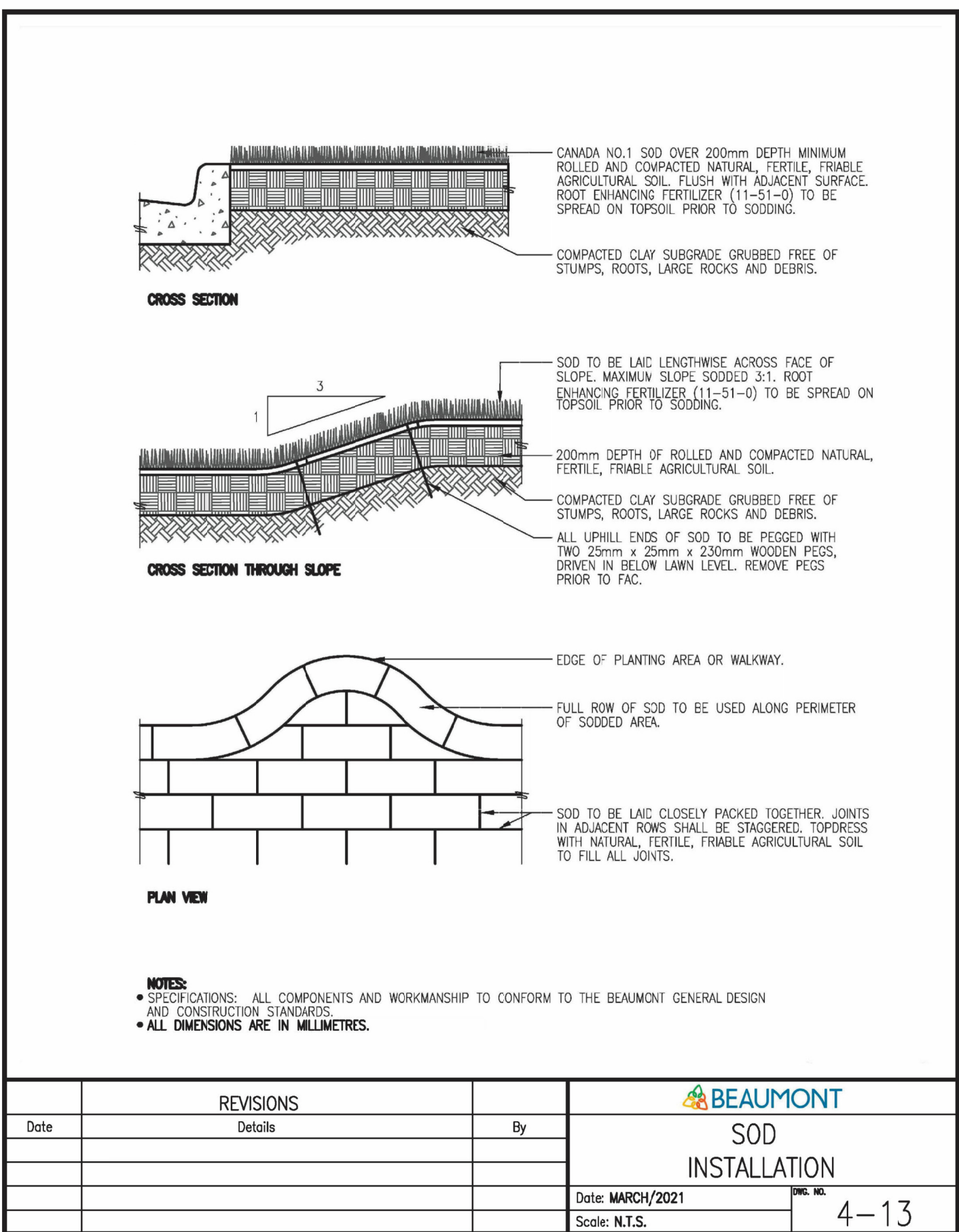
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REVISIONS			Date: MARCH/2021 Scale: N.T.S.	4-21
Date	Details	By		



REVISIONS			Date: MARCH/2021 Scale: N.T.S.	4-18
Date	Details	By		



REVISIONS			Date: MARCH/2021 Scale: N.T.S.	4-13
Date	Details	By		

1 | TYPICAL TREE INSTALLATION DETAIL | SECTION | N.T.S.

2 | TYPICAL PLANTING BED INSTALLATION DETAIL | SECTION | N.T.S.

3 | TYPICAL SOD INSTALLATION DETAIL | SECTION | N.T.S.

Approved: May 29, 2024  
Permit #: 2024-30

City of Beaumont Development Officer  
Shawn Hipkiss

No.	Description	Date	By
1	ISSUED FOR DP	06-03-2024	SL
2	ISSUED FOR REVIEW	09-04-2024	SL
3	ISSUED FOR DEVELOPMENT PERMIT	17-05-2024	SL



Project  
ESPRIT MIXED-USE

Scale	AS SHOWN	Designed By	SL
Project No.	23044	Drawn By	IP
Start Date	2024.05.17	Checked By	SL

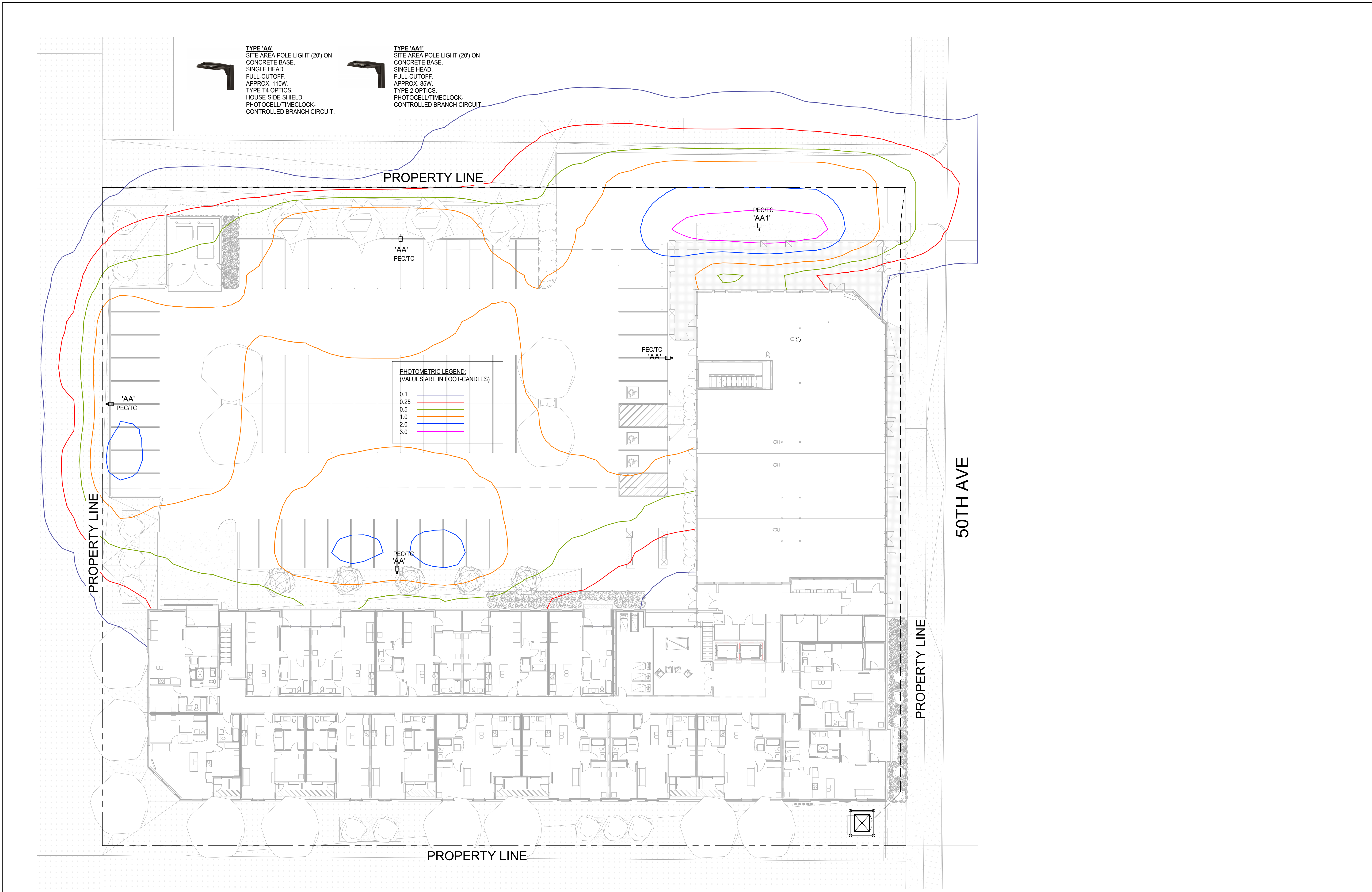
Drawing Title  
LANDSCAPE  
DETAILS

Drawing No.

L1.2

PLOTTED:





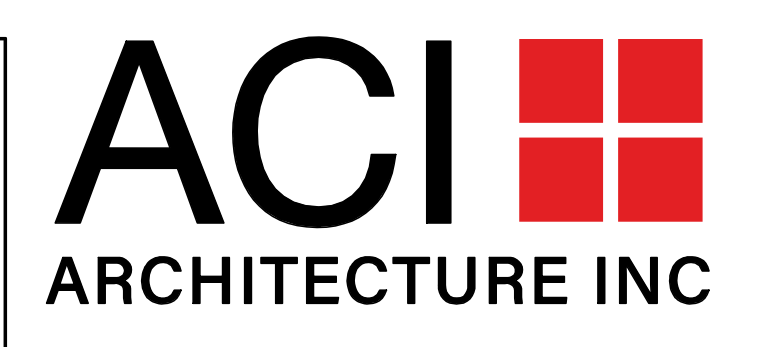
**TYPE 'AA'**  
SITE AREA POLE LIGHT (20') ON CONCRETE BASE. SINGLE HEAD. FULL-CUTOFF. APPROX. 110W. TYPE T4 OPTICS. HOUSE-SIDE SHIELD. PHOTOCELL/TIMELOCK-CONTROLLED BRANCH CIRCUIT.

**TYPE 'AA1'**  
SITE AREA POLE LIGHT (20') ON CONCRETE BASE. SINGLE HEAD. FULL-CUTOFF. APPROX. 85W. TYPE 2 OPTICS. PHOTOCELL/TIMELOCK-CONTROLLED BRANCH CIRCUIT.

**PHOTOMETRIC LEGEND**  
(VALUES ARE IN FOOT-CANDLES)

0.1  
0.25  
0.5  
1.0  
2.0  
3.0

**1 SITE - LIGHTING**  
E0A SCALE 1:200



17225 - 102 Avenue Edmonton AB T5S 1J8 Canada  
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No.	Description	Date	By
1	ISSUED FOR DP (PRELIM. SITE LIGHTING)	24.03.07	TB/C/S
3	ISSUED FOR DP (SITE LIGHTING)	24.05.01	TB/C/S



Project  
**ESPRIT MIXED-USE**

Scale 1:200  
Designed By JT/TB  
Project No. 24006  
Drawn By JT/TB  
Start Date MAY 2024  
Checked By TB/C/S

**SITE PLAN - LIGHTING**

Drawing No.  
**E0A**

Approved: May 29, 2024  
Permit #: 2024-30  
City of Beaumont Development Officer  
Shawn Hipkiss