

Development Permit
Notice of Decision
REVISED – October 11, 2024

Date of Decision: August 13, 2021

EFG Architects Inc. C/O Perry Dixon & Ed Gooch
9834 105 Street
Edmonton, AB T5K 1A6

Via e-mail: pdixon@efgarchitects.com/egooch@efgarchitects.com

Proposed Development: Multi-Attached Dwelling: *85 Apartments and 42 Townhouses*
Amendment: Removal of the underground parking and to be replaced with surface parking, landscaping, and a play area

Legal Description: Plan 202 2084, Block 5, Lot 3
Municipal Address: 4701 32 Avenue, Beaumont, AB
Land Use District: Integrated Neighbourhood
Permit Application No: 2021-338
Tax Roll: 009491

Development Permit Status: Approved with conditions

Development Permit Conditions

This is to advise that the amendments to Development Permit 2021-338 have been conditionally approved as follows: for a Permitted Use within the Integrated Neighbourhood District, and has been approved by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

1. All other conditions of Development Permit 2021-338 remain in full force and effect except as otherwise amended herein.
2. The apartment underground parkade has been removed thus providing for 12 surface parking stalls. No variance is required to parking.
3. The landscaping requirements have been revised to accommodate the removal of the underground parkade. The Applicant shall ensure there are 39 trees, 16 of which are coniferous and 23 deciduous as shown on the approved attached plans. No variance is required to landscaping.
4. The lighting locations have been revised to accommodate additional lighting for the surface parking stalls and play area.
5. The design of the solid waste receptors have been revised to provide for molok 2 stream waste diversion. No variance is required to solid waste.

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6. The design of the amenity space has been revised to accommodate the removal of the underground parkade entrance and exit and replaced with a designated play area (88.25m²). No variance is required.
7. The Applicant shall amend the existing Development Agreement (dated January 31, 2022) to incorporate the changes related to landscaping and site grading in Schedule E – Securities. This amendment shall be completed prior to the submission of the building permit for the apartment.
8. The drawings attached hereto form a part of the amended Development Permit 2021-338.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this amending development permit:

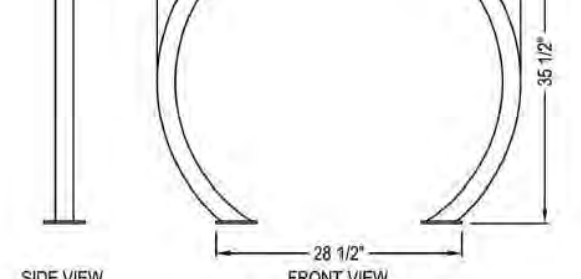

Aleshia Ingram
Planner II
780-340-0342

Aleshia.Ingram@beaumont.ab.ca

cc:

Olly Morrison, Chief Financial Officer, DCAO Internal Services
Kendra Raymond, Director, Planning & Development
Jennifer Niesink, Director, Economic Development
Jay Melvin, Director, Protective Services & Fire Chief
Aaron Lewicki, Director, Infrastructure
Paul Suiter, Director, Community Services
Ryan Anders, Manager, Engineering & Environment
Joannes Wong, Manager, Long Range Planning
Wendy Jones, Manager, Investment Attraction & Growth
Bryce Piacentini, Manager, Parks and Roads Operations
Ryan Orlovsky, Manager, Facility & Utility Operations
Cory Chartrand, Municipal Projects
Brad McMurdo, Manager, Development Services
Yasmin Sharp, Senior Planner
Carley Krahn, Fire Prevention Officer
Joe Ross, Safety Codes Team Lead
Parth Mehta, Engineering Lead
Iolanda Troiani, Engineering Coordinator
Sara Edge, Operations Facility Administrative Assistant
Troy Birtles, Accurate Assessment

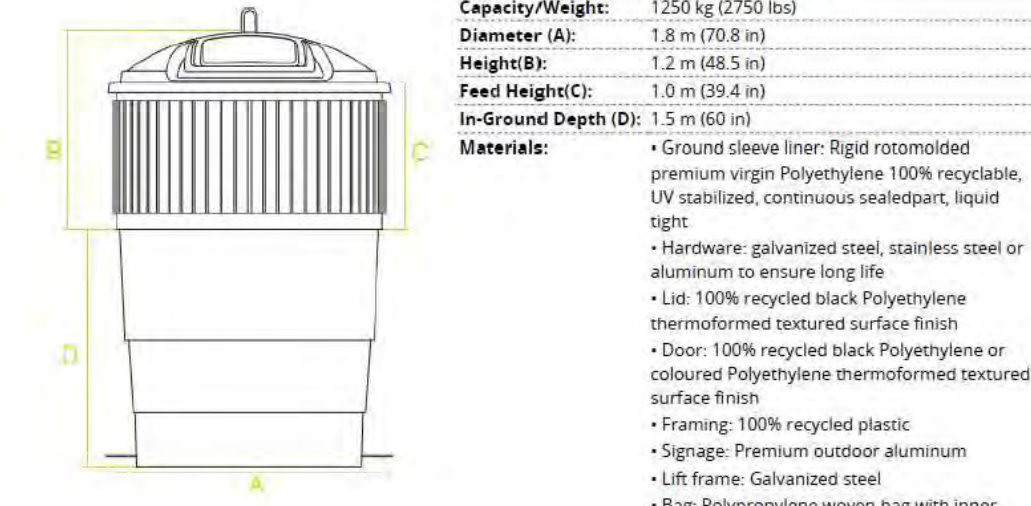
- SELECT DESIRED SUPER DURABLE POWDER COATED GALVANIZED STEEL FRAME:
- BROWN SLATE
 - VICTOR RIDGE II
 - NORDIC LICHEN
 - TIMELESS RUST
 - GREY GOLD
 - TEXTURED SILVER
 - PRECIOUS SAND
 - GROOVY RED
 - BLACK TEXTURED
 - EARTH CLAY
 - NOBLE BRONZE
 - MODERN KHAKI



- SPECIFICATIONS:**
- SHOT DIPPED GALVANIZED STEEL TUBING AND SURFACE MOUNT PLATE
 - SURFACE MOUNT HEIGHT: 36" (914 MM)
 - WIDTH: 24" (610 MM)
 - WEIGHT: 16 LBS / 7.25 KG
 - RECYCLED CONTENT: 100% RECYCLABLE
- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 2. DO NOT SCALE DRAWING
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info AND ENTER REFERENCE NUMBER 4289-043.

2 BICYCLE RACK DETAILS
A1.0 N.T.S.

Shop Drawings
Signage Required: Garbage
Quantity to Order: 2



Materials:

- Ground sleeve liner: Rigid rotomolded premium virgin Polyethylene 100% recyclable, UV stabilizers, continuous sealed joint, liquid tight
- Hardware: galvanized steel, stainless steel or aluminum to ensure long life
- Lid: 100% recycled black Polyethylene thermofomed textured surface finish
- Door: 100% recycled black Polyethylene or coloured Polyethylene thermofomed textured surface finish
- Framing: 100% recycled plastic
- Signage: Premium outdoor aluminum
- Lift frame: Galvanized steel
- Bag: Polypropylene woven bag with inner liner: polypropylene woven bag with Polyethylene liquid retention tank.

Quick System: (Diagram showing lid operation)

Lid Options: (Diagrams showing different lid styles)

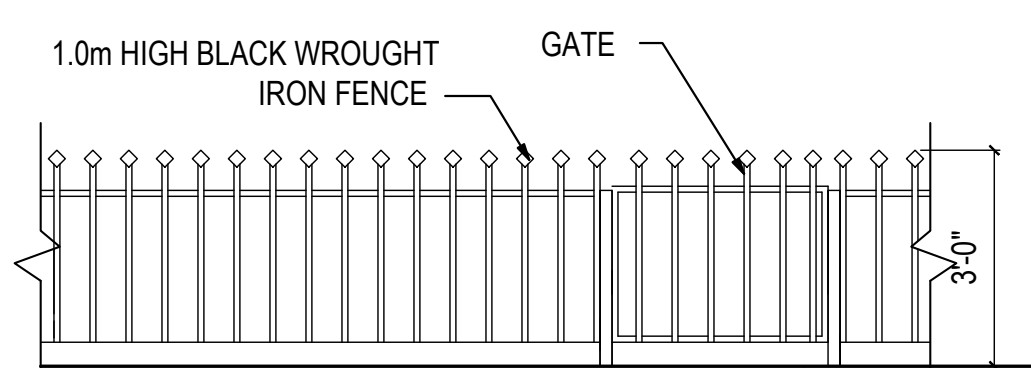
Feed Door Options: (Diagrams showing different door styles)

Architectural Panel Options: (Color swatches for panels)

Lock Options: (Diagrams showing different lock types)

Liner Options: (Diagrams showing different liner types)

3 SILO GARBAGE BIN DETAILS
A1.0 N.T.S.



4 WROUGHT IRON FENCE DETAILS
A1.0 N.T.S.



ADDRESS
4607 32 AVENUE
BEAUMONT, ALBERTA

LEGAL DESCRIPTION
LOT - 3
BLOCK - 5
PLAN - 2022084

SITE AREA
AREA : 144,440 S.F. = 3.315 ACRES = 1.34 ha
DP NUMBER = 2021-338

ZONING - INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

SUITE COUNT

APARTMENTS (BUILDING-1)
1 BEDROOM - A = 20 (629 S.F. = 58.43m ²)
2 BEDROOM - B = 46 (824 S.F. = 76.55m ²)
2 BED-DEN - C = 16 (939 S.F. = 87.23m ²)
2 BEDROOM - D = 03 (791 S.F. = 73.48m ²)
TOTAL = 85
TOWNHOUSES MAIN SECOND THIRD
3 BEDROOM - T = 21 249 S.F.(23.13m ²)+680 S.F.(63.17m ²)+680 S.F.(63.17m ²)=1,609 S.F.(149.47m ²)
3 BEDROOM - T1 = 03 249 S.F.(23.13m ²)+680 S.F.(63.17m ²)+680 S.F.(63.17m ²)=1,609 S.F.(149.47m ²)
2 BEDROOM - T2 = 05 120 S.F.(11.15m ²)+528 S.F.(49.05m ²)+528 S.F.(49.05m ²)=1,176 S.F.(109.25m ²)
2 BEDROOM - T3 = 13 120 S.F.(11.15m ²)+528 S.F.(49.05m ²)+528 S.F.(49.05m ²)=1,176 S.F.(109.25m ²)
TOTAL = 42

BUILDING AREA

APARTMENTS BUILDING-1
MAIN = 20,330 S.F.(1888.72m ²)
TYPICAL 20,180X3 = 60,390 S.F.(5610.41m ²)
TOTAL = 80,720 S.F.(7499.13m²)
TOWNHOUSES BUILDING - 2 (5 PLEX)
MAIN = 3,308 S.F.(307.32m ²)
SECOND = 3,408 S.F.(316.61m ²)
THIRD = 3,408 S.F.(316.61m ²)
TOTAL = 10,124 S.F.(940.54m²)
TOWNHOUSES BUILDING - 3 (4 PLEX)
MAIN = 3,485 S.F.(323.76m ²)
SECOND = 3,634 S.F.(337.60m ²)
THIRD = 3,634 S.F.(337.60m ²)
TOTAL = 10,753 S.F.(998.96m²)
TOWNHOUSES BUILDING - 8 (3 PLEX)
MAIN = 1,827 S.F.(169.73m ²)
SECOND = 1,897 S.F.(176.23m ²)
THIRD = 1,897 S.F.(176.23m ²)
TOTAL = 5,621 S.F.(522.19m²)
TOWNHOUSES BUILDING - 9 (4 PLEX)
MAIN = 2,326 S.F.(216.09m ²)
SECOND = 2,426 S.F.(225.38m ²)
THIRD = 2,426 S.F.(225.38m ²)
TOTAL = 7,178 S.F.(666.85m²)

COMMON AMENITY AREA

COMMON AMENITY AREA PROVIDED
INDOOR AMENITY AREA = 65.96m ²
OUTDOOR AMENITY AREA = 88.25m ²
TOTAL = 154.21m²

F.A.R.

BUILDING AREA = 157,408 S.F.
SITE AREA = 144,440 S.F. = 1.09

SITE COVERAGE

BUILDING AREA MAIN = 45,216 S.F.
SITE AREA = 144,440 S.F. = 31.30%
ASPHALT PAVING AREA (DRIVEWAYS+PARKING) = 49,216 S.F./144,440 S.F. = 34.07%

PARKING

PARKING REQUIRED (APARTMENTS)
UNITS OVER 75m ² = 62X1.0 = 62.00
VISITORS 85X.2 = 17.00
TOTAL REQUIRED = 79.00
PARKING PROVIDED (APARTMENTS)
SURFACE PARKING = 96.00
TOTAL PROVIDED = 96.00
PARKING REQUIRED (TOWNHOUSES)
UNITS OVER 75m ² = 42X1.0 = 42.00
VISITORS 42X.2 = 8.40
TOTAL REQUIRED = 50.40
PARKING PROVIDED (TOWNHOUSES)
GARAGE PARKING = 66.00

AVG. GRADE
715.88+715.76+714.85+715.43 = 715.48

LEGEND

- EXISTING GRADE(m)
- NEW GRADE(m)
- FIRE HYDRANT

HARDSURFACE AREAS
ALL ROADS AND PARKING AREAS ARE ASPHALT PAVING

efg
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9834-105 Street
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THIS DRAWING SUPERSEDES PREVIOUS ISSUES.

Client
LANDREX INC.

Note:

EAST PINE

Project Address:
4607 30 AVENUE
BEAUMONT, ALBERTA

Issued:
14 - 10/30/2023 - PLAN EXAM-B#3
15 - 01/09/2024 - REISSUED FOR B1 DP
16 - 03/27/2024 - REISSUED FOR BP-B1
17 - 05/31/2024 - BLDG#4&5 UPDATES
18 - 08/06/2024 - BLDG#4&5 IFBP
19 - 07/07/2024 - BLDG#6&7 IFBP
20 - 07/31/2024 - BLDG#8&9 UPDATES
21 - 09/06/2024 - BLDG#8&9 IFBP

Project No. Version:
EG1434 V3

Date
10/02/2024

Drawing Title
OVERALL SITE PLAN

Drawing No.
A1.0

Seal

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08 - 08/14/2023 - CLIENT CHANGES
09 - 09/13/2023 - REISSUED FOR BP-B#2
10 - 09/19/2023 - CLIENT CHANGES-B#3
11 - 09/21/2023 - REISSUED FOR BP-B#3
12 - 10/19/2023 - PLAN EXAM-B#2
13 - 10/24/2023 - PLAN EXAM-B#2
14 - 10/30/2023 - PLAN EXAM-B#3
15 - 01/09/2024 - REISSUED FOR B1 DP

Project No. Version:
EG1434 V3

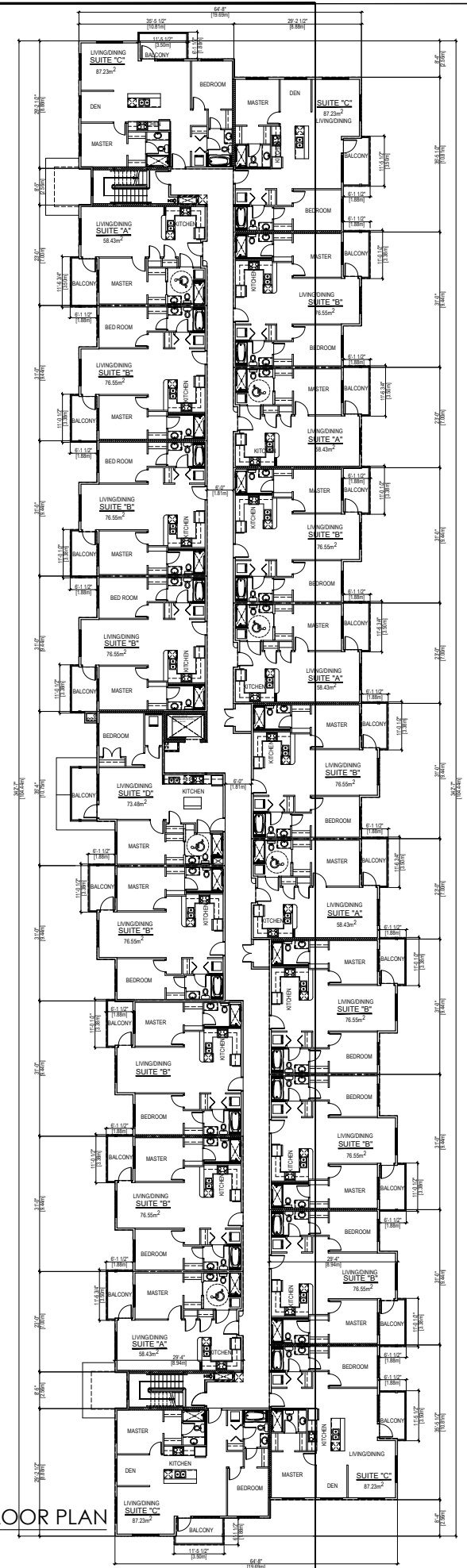
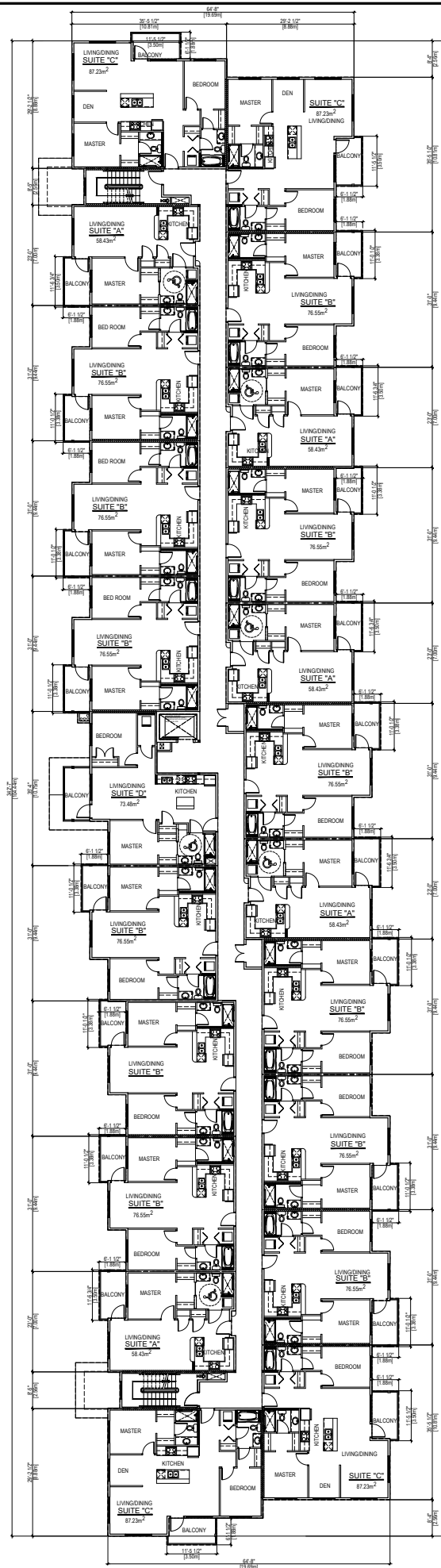
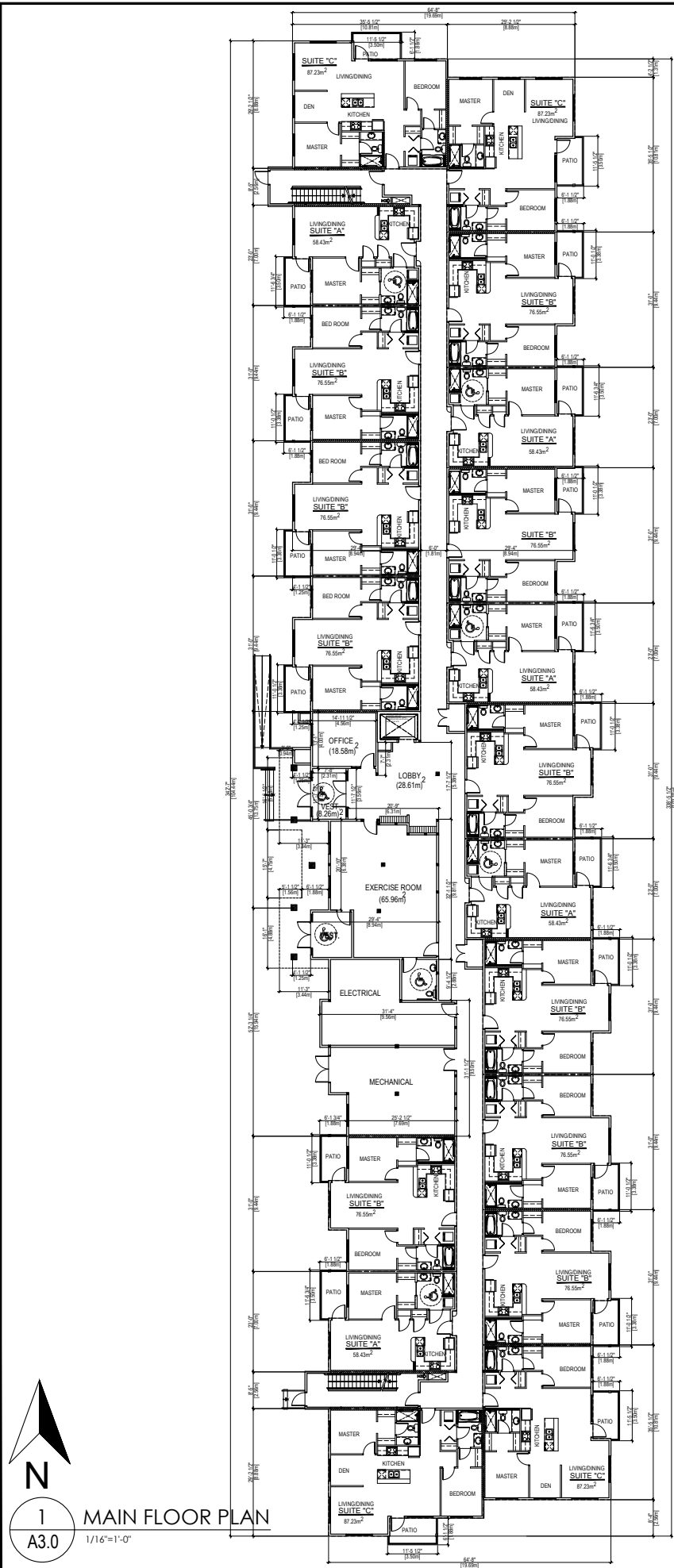
Date
01/08/2024

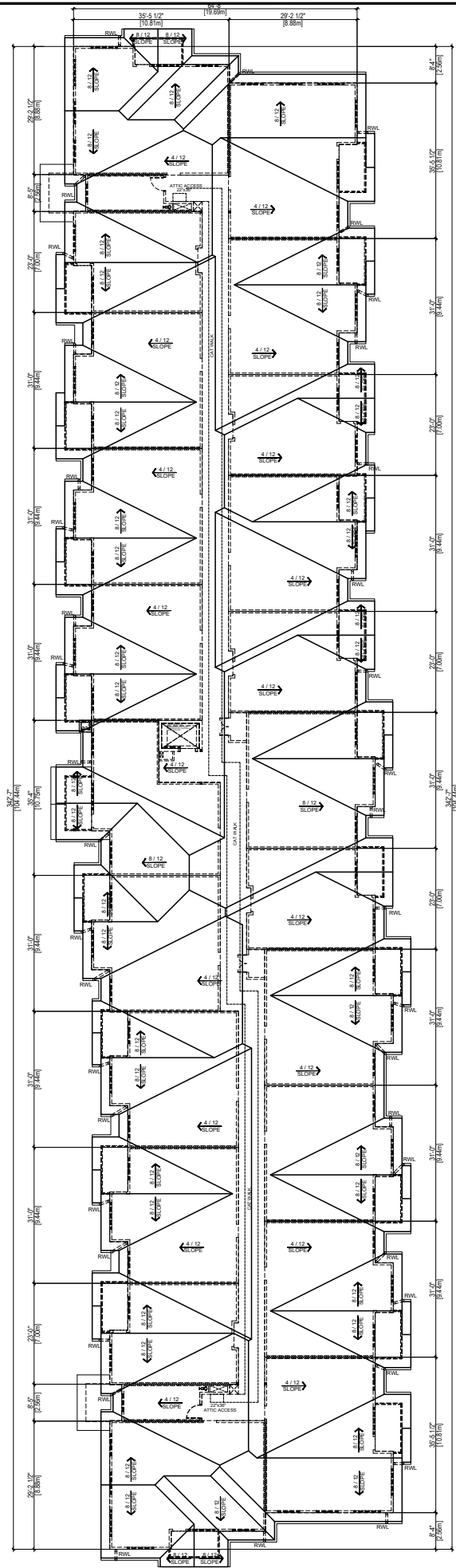
Drawing Title
OVERALL FLOOR PLANS

(BUILDING #1)

Drawing No.

A3.0





1 ROOF PLAN
A4.0 1/16"=1'-0"

ROOF LEGEND

- TYPICAL ROOF - SLOPED**
FIRE RATING : 1HR - NBC(AE) 2019 (D-2.3.12.)
SPRINKLER BELOW
- ASPHALT SHINGLES
 - FELT
 - EXTERIOR GRADE SHEATHING (AS PER STRUCTURAL)
 - PRE-ENGINEERED WOOD TRUSSES
 - R40 BATT INSULATION
 - 6mil POLY VAPOUR BARRIER
 - 5/8" TYPE X GYPSUM CEILING BOARD
 - 5/8" TYPE X GYPSUM CEILING BOARD (REFER TO STRUCTURAL / TRUSS SUPPLIER FOR DETAILS)

NOTES

- ROOF SLOPES:
 ① MAIN ROOF SLOPE = 4/12
 HIPS AND GABLE ROOF SLOPES = 12/12
 UNLESS NOTED OTHERWISE
- ② TYPICAL OVERHANG TO BE 2'0"
 UNLESS NOTED OTHERWISE.
- ③ SPRINKLERED TO NFPA 13
- ④ PROVIDE 4-2x10 PLANK WALK-WAY IN ATTIC,
 MOUNTED ABOVE INSULATION CONTINUOUS FROM
 ATTIC ACCESS TO ATTIC ACCESS
- ⑤ 1 HOUR FIRE RATE ATTIC HATCHES:
 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD
 1HR NBC 2019 D2.3.12
 ON 3/4" PLYWOOD SECURE IN PLACE WITH SCREWS
 OR LATCHES.
- ⑥ SADDLES:
 CONSTRUCT SADDLES MINIMUM SLOPE 1/12 TO DRAIN
 ROOF AREAS WITH LEVEL VALLEYS. FLASH SADDLES
 UNDER SHINGLES WITH ICE AND WATERSHIELD
 MEMBRANE. EXTEND 24" VERTICALLY MINIMUM ON ALL
 SURFACES VALLEYS AND JUNCTIONS WITH WALLS ABOVE
 ROOF
- ⑦ TRUSS HEEL TO PROVIDE FOR SOFFIT LEVEL WITH TOP OF
 WALL PLATE
 PROVIDE VENTED SOFFIT UNLESS OTHERWISE NOTED
 USE ATTIC INSULATION STOPS FOR FREE AIR FLOW
 CUT SHEATHING OFF MAIN ROOF UNDER GABLES

LEGEND

	22x36 ATTIC HATCH FOR DETAILS
	RAIN WATER LEADER



Seal

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 13 - 10/24/2023 - PLAN EXAM-B#2
 14 - 10/30/2023 - PLAN EXAM-B#3
 15 - 01/09/2024 - REISSUED FOR B1 DP

Project No. Version:
 EG1434 V3

Date
 01/08/2024

Drawing Title
 OVERALL ROOF PLAN
 (BUILDING #1)

Drawing No.

A4.0



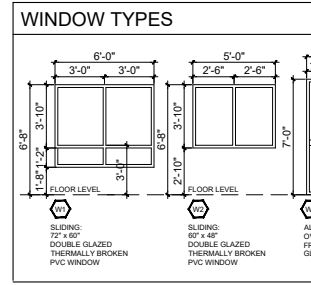
1 WEST ELEVATION
A5.0 3/32"=1'-0"



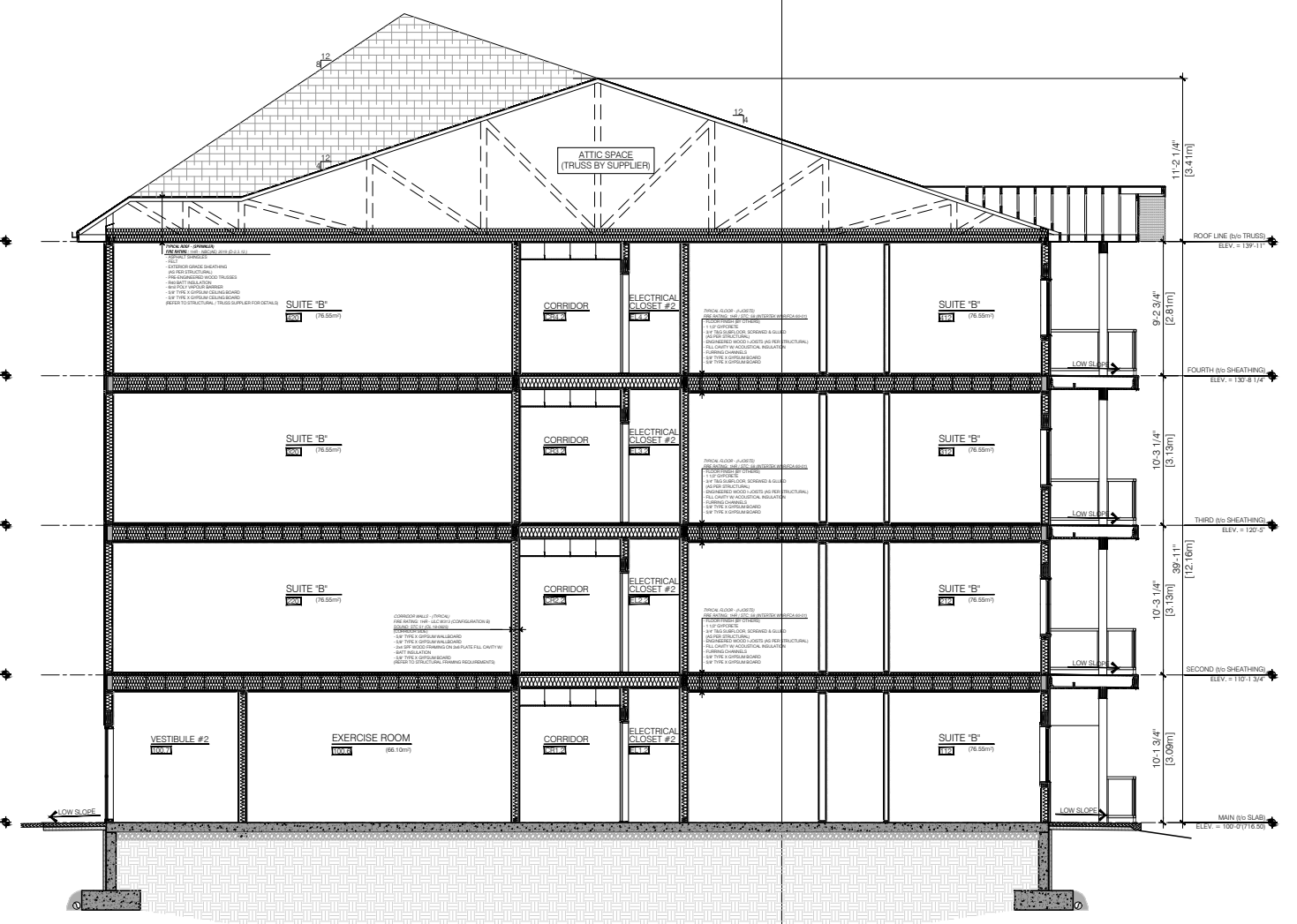
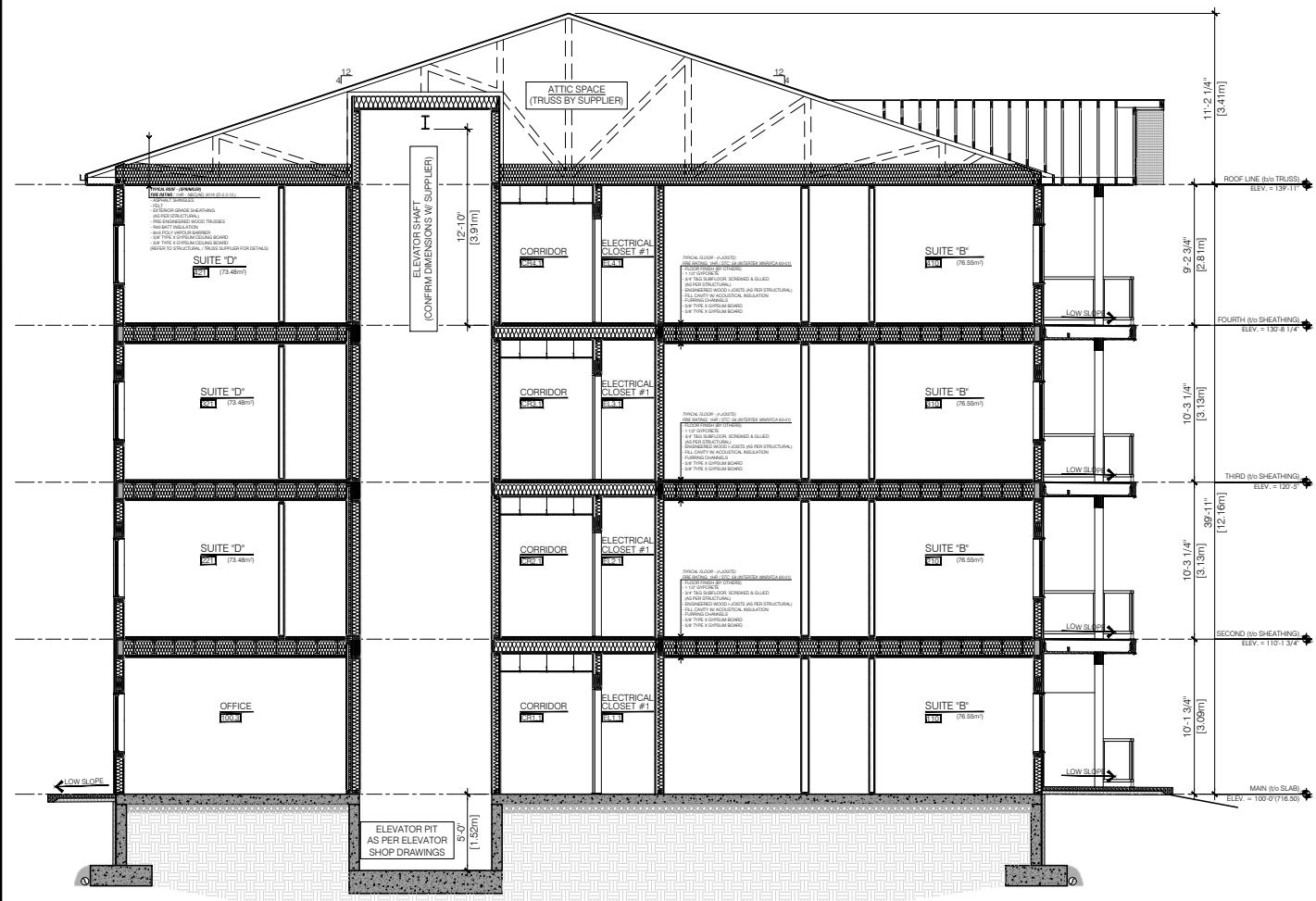
2 SOUTH ELEVATION
A5.0 3/32"=1'-0"



3 NORTH ELEVATION
A5.0 3/32"=1'-0"



4 EAST ELEVATION
A5.0 3/32"=1'-0"

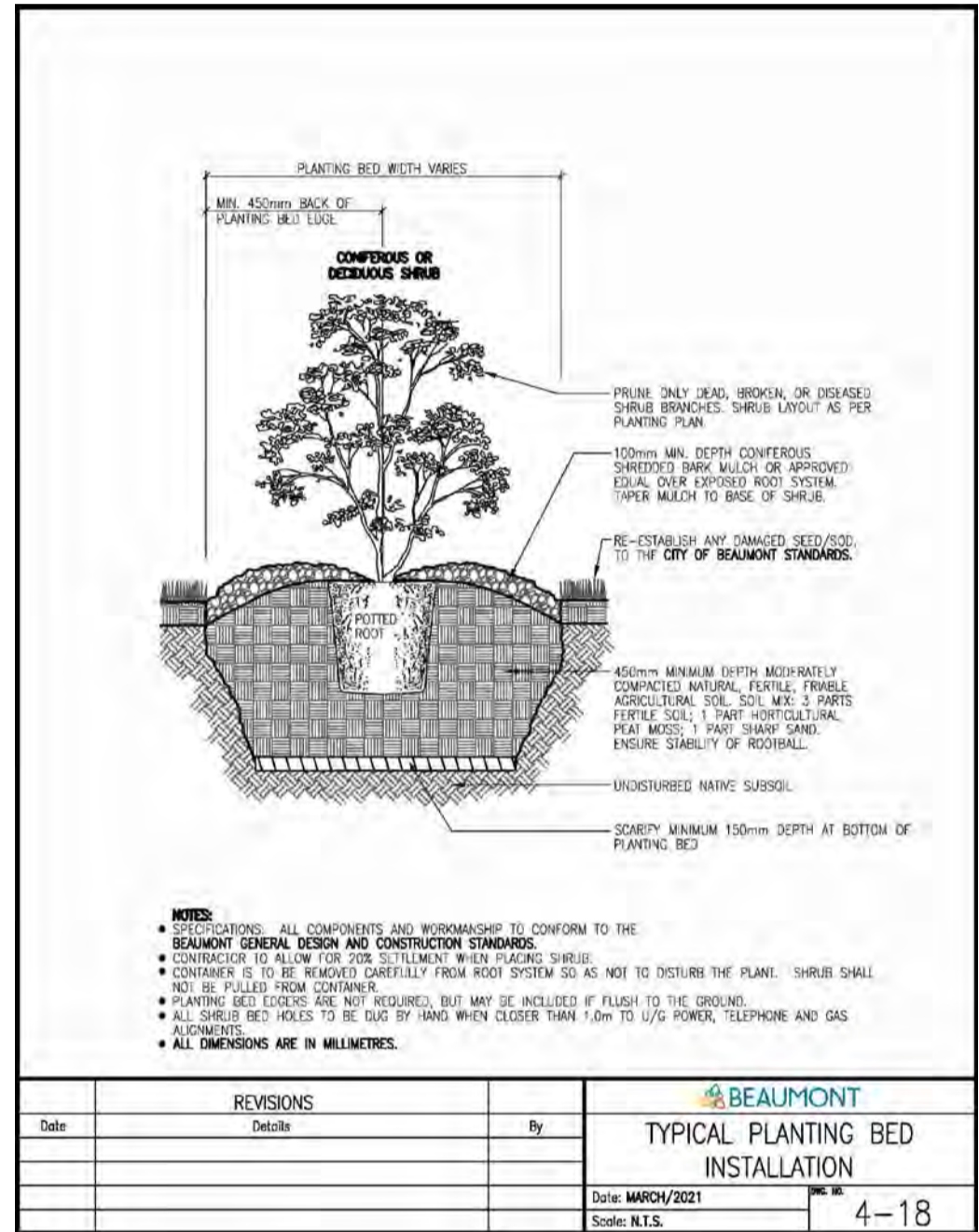
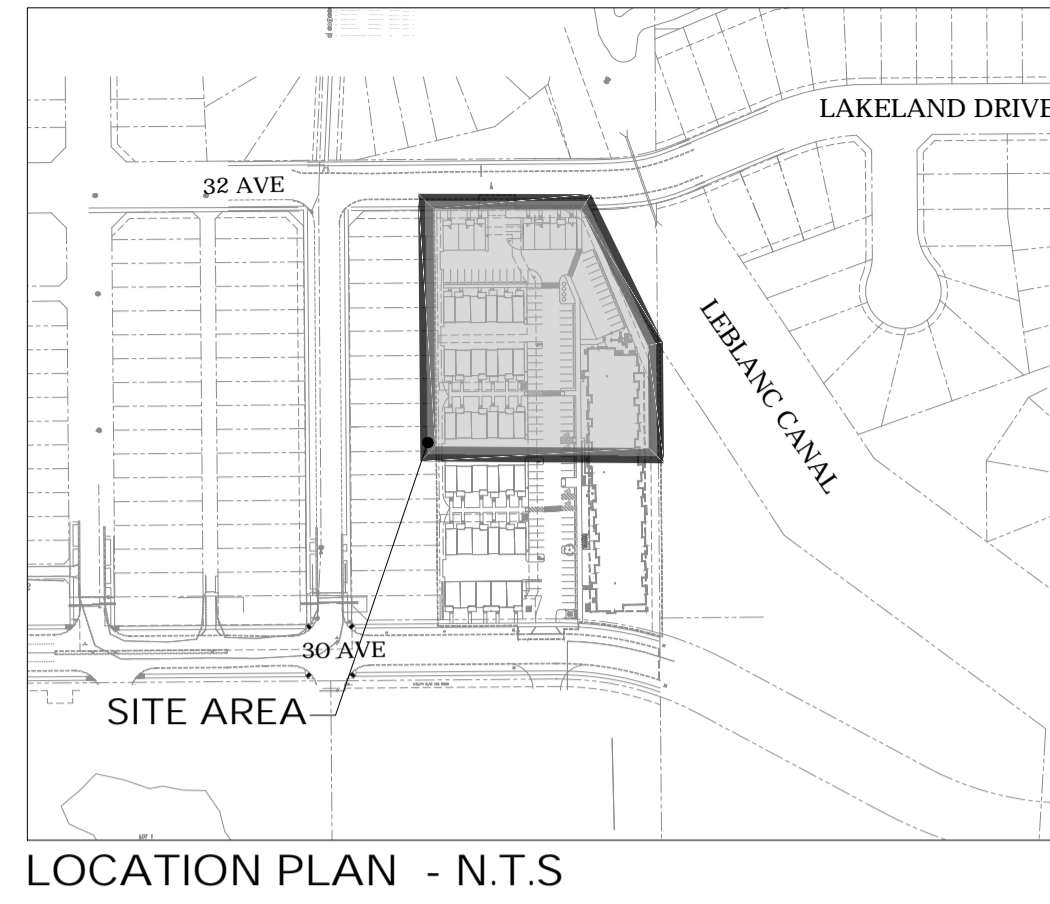


1 CROSS SECTION @ ELEVATOR SHAFT
A6.0 3/16" = 1'-0"

2 CROSS SECTION @ DROPPED SLAB
A6.0 3/16" = 1'-0"

D.P LANDSCAPE REQUIREMENTS

TOTAL 10% SITE AREA = 1,330m ²		
Plant Material	Required	Provided
(10% Site Area / 35 + 1 Tree per parking island) = Required Trees	45	51
(10% Site Area / 35 + 3 Shrubs per parking island) = Required Shrubs	59	91
TOTAL SOD AREA: 2,930m²		
TOTAL SHRUB BED AREA: 580m²		



LEGEND:

○	CATCH BASIN
⊕	VALVE (WATER OR GAS)
⊙	HYDRANT
⊛	LIGHT STANDARD
⊠	SWITCHING CUBICLE
⊞	TRANSFORMER
⊟	STORM LINE
⊠	SANITARY LINE
⊡	WATER LINE
⊢	CATCH BASIN LEAD
⊣	UTILITY EASEMENT
⊤	UNDERGROUND POWER
⊥	UNDERGROUND GAS
▨	SODDED AREA
▩	SHREDDED MULCHED AREA
■	CONCRETE WALK

- NOTES:
- ALL TREE STAKES FOR TREES PLANTED IN 2023 TO BE PAINTED GREEN. ALL TREE STAKES FOR TREES PLANTED IN 2024 TO BE PAINTED BLUE. TREE STAKES ARE NOT PERMITTED WITHIN 1.0m OF U/G ELECTRICAL TRENCHES.
 - PRIOR TO INSTALLATION OF THE PLANT MATERIAL, THE CONTRACTOR SHALL ENSURE COORDINATION WITH ALBERTA FIRST CALL TO LOCATE AND STAKE ALL UNDERGROUND UTILITIES. CALL 1-800-242-3447. ALBERTA FIRST CALL TO ARRANGE FOR STAKING OF ALL FACILITIES 48 HOURS PRIOR TO ANY CONSTRUCTION.
 - ALL TREE PLANTING TO FOLLOW THE SET BACK DISTANCES TO SHALLOW AND DEEP UTILITIES AS PER THE CITY OF BEAUMONT GENERAL DESIGN STANDARDS IN ITS LATEST EDITION.
 - IF EXCAVATIONS ARE REQUIRED CLOSER THAN 1.0m TO UNDERGROUND UTILITIES, THE CONTRACTOR TO CONTACT THE APPROPRIATE UTILITY TO APPROVE, REVIEW AND/OR DEFINE SAFE PROCEDURES FOR THESE EXCAVATIONS.
 - ALL PLANT MATERIAL SHALL BE SUPPLIED FROM CERTIFIED CLEAN NURSERIES. IF THE CONTRACT PLANT MATERIAL IS UNAVAILABLE FROM CERTIFIED CLEAN NURSERIES THE DEVELOPER/CONTRACTOR MAY CONTACT THE PARKS AND FACILITIES DIVISION FOR APPROVAL OF PURCHASE FROM ALTERNATIVE LOCAL VENDORS.

APPROVALS:

DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT	DATE
REVISION:	
01 RE-ISSUED FOR DEVELOPMENT	NA JH 07/09/24
02	
03	
04 RE-ISSUED FOR DEVELOPMENT	CK DB 04/26/24
04 ISSUED FOR DEVELOPMENT	RF 06/15/22
02 APPROVED FOR CONSTRUCTION	JH 09/02/21
01 ISSUED FOR DEVELOPMENT PERMIT	NA KE 06/28/21
BY APPD	DATE

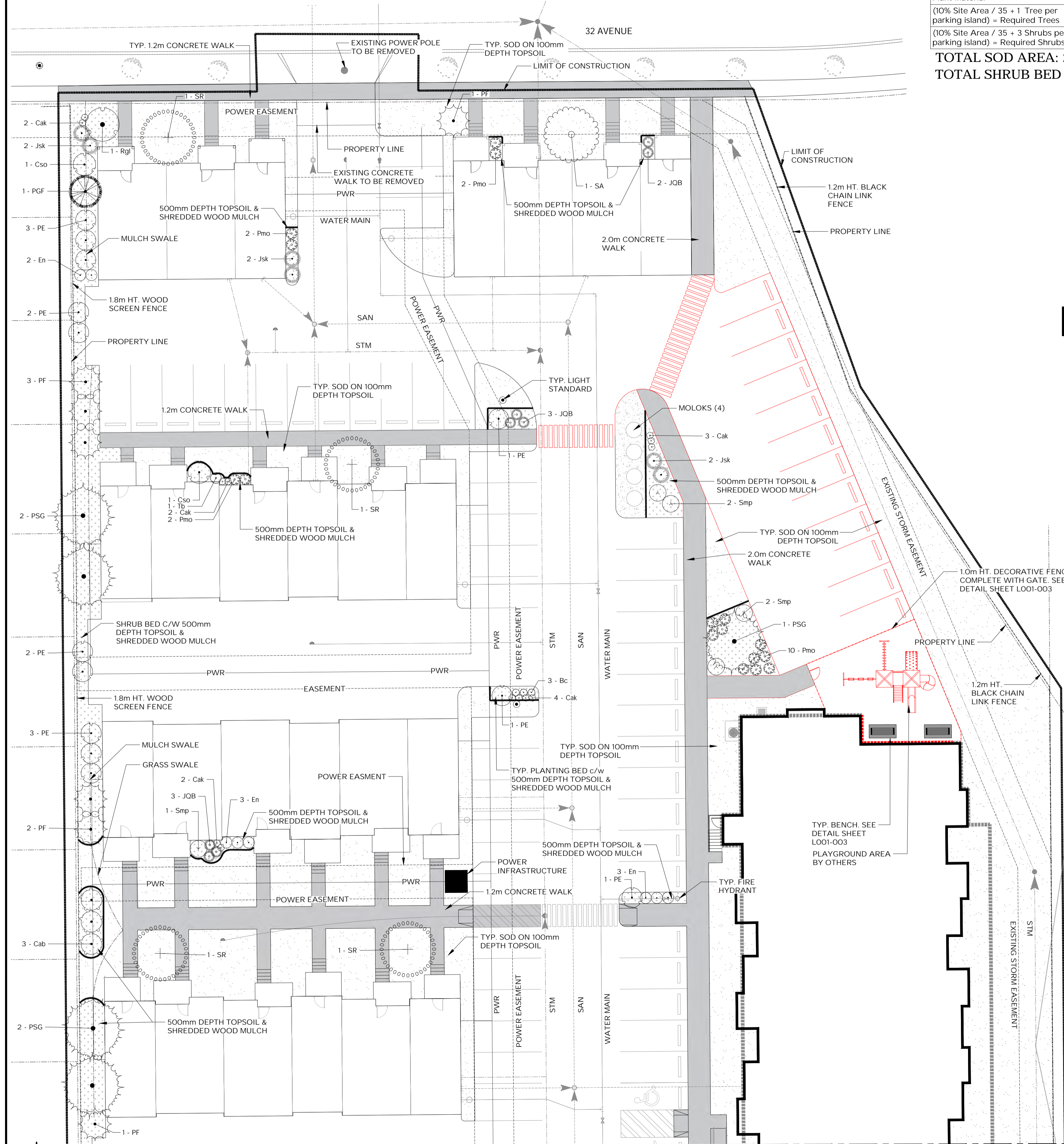
PROJECT MANAGER: R. ROSS
 CLIENT: 2129658 ALBERTA LTD.

PROJECT: EAST PINE LOT 2 BLOCK 5 PLAN 192 0555
 DRAWING TITLE: LANDSCAPE PLAN NORTH

PROJECT NO: 2018-059
 SCALE: AS SHOWN
 DRAWING NO: L001-001

PERMIT / SEAL

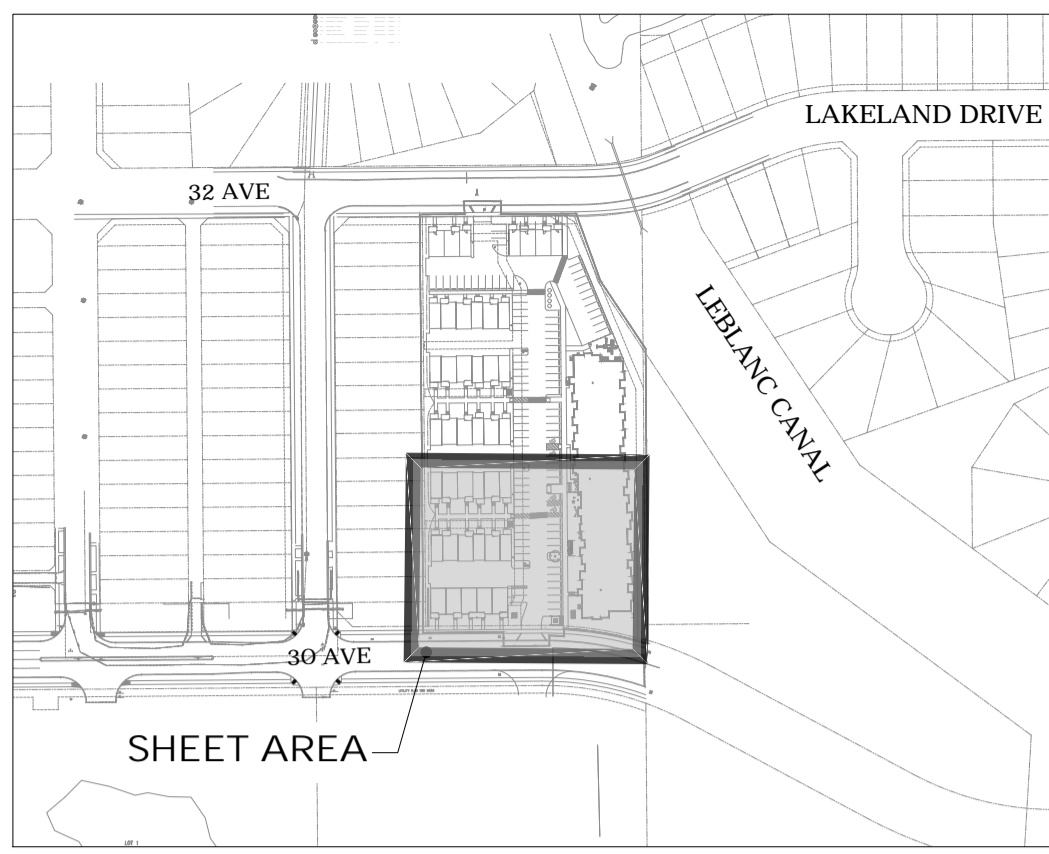
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.
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REFER TO SHEET L001-002

PLANT SCHEDULE PLANT LIST

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
TREES						
○	PE	Populus tremuloides erecta	Swedish Aspen	50mm Cal.	B&B	23
DECIDUOUS TREES						
○	AEG	Aesculus glabra	Ohio Buckeye	60mm Cal.	B&B	1
○	SA	Sorbus americana	Mountain Ash	50mm Cal.	B&B	3
○	SR	Syringa reticulata	Japanese Tree Lilac	50mm Cal.	B&B	6
EVERGREEN TREES						
⊙	PGF	Picea pungens 'Fastigata'	Fastigiate Colorado Spruce	2.4m Ht. Min	B&B	2
⊙	PF	Picea pungens 'Fat Albert'	Fat Albert Spruce	2.4m Ht. Min	B&B	9
⊙	PSG	Pinus strobus 'Globed Scotch Pine'	Eastern White Pine	2.4m Ht. Min	B&B	7
SHRUBS						
⊙	Bc	Berberis thunbergii 'Concord'	Concorde Japanese Barberry	300mm Ht. Min.	Container	6
⊙	Cab	Cornus alba 'Baillhali' TM	Ivory Halo Dogwood	300mm Ht. Min.	Container	6
⊙	Cso	Cornus sericea	Red Osier Dogwood	300mm Ht. Min.	Container	2
⊙	En	Euonymus nanus turkestanicus	Turkestan Burning Bush	---	---	13
⊙	Jsk	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	300mm Ht. Min.	Container	6
⊙	JOB	Juniperus squamata 'Blue Star'	Blue Star Juniper	300mm Spr. Min.	Container	23
⊙	Pmo	Philadelphus 'Snowbell'	Snowbell Mock Orange	300mm Ht. Min.	Container	24
⊙	Rgl	Rhus glabra 'Laciniata'	Cutleaf Smooth Sumac	300mm Ht. Min.	Container	1
⊙	Smp	Syringa meyeri 'Paibin'	Dwarf Korean Lilac	300mm Ht. Min.	Container	8
⊙	Tb	Thuja occidentalis 'Brandon'	Brandon Arborvitae	300mm Spr. Min.	Container	2
GRASSES						
⊙	Cak	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 gal.	Container	33



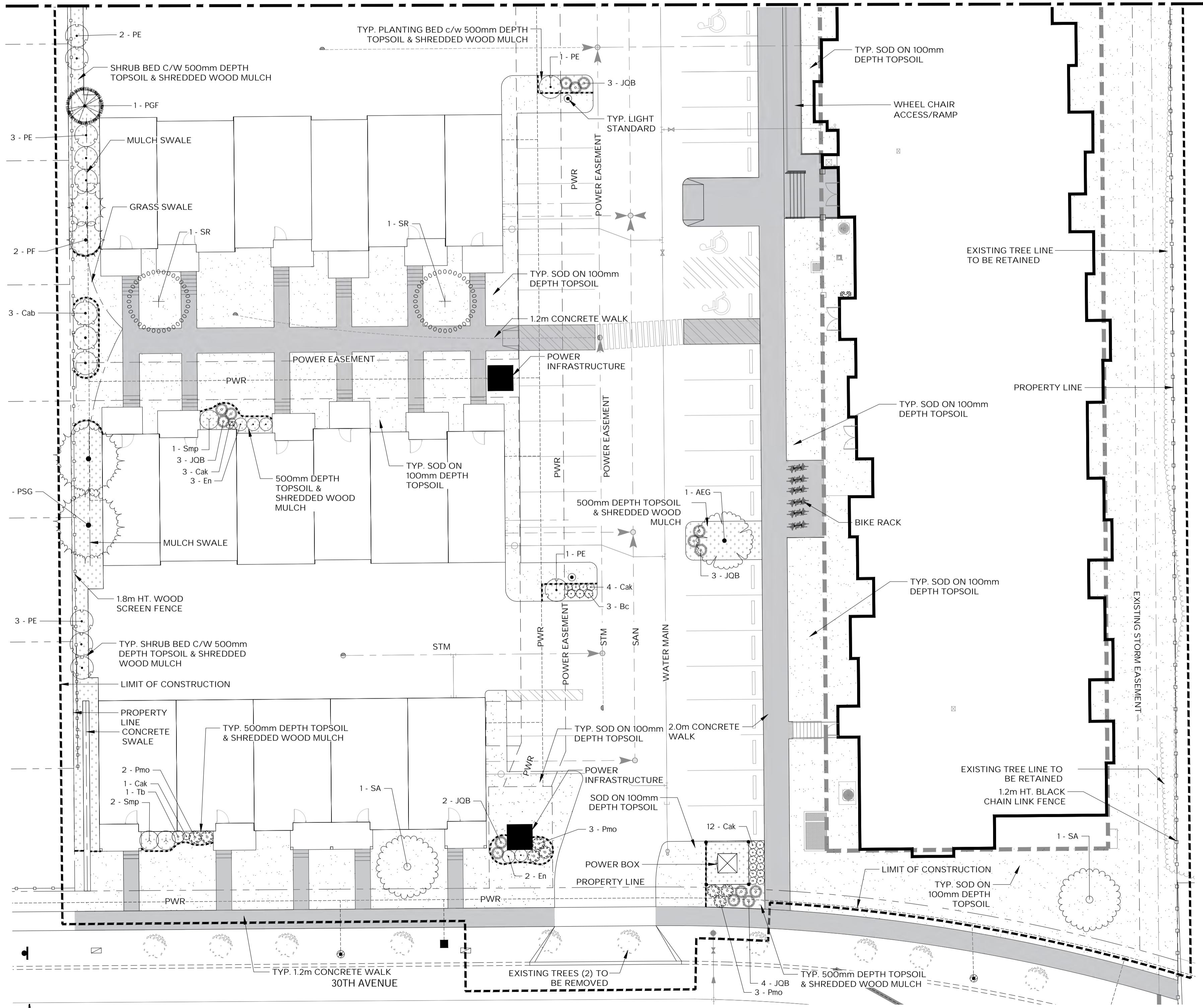
LOCATION PLAN - N.T.S

D.P LANDSCAPE REQUIREMENTS

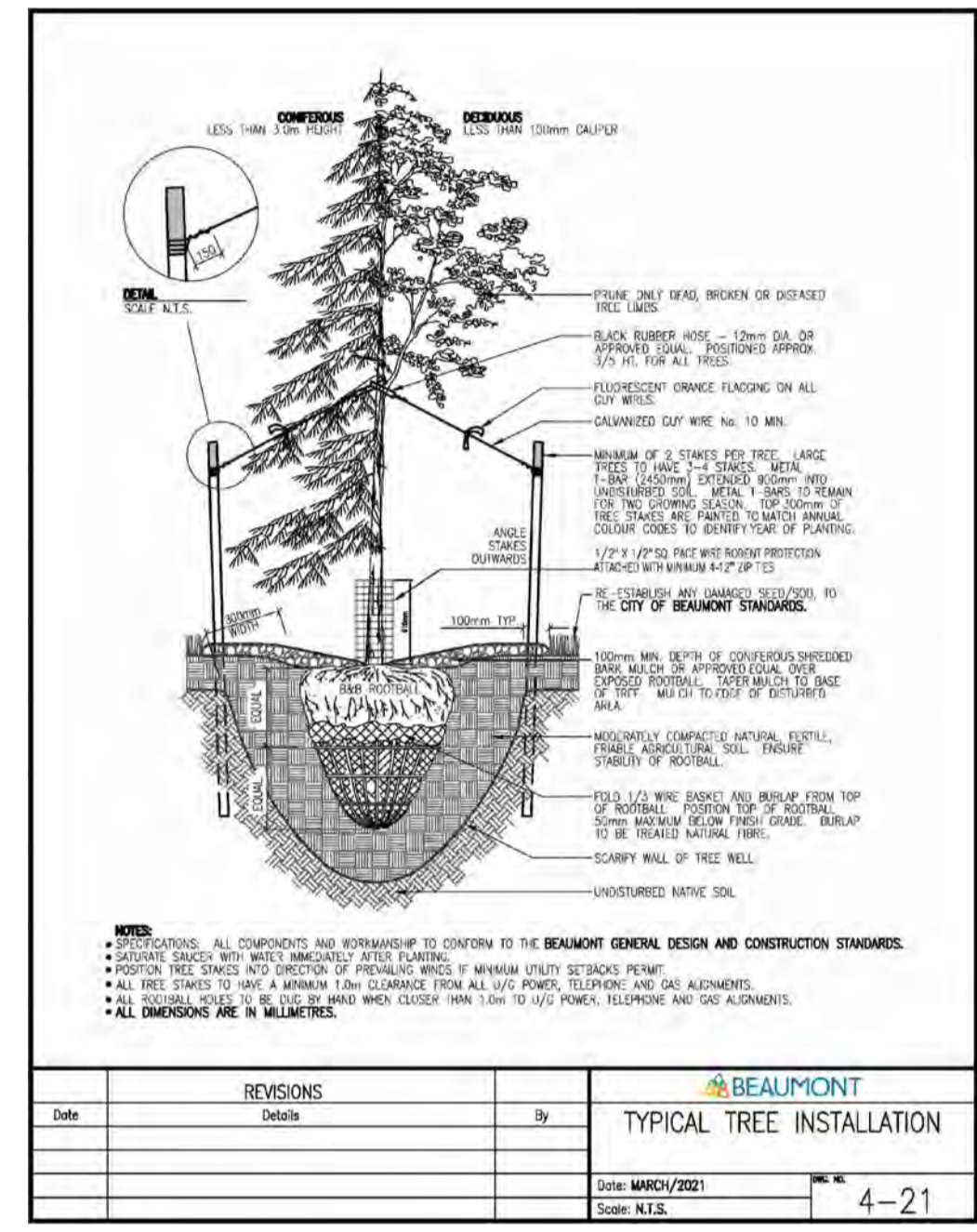
TOTAL 10% SITE AREA = 1,330m ²		
Plant Material	Required	Provided
(10% Site Area / 35 + 1 Tree per parking island) = Required Trees	45	51
(10% Site Area / 35 + 3 Shrubs per parking island) = Required Shrubs	59	91

TOTAL SOD AREA: 2,930m²
TOTAL SHRUB BED AREA: 580m²

REFER TO SHEET L001-001



LANDSCAPE PLAN - SOUTH



PLANT SCHEDULE PLANT LIST

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
TREES						
PE		Populus tremuloides erecta	Swedish Aspen	50mm Cal.	B&B	23
DECIDUOUS TREES						
AEG		Aesculus glabra	Ohio Buckeye	60mm Cal.	B&B	1
SA		Sorbus americana	Mountain Ash	50mm Cal.	B&B	3
SR		Syringa reticulata	Japanese Tree Lilac	50mm Cal.	B&B	6
EVERGREEN TREES						
PGF		Picea pungens 'Fastigata'	Fastigiate Colorado Spruce	2.4m Ht. Min	B&B	2
PF		Picea pungens 'Fat Albert'	Fat Albert Spruce	2.4m Ht. Min	B&B	9
PSG		Pinus strobus 'Globed Scotch Pine'	Eastern White Pine	2.4m Ht. Min	B&B	7
SHRUBS						
Bc		Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	300mm Ht. Min.	Container	6
Cab		Cornus alba 'Bailhalo' TM	Ivory Halo Dogwood	300mm Ht. Min.	Container	6
Cso		Cornus sericea	Red Osier Dogwood	300mm Ht. Min.	Container	2
En		Euonymus nanus turkestanicus	Turkestan Burning Bush	---	---	13
Jsk		Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	300mm Ht. Min.	Container	6
JOB		Juniperus squamata 'Blue Star'	Blue Star Juniper	300mm Spr. Min.	Container	23
Pmo		Philadelphus x 'Snowbell'	Snowbell Mock Orange	300mm Ht. Min.	Container	24
Rgl		Rhus glabra 'Laciniata'	Cutleaf Smooth Sumac	300mm Ht. Min.	Container	1
Smp		Syringa meyeri 'Palibin'	Dwarf Korean Lilac	300mm Ht. Min.	Container	8
Tb		Thuja occidentalis 'Brandon'	Brandon Arborvitae	300mm Spr. Min.	Container	2
GRASSES						
Cak		Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 gal.	Container	33

LEGEND:

- CATCH BASIN
- VALVE (WATER OR GAS)
- HYDRANT
- LIGHT STANDARD
- SWITCHING CUBICLE
- TRANSFORMER
- STORM LINE
- SANITARY LINE
- WATER LINE
- CATCH BASIN LEAD
- UTILITY EASEMENT
- UNDERGROUND POWER
- UNDERGROUND GAS
- SODDED AREA
- SHREDDED MULCHED AREA
- CONCRETE WALK

- NOTES:
- ALL TREE STAKES FOR TREES PLANTED IN 2023 TO BE PAINTED GREEN. ALL TREE STAKES FOR TREES PLANTED IN 2024 TO BE PAINTED BLUE. TREE STAKES ARE NOT PERMITTED WITHIN 1.0m OF U/G ELECTRICAL TRENCHES.
 - PRIOR TO INSTALLATION OF THE PLANT MATERIAL, THE CONTRACTOR SHALL ENSURE COORDINATION WITH ALBERTA FIRST CALL TO LOCATE AND STAKE ALL UNDERGROUND UTILITIES. CALL 1-800-242-3447. ALBERTA FIRST CALL TO ARRANGE FOR STAKING OF ALL FACILITIES 48 HOURS PRIOR TO ANY CONSTRUCTION.
 - ALL TREE PLANTING TO FOLLOW THE SET BACK DISTANCES TO SHALLOW AND DEEP UTILITIES AS PER THE CITY OF BEAUMONT GENERAL DESIGN STANDARDS IN ITS LATEST EDITION.
 - IF EXCAVATIONS ARE REQUIRED CLOSER THAN 1.0m TO UNDERGROUND UTILITIES, THE CONTRACTOR TO CONTACT THE APPROPRIATE UTILITY TO APPROVE, REVIEW AND/OR DEFINE SAFE PROCEDURES FOR THESE EXCAVATIONS.
 - ALL PLANT MATERIAL SHALL BE SUPPLIED FROM CERTIFIED CLEAN NURSERIES. IF THE CONTRACT PLANT MATERIAL IS UNAVAILABLE FROM CERTIFIED CLEAN NURSERIES THE DEVELOPER/CONTRACTOR MAY CONTACT THE PARKS AND FACILITIES DIVISION FOR APPROVAL OF PURCHASE FROM ALTERNATE LOCAL VENDORS.

APPROVALS:

DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT

REVISION:

NO.	DESCRIPTION	DATE
01	RE-ISSUED FOR DEVELOPMENT	07/09/24

ISSUE:

NO.	DESCRIPTION	DATE
04	RE-ISSUED FOR DEVELOPMENT	04/26/24
03	ISSUED FOR DEVELOPMENT	06/15/22
02	APPROVED FOR CONSTRUCTION	09/02/21
01	ISSUED FOR DEVELOPMENT PERMIT	06/28/21

PROJECT MANAGER: R.ROSS
CLIENT: 2129658 ALBERTA LTD.

PROJECT:
EAST PINE
LOT 2 BLOCK 5 PLAN 192 0555
DRAWING TITLE:
LANDSCAPE PLAN SOUTH

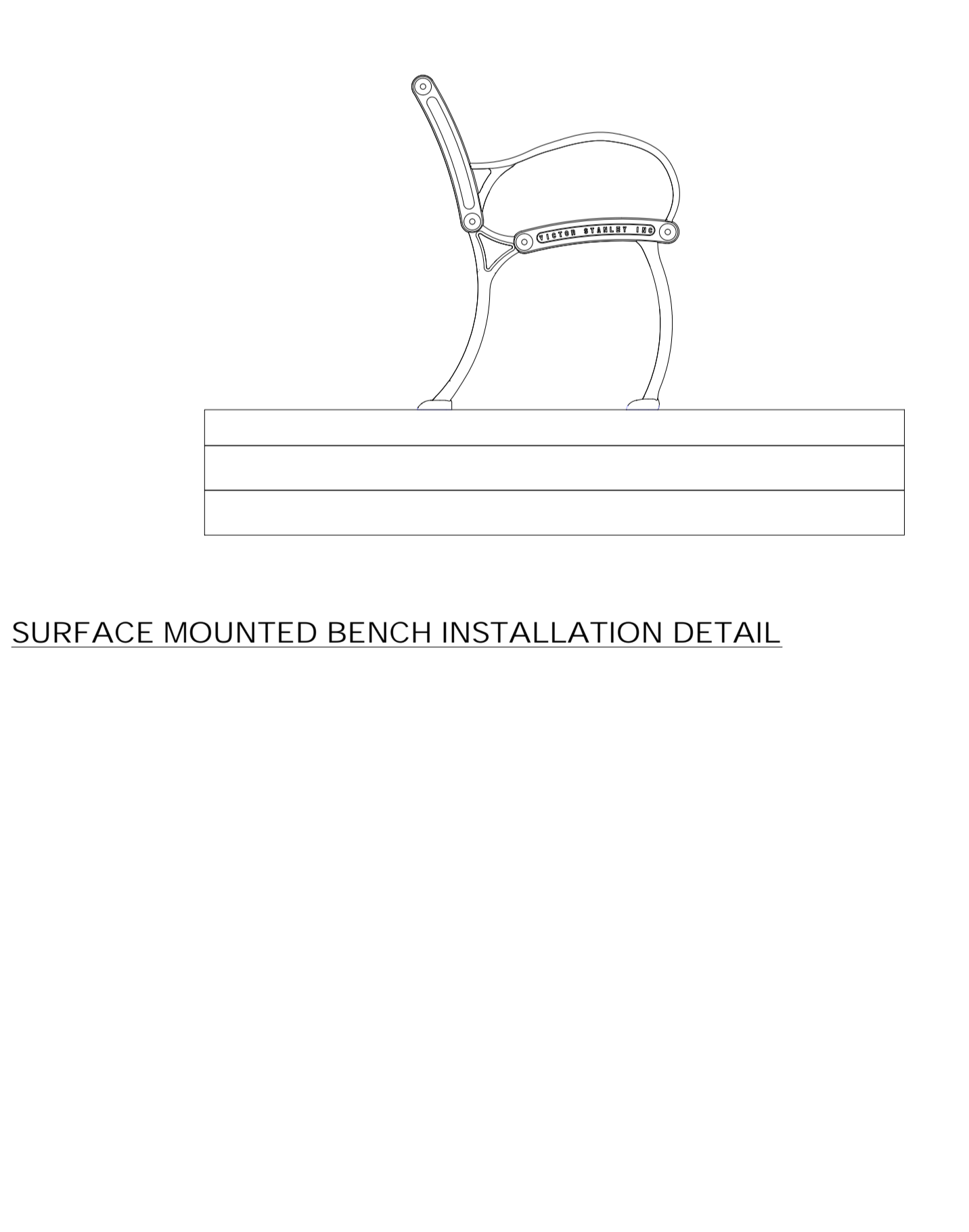
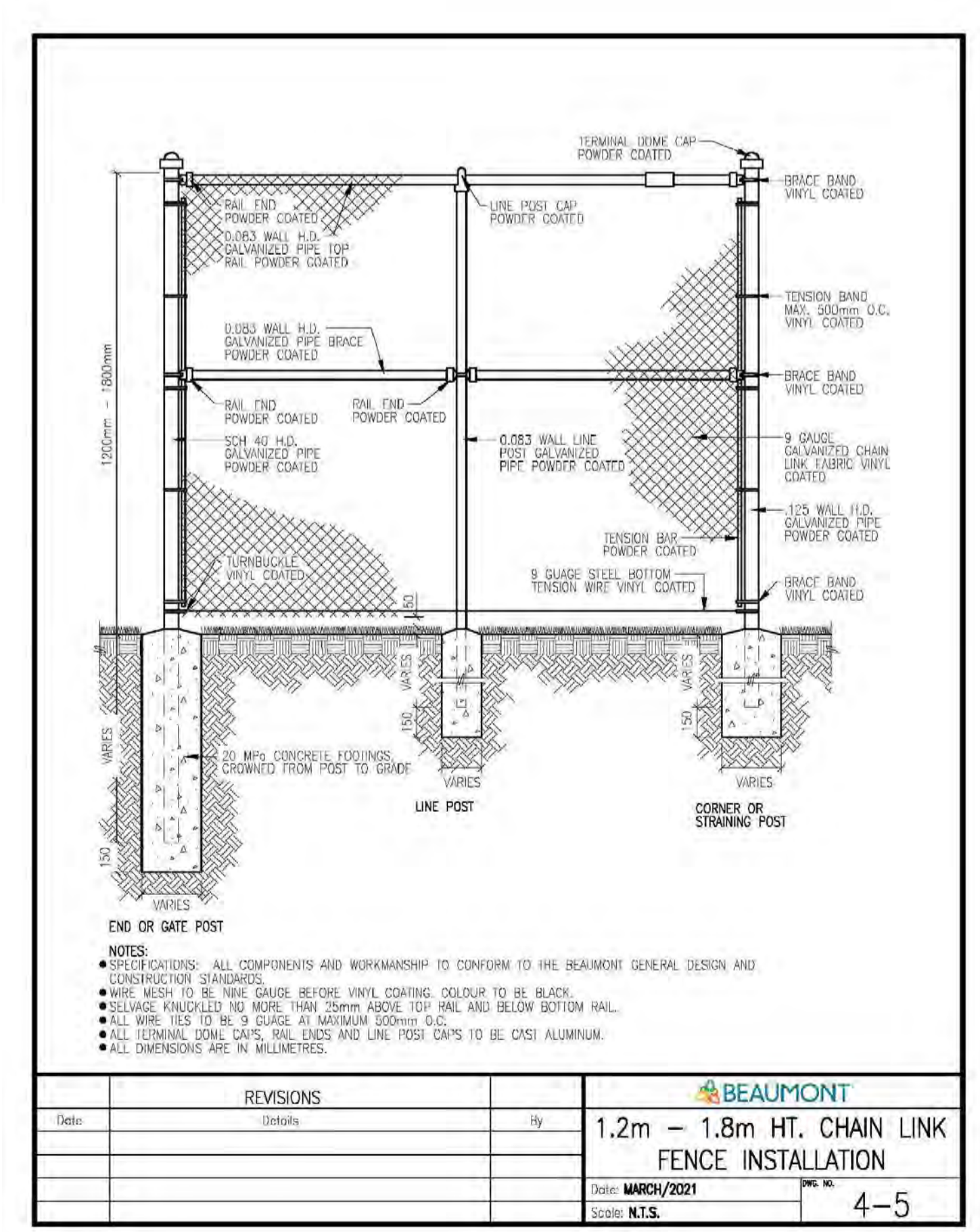
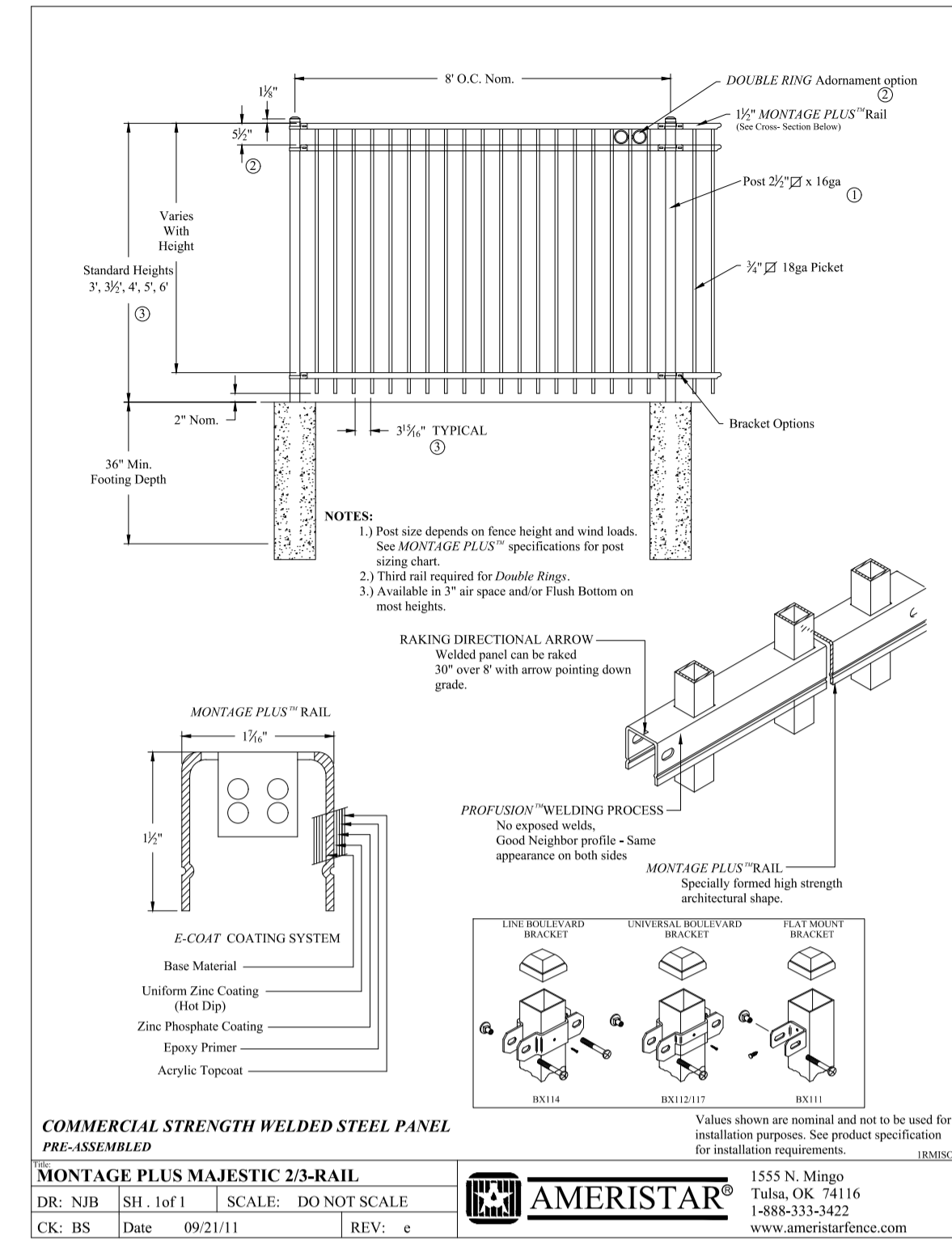
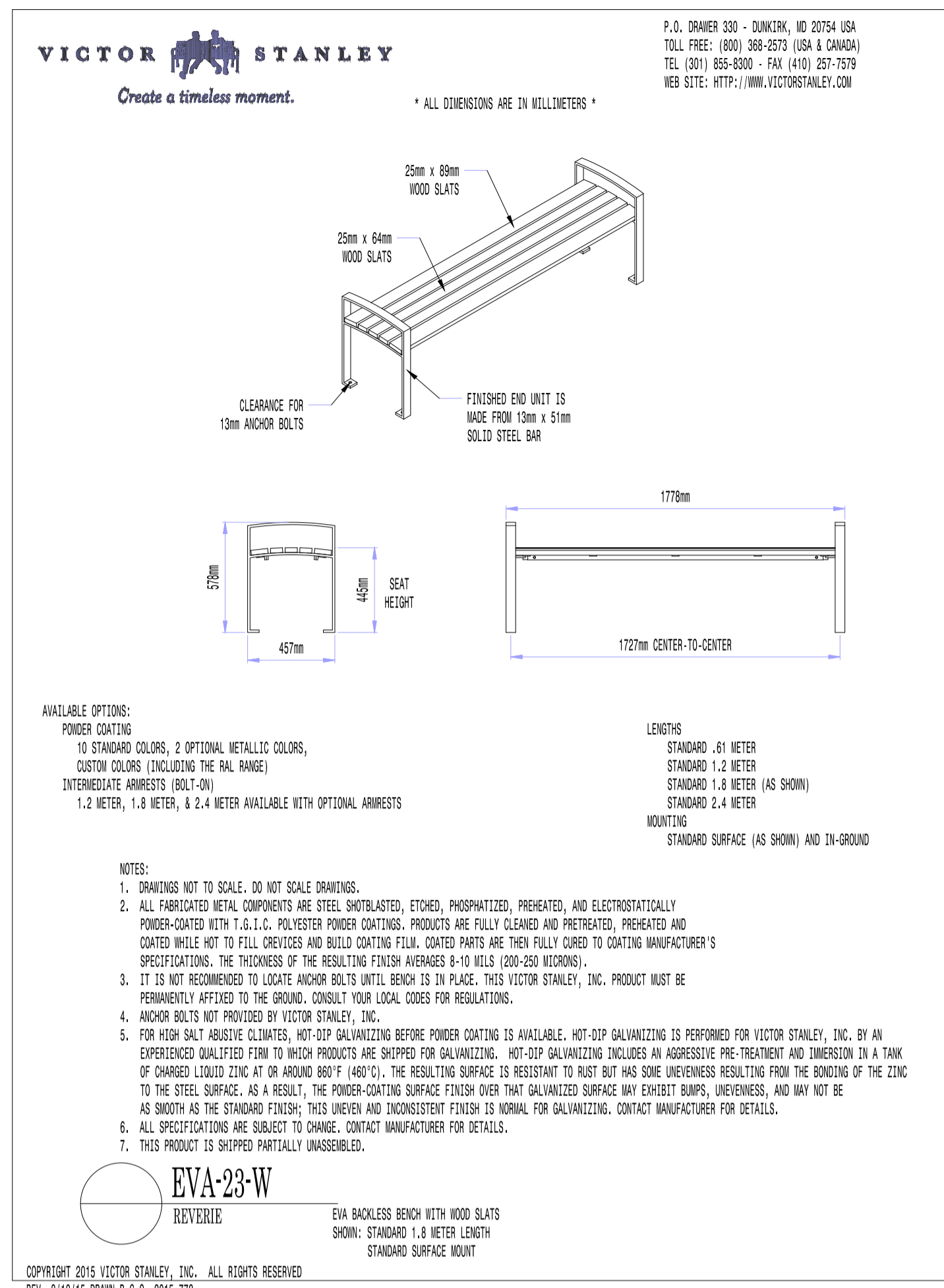
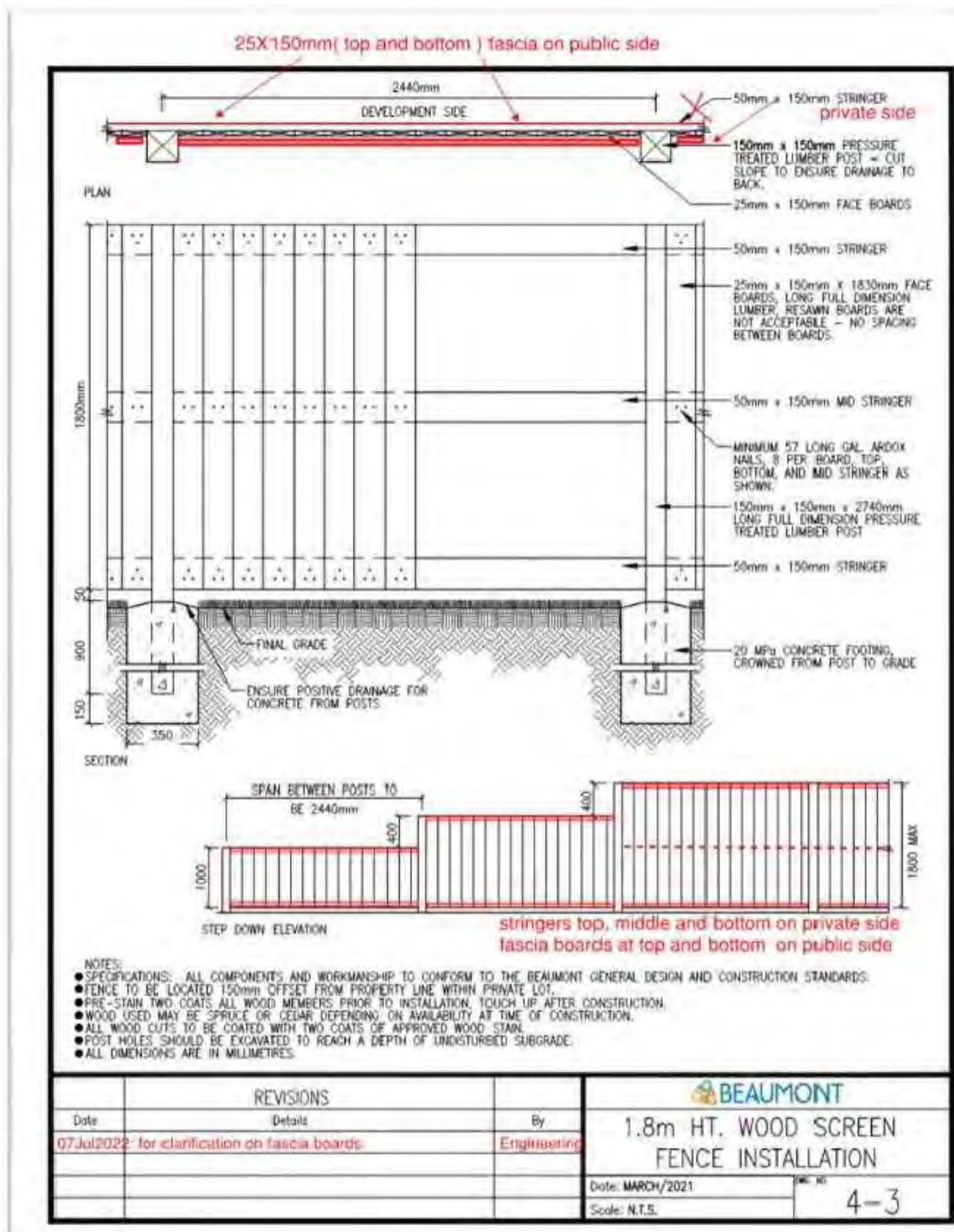
PROJECT NO: 2018-059
SCALE: AS SHOWN
DRAWING NO: L001-002

PERMIT / SEAL

Invistec Consulting Ltd.
Suite 1700, 10130 - 103 Street NW
Edmonton Alberta, T5J 3N9
(780) 293 - 7373
www.invistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.

THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INVISTEC CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY INVISTEC CONSULTING LTD. IS PROHIBITED.



LEGEND:

NOTES:

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APPROVALS:

DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT	DATE

REVISION:

NO.	DESCRIPTION	BY	DATE
01	RE-ISSUED FOR DEVELOPMENT	NA / JH	07/09/24

ISSUE:

NO.	DESCRIPTION	BY	DATE
04	RE-ISSUED FOR DEVELOPMENT	CK / DB	04/26/24
03	ISSUED FOR DEVELOPMENT	RF	06/15/22
02	APPROVED FOR CONSTRUCTION	JH	09/02/21
01	ISSUED FOR DEVELOPMENT PERMIT	NA / KE	06/28/21

PROJECT MANAGER: R.ROSS
 CLIENT: 2129658 ALBERTA LTD.

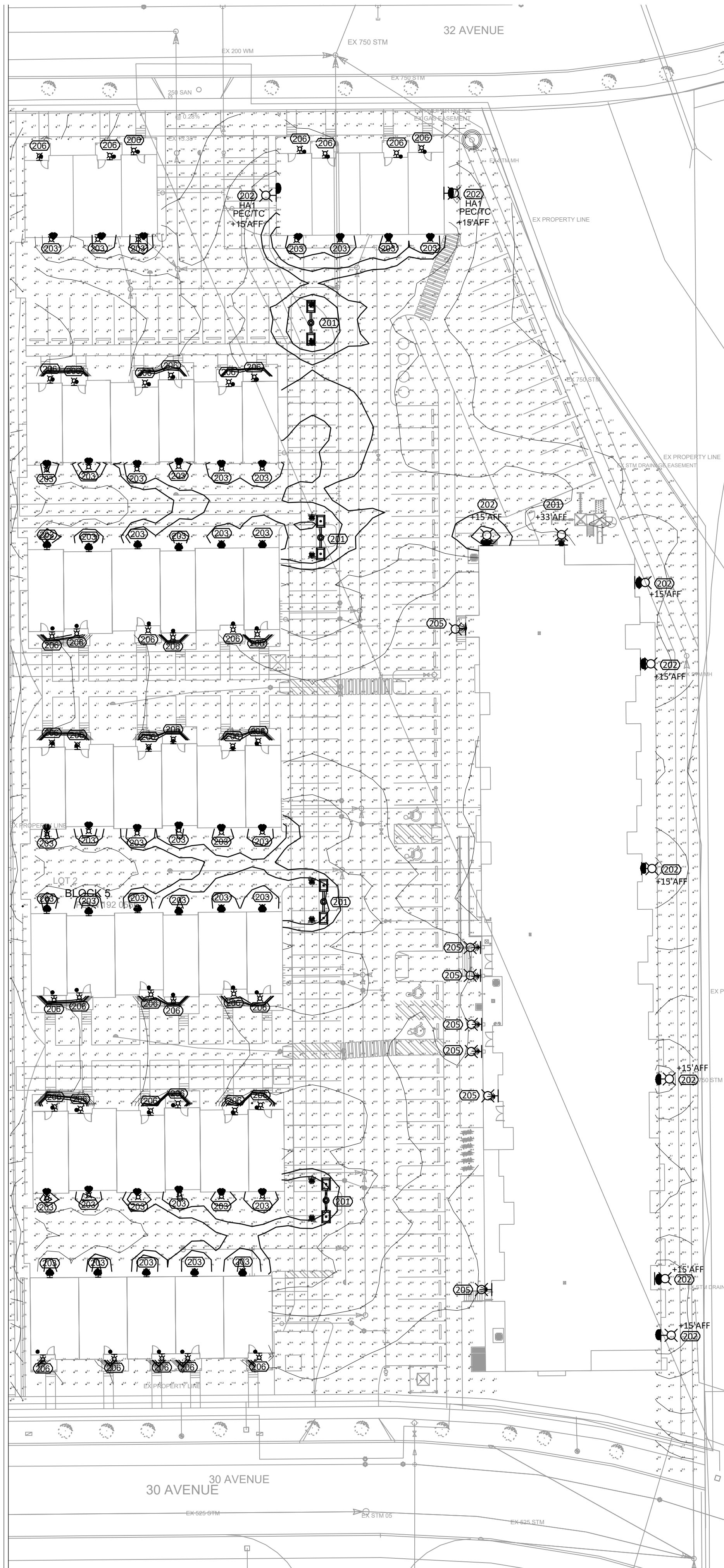
PROJECT: EAST PINE LOT 2 BLOCK 5 PLAN 192 0555
 DRAWING TITLE: LANDSCAPE DETAILS

PROJECT NO: 2018-059
 SCALE: AS SHOWN
 DRAWING NO. LO01-003

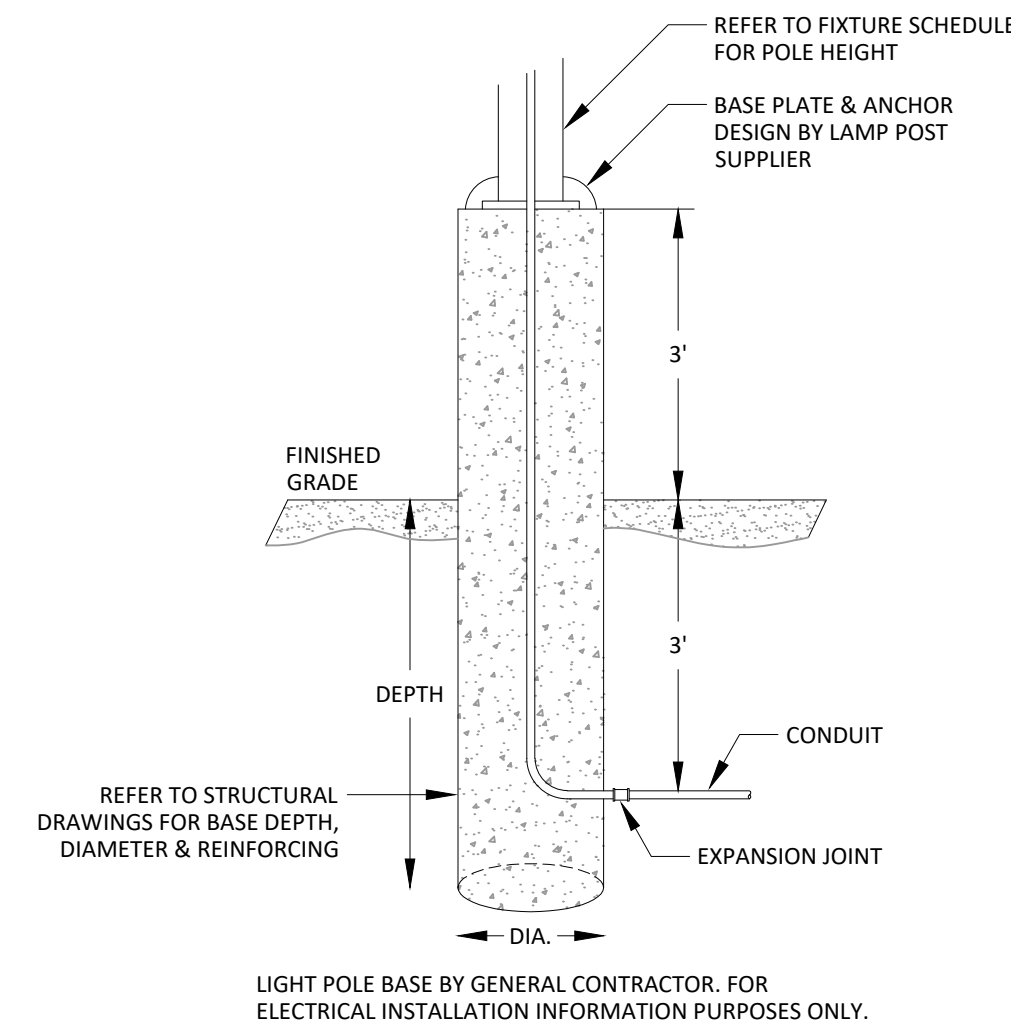
PERMIT / SEAL

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1 SITE LIGHTING PLAN
E1.1 SCALE: 1/32" = 1'-0"



2 LIGHT POLE BASE DETAIL - LIGHT TYPE 201
E1.1 SCALE: N.T.S.

FIXTURE TYPE:	201
LOCATION(S):	UNCOVERED PARKING AREA
VOLTS/WATTS:	120V, 162W
LAMP(S):	LED, 20172lm
COLOUR TEMP:	4000K
MOUNTING:	30' SQUARE STEEL POLE
FIXTURE SELECTION:	MCGRAW-EDISON BY COOPER LIGHTING GLEON-AF-05-LED-E1-TAFT-BK-600
NOTE(S):	2@180° CONFIGURATION C/W 30' SQUARE STEEL POLE ON 3' CONCRETE BASE.

FIXTURE TYPE:	202
LOCATION(S):	BUILDING EXTERIORS
VOLTS/WATTS:	120V, 34.3W
LAMP(S):	LED, 3364lm
COLOUR TEMP:	4000K
MOUNTING:	WALL
FIXTURE SELECTION:	KEENE BY SIGNIFY LPW16-30-NW-G3-4-UNV-BK
NOTE(S):	--

FIXTURE TYPE:	203
LOCATION(S):	ROW HOUSE GARAGE ENTRANCES
VOLTS/WATTS:	120V, 2x10W
LAMP(S):	LED, 2x1200lm
COLOUR TEMP:	5000K
MOUNTING:	WALL
FIXTURE SELECTION:	ORTECH OL-2HS-BK
NOTE(S):	CONFIRM MODEL NUMBER WITH ARCHITECT. CONFIRM MOUNTING HEIGHT WITH ARCHITECTURAL DRAWINGS

FIXTURE TYPE:	204
LOCATION(S):	MAN DOORS
VOLTS/WATTS:	120V, 22.3W
LAMP(S):	LED, 2242lm
COLOUR TEMP:	4000K
MOUNTING:	SURFACE
FIXTURE SELECTION:	KEENE BY SIGNIFY LPW16-20-NW-G3-4-UNV-BK
NOTE(S):	--

FIXTURE TYPE:	205
LOCATION(S):	BUILDING ENTRANCE
VOLTS/WATTS:	120V, 12W
LAMP(S):	LED, 1739lm
COLOUR TEMP:	4000K
MOUNTING:	WALL
FIXTURE SELECTION:	GUARDIAN W TBS BY TIRON LIGHTING GRDW16-L12.0-TE350-120-277V-TBS-SM-40K-TEL
NOTE(S):	--

FIXTURE TYPE:	206
LOCATION(S):	ROW HOUSE ENTRANCES
VOLTS/WATTS:	120V, 2x9W
LAMP(S):	LED, 1800lm
COLOUR TEMP:	3000K
MOUNTING:	WALL
FIXTURE SELECTION:	EWL-12
NOTE(S):	CONFIRM MODEL NUMBER WITH ARCHITECT. CONFIRM MOUNTING HEIGHT WITH ARCHITECTURAL DRAWINGS

LIGHTING SYMBOL SCHEDULE	
SYMBOL	DESCRIPTION
	CEILING MOUNTED FIXTURE
	8' POLE FIXTURE
	WALL MOUNTED FIXTURE
	POLE MOUNTED FIXTURE

GENERAL NOTES	
ILLUMINANCE VALUES SHOWN IN FOOT CANDLES.	
FOOT CANDLE VALUES FOR CONTOUR LINES ARE AS FOLLOWS: 0.1, 0.25, 0.5, 1, 5, 10.	
SITE LIGHTING DESIGNED TO NECB 2017.	

architects inc.
9834-105 Street
Edmonton, AB T5K 1A6
Office: (780) 423-3424
Fax: (780) 425-0536

Seal

Client

Consultant

201, 200 Carnegie Drive St. Albert, Alberta, T8N 5A7
Tel: (780) 460-3006, abeelect.com

30 AVENUE APARTMENTS

City Posse Number

NO.	DATE	DESCRIPTION
8	28/02/2022	ISSUED FOR BUILDING PERMIT
9	16/09/2022	ISSUED FOR CHANGE NOTICE 1
10	27/10/2022	ISSUED
11	18/07/2023	ISSUED FOR FORTIS AFC
12	08/05/2024	ISSUED FOR DP

Project No.	Version:
20-086-02	

Date:

Drawing Title

SITE PLAN

Drawing No.

E1.1a

Development Permit
Notice of Decision
REVISED – August 4, 2023

Date of Decision: August 13, 2021

EFG Architects Inc. C/O Perry Dixon & Ed Gooch
9834 105 Street
Edmonton, AB T5K 1A6

Via e-mail: pdixon@efgarchitects.com/egooch@efgarchitects.com

Proposed Development: Multi-Attached Dwelling: *85 Apartments and 42 Townhouses*
Legal Description: Plan 2020 2084, Block 5, Lot 3
Municipal Address: 4607 32 Avenue, Beaumont, AB
Land Use District: Integrated Neighbourhood
Permit Application No: 2021-338
Tax Roll: 009285

Development Permit Status: Approved with conditions

Development Permit Conditions

The development noted above is considered a Permitted Use with Variance within the Integrated Neighbourhood District, and has been approved by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

1. As this permit has been issued for a permitted use with a variance, this permit shall not come into force and effect until the appeal period has expired, September 3, 2021.
2. **A variance has been granted to allow Building 1 to exceed the maximum 4m side yard setback by 5.3m on the east side and for Building 9 to exceed the maximum 4m side yard setback by 5.9m on the east side.**
3. The site shall be developed in accordance with the attached approved Overall Site Plan dated July 29, 2021 **AND the additional attached approved drawing dated July 27, 2023.**
4. The Applicant shall pay their proportionate share of the offsite levies for this development pursuant to Bylaw 945-19 as may be amended from time to time, prior to the commencement of any work on the site.
5. That the Applicant enter into and abide by a Development Agreement with the City of Beaumont pursuant to section 650 of the Municipal Government Act. The Development Agreement shall be in a form satisfactory to the City and shall include but not limited to the following:
 - a. that the Applicant shall provide security in a form satisfactory to the City for all obligations under the Development Agreement.

Development Permit
Notice of Decision

Date of Decision: August 13, 2021

Permit Number: 2021-338

6. The Applicant shall install lighting in accordance with the approved attached plans and all lighting shall be compliant with International Dark-Sky Association requirements.
7. The Applicant shall ensure there are 104 parking stalls on site as shown in the approved attached plans.
8. The Applicant shall ensure that there are no less than 1 tree and 3 shrubs per landscaped island. The trees and shrubs shall meet the requirements of the General Design Standards.
9. The Applicant shall ensure there are 38 trees, 15 of which are coniferous and 23 deciduous as shown on the approved attached plans.
10. The Applicant shall ensure there are 38 shrubs as shown in the approved attached plans.
11. The Applicant shall provide the development authority with AutoCAD drawings to the satisfaction of the development authority with the building permit application.
12. The site must be kept clean of all construction waste and all other waste ("debris") by removing or containing the debris in a manner satisfactory to the Development Authority.
13. The applicant shall ensure that any rooftop mechanical equipment shall be screened from view or incorporated into the roof envelope.

PRIOR TO ANY WORK COMMENCING ON THE SITE:

Construction Permit and Letter of Credit:

14. A Construction Permit and a Letter of Credit equal to 25% of the construction costs shall be submitted to the City of Beaumont PRIOR TO ANY construction commencing on the site for the following:
 - a. any pre-grading of the site including stripping, grubbing, etc.
 - b. the cost of the work to be undertaken on municipal property, including but not limited to underground servicing and accesses.

All but \$7,000 of the above noted securities will be returned upon completion, with no deficiencies as confirmed by Municipal Projects (the municipality will not take less than \$7,000 security). The remainder shall be released after as-builts and service plans are received and deemed acceptable by the municipality.

15. A Letter of Credit in the amount of 100% of the construction costs for landscaping shall be provided prior to building permit issuance, with such costs to include hard landscaping features such as brick pavers, shale, concrete curbing, sidewalks, patios, paved approaches including culvert and rip rap, fencing and painted lines for parking stalls.

50% of the landscaping security shall be released after planting and the remaining balance to be released once an inspection of the site has demonstrated to the satisfaction of the Development Authority that the

Development Permit Notice of Decision

Date of Decision: August 13, 2021

Permit Number: 2021-338

landscaping has been well maintained and is in healthy condition two growing seasons after approved inspection.

16. Final approval and acceptance by the municipality of all civil engineering plans must be completed prior to building permit issuance.
17. The Moloks shall be 2 or 3 stream and are approved at the location as shown on the approved Overall Site Plan dated July 29, 2021.
18. The Applicant shall submit the cost estimates and an appropriate letter of credit prior to construction commencing on the site.

Failure to comply with any of the preceding conditions will render this permit null and void.

Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

Notice of Decision:	August 13, 2021
Appeal deadline:	September 3, 2021
Permit active (if no appeals filed):	September 4, 2021

To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at legislative@beaumont.ab.ca. Appeals must be filed no later than 4:30 p.m. on the date indicated above.

Permit Notification Information

Development Permit Notice of Decision

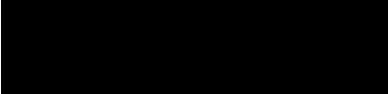
Date of Decision: August 13, 2021

Permit Number: 2021-338

In accordance with the City of Beaumont Land Use Bylaw 944-19, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:


Shari Edgington
Development Officer
780-929-3307
Shari.edgington@beaumont.ab.ca

Cc: Curtis Doblanko, Director, Finance
Joanne Dargis, Acting Director, Planning & Development
Rob Mackin, Director, Economic Development & Communications
Everett Cooke, Director, Protective Services & Fire Chief
Punam Grewal, Manager, Project Manager
Teaka Broughm, Acting Manager, Current Planning
Joannes Wong, Manager, Long Range Planning
Andrea Koropeski, Engineering Technologist
Sara Edge, Public Works Administrative Assistant
Troy Birtles, Accurate Assessment
Kate Alexander, Leduc Public Health

Additional Information

1. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
2. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the Alberta Safety Codes Act and any other applicable bylaws or regulations.

Development Permit Notice of Decision

Date of Decision: August 13, 2021

Permit Number: 2021-338

3. As this permit has been issued for a permitted use with a variance, this permit shall not come into force and effect until the appeal period has expired September 3, 2021).
4. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
5. The Applicant shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.
6. The Applicant shall ensure that consideration be given to controlling noise, dust and traffic on the site in addition to establishing reasonable hours of operation. Bylaw 642-05 states that between 2300 hours of one day and 0700 hours of the next day Monday through Friday, 2200 hours of one day and 0800 hours on Saturdays, and 2200 hours of one day and 0900 hours on Sundays and statutory holidays, operate any engine or motor-powered machine used for snow removal, gardening, landscaping or on lawns, in such a manner as to create undue noise.
7. The Applicant shall clean the roads where care and attention has not been taken by the contractor, at the direction of the municipality.
8. A storm drainage plan shall be prepared for approval by the Manager, Municipal Projects. The storm water system should be designed to control storm water flow to a level that would be expected from a residential development of equivalent size.
9. Provide evidence of water flow requirements and provide design criteria for fire protection required by the size and construction type of the building proposed.
10. Bylaw 689-08 - Water and Sanitary Sewer Utility Sections 4.13 and 4.14 are to be followed and approved by the municipality with respect to grease traps in any proposed building or bay.
11. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to waterandwastewater@beaumont.ab.ca. This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
12. Applicable Plumbing, Electrical and Gas permits can be applied for through Superior Safety Codes. Their office is located at 14613 – 134 Avenue, Edmonton, AB, T5L 4S9, phone 780-489-4777, fax 780-489-4711.
13. The Applicant shall obtain a Building Permit from the City of Beaumont. Three detailed sets of drawings stamped by an Engineer of the building floor plan and including Electrical, Plumbing, Gas and Mechanical. All Schedules must be included.
14. The General Contractor will require a Contractor's License with the City and it allows all sub-trades to work on this site without requiring their own business license.

Development Permit Notice of Decision

Date of Decision: August 13, 2021

Permit Number: 2021-338

15. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.
16. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.
17. Beaumont General Design Standards shall be followed and met to the satisfaction of the municipality.
18. Sanitary and sewer connections for this development shall be made within the site boundaries unless otherwise approved by the Manager, Municipal Projects in accordance with the General Design Standards of the City of Beaumont.
19. The Applicant shall be responsible for any engineering and legal costs incurred by the City related to this project.
20. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
21. The proposed development must meet or exceed the requirements of the current Alberta Building Codes, Alberta Fire Codes and NFPA1141.

Development Review Summary

22. The Land Use Bylaw 944-19 ("LUB"), Integrated Neighbourhood District applies with respect to this development.
23. The density of the site is acceptable and meets the LUB regulations and ASP.
24. The principal frontage and rear setbacks are acceptable and meet the LUB regulations.
25. Based on the development site size, the proposed site coverage is 31.3% and is within the maximum allowed under the LUB.
26. No accessory buildings are proposed. A separate development permit will be required for any additional buildings on the site.
27. The building height of the apartment to eave is 4-storeys and meets the LUB regulations.
28. The building height of the townhouses to eave is 3-storeys and meets the LUB regulations.
29. The approved drawings for the townhouses and apartment do not show any rooftop mechanical equipment. Should rooftop mechanical equipment be required, revised drawings shall be submitted.
30. The Frontage Standard that applies to this development is Common Yard, as the façade is setback from the front lot line and the principal frontage is continuous with adjacent yards.

Development Permit
Notice of Decision

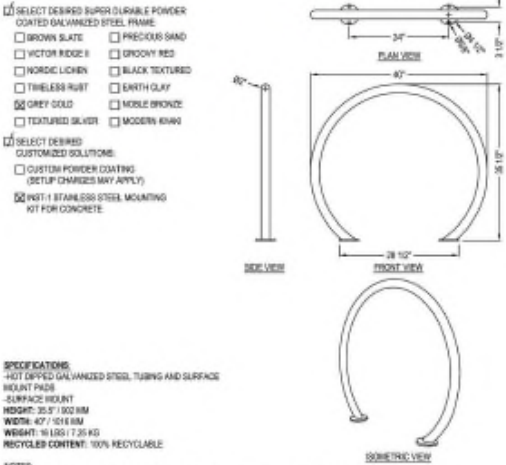
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Permit Number: 2021-338

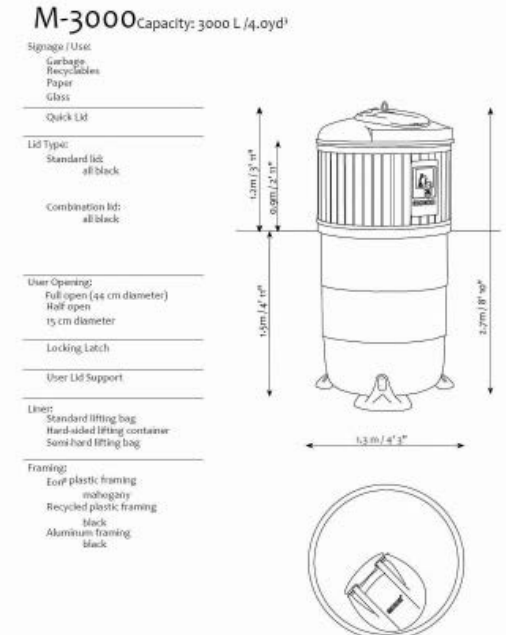
- 31. Barrier free parking stall details will be approved under the building permit.
- 32. Separate sign permit applications will be required for any on-site signage.

Engineering Review Summary

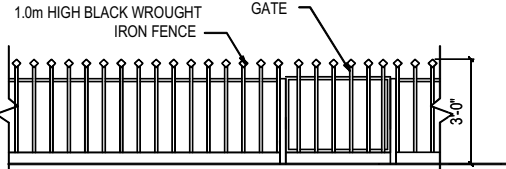
- 35. The edge of sidewalk that is located within the easement shall be a minimum of 2m away from the existing manhole.
- 36. Should the municipality need to access the storm line where the sidewalk is located, it will be at the expense of the property owner.
- 37. Trees that need to be removed due to construction of the south site access, will require arrangements with the City to relocate them prior to construction.



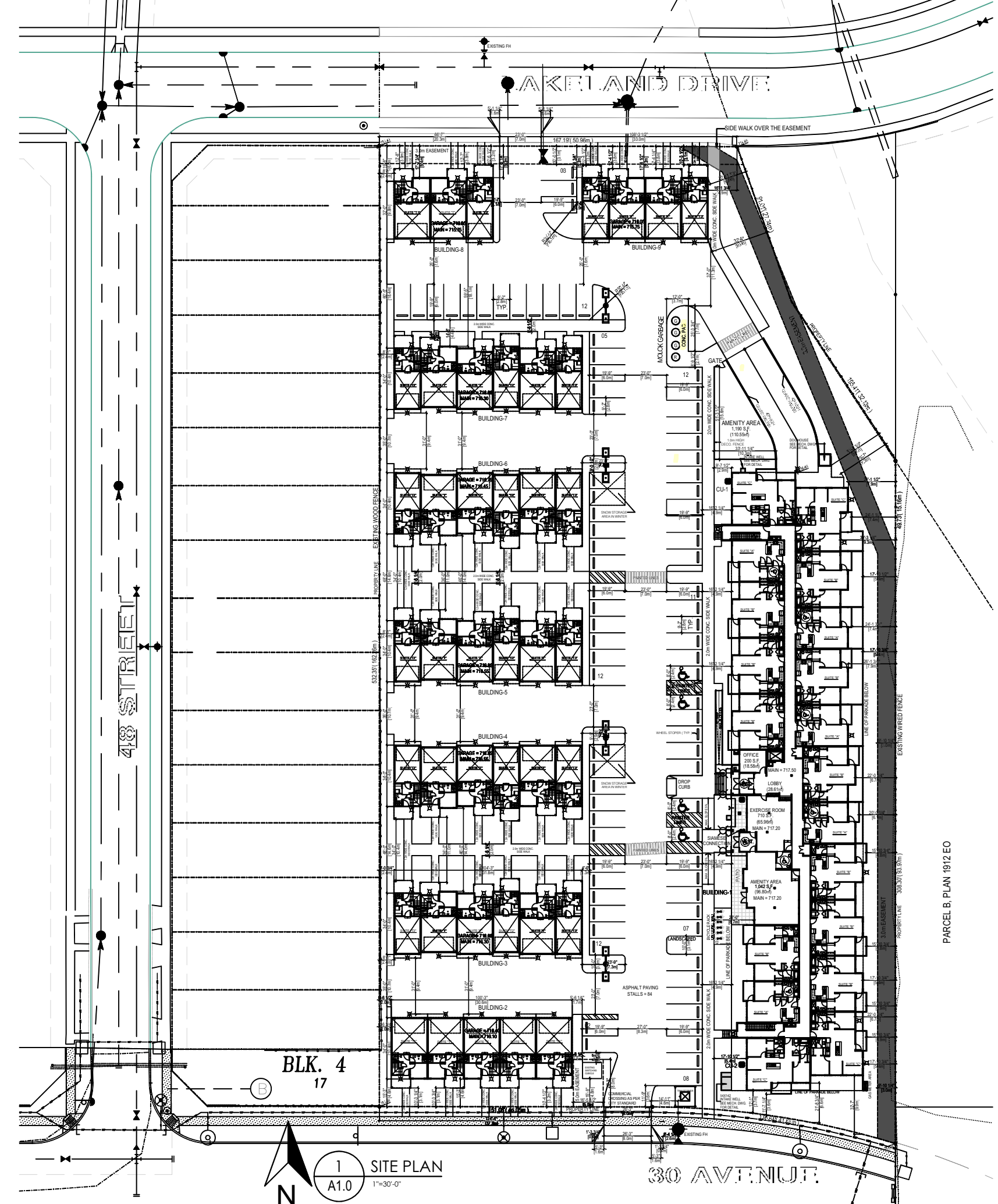
2 BICYCLE RACK DETAILS
A1.0 N.T.S.



3 MOLOK GARBAGE BIN DETAILS
A1.0 N.T.S.



4 WROUGHT IRON FENCE DETAILS
A1.0 N.T.S.



ADDRESS
4607 32 AVENUE
BEAUMONT, ALBERTA

LEGAL DESCRIPTION
LOT -3
BLOCK -5
PLAN -2022084

SITE AREA
AREA : 144,440 S.F. = 3.315 ACRES = 1.34 ha

DP NUMBER = 2021-338

ZONING - INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

SUITE COUNT

APARTMENTS (BUILDING-1)

1 BEDROOM - A	= 20 (629 S.F. = 58.43m ²)
2 BEDROOM - B	= 46 (824 S.F. = 76.55m ²)
2 BED+DEN - C	= 16 (939 S.F. = 87.23m ²)
2 BEDROOM - D	= 03 (791 S.F. = 73.48m ²)
TOTAL	= 85

TOWNHOUSES

	MAIN	SECOND	THIRD
3 BEDROOM - T	= 21 (249 S.F. (23.13m ²)+680 S.F. (63.17m ²)+680 S.F. (63.17m ²))	= 1,609 S.F. (149.47m ²)	
3 BEDROOM - T1	= 03 (249 S.F. (23.13m ²)+680 S.F. (63.17m ²)+680 S.F. (63.17m ²))	= 1,609 S.F. (149.47m ²)	
2 BEDROOM - T2	= 05 (185 S.F. (17.18m ²)+528 S.F. (49.05m ²)+528 S.F. (49.05m ²))	= 1,241 S.F. (115.29m ²)	
2 BEDROOM - T3	= 13 (185 S.F. (17.18m ²)+528 S.F. (49.05m ²)+528 S.F. (49.05m ²))	= 1,241 S.F. (115.29m ²)	
TOTAL	= 42		

BUILDING AREA

APARTMENTS BUILDING-1

MAIN	= 20,330 S.F. (1888.72m ²)
TYPICAL 20.130X3	= 60,390 S.F. (5610.41m ²)
TOTAL	= 80,720 S.F. (7499.13m²)
PARKADE	= 24,773 S.F. (2301.48m ²)

TOWNHOUSES BUILDING - 2 (5 PLEX)

MAIN	= 3,308 S.F. (307.32m ²)
SECOND	= 3,408 S.F. (316.61m ²)
THIRD	= 3,408 S.F. (316.61m ²)
TOTAL	= 10,124 S.F. (940.54m²)

TOWNHOUSES BUILDING - 3, 4, 5, 6, 7 (6 PLEX)

MAIN	= 3,485 S.F. (323.76m ²)
SECOND	= 3,634 S.F. (337.60m ²)
THIRD	= 3,634 S.F. (337.60m ²)
TOTAL	= 10,753 S.F. (998.96m²)

TOWNHOUSES BUILDING - 8 (3 PLEX)

MAIN	= 1,827 S.F. (169.73m ²)
SECOND	= 1,897 S.F. (176.23m ²)
THIRD	= 1,897 S.F. (176.23m ²)
TOTAL	= 5,621 S.F. (522.19m²)

TOWNHOUSES BUILDING - 9 (4 PLEX)

MAIN	= 2,326 S.F. (216.09m ²)
SECOND	= 2,426 S.F. (225.38m ²)
THIRD	= 2,426 S.F. (225.38m ²)
TOTAL	= 7,178 S.F. (666.85m²)

COMMON AMENITY AREA

COMMON AMENITY AREA PROVIDED

INDOOR AMENITY AREA = 181.34m²

OUTDOOR AMENITY AREA = 110.55m²

TOTAL = 291.89m²

F.A.R.

BUILDING AREA = 157,408 S.F. = 1.09

SITE AREA = 144,440 S.F.

SITE COVERAGE

BUILDING AREA MAIN = 45,216 S.F. = 31.30%

SITE AREA = 144,440 S.F.

ASPHALT PAVING AREA (DRIVEWAYS+PARKING) = 49,216 S.F./144,440 S.F. = 34.07%

PARKING

PARKING REQUIRED (APARTMENTS)

UNITS OVER 75m² = 62X1.0 = 62.00

VISITORS 85X.2 = 17.00

TOTAL REQUIRED = 79.00

PARKING PROVIDED (APARTMENTS)

SURFACE PARKING = 67.00

U/GROUND PARKING = 64.00

TOTAL PROVIDED = 131.00

PARKING REQUIRED (TOWNHOUSES)

UNITS OVER 75m² = 42X1.0 = 42.00

VISITORS 42X.2 = 8.40

TOTAL REQUIRED = 50.40

PARKING PROVIDED (TOWNHOUSES)

GARAGE PARKING = 66.00

SURFACE PARKING = 17.00

TOTAL PROVIDED = 83.00

AVG. GRADE
715.88+715.76+714.85+715.43 = 715.48

LEGEND

- EXISTING GRADE(m)
- NEW GRADE(m)
- FIRE HYDRANT

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THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED OR ADVISED IN WRITING BY THE CONSULTANT.

THIS DRAWING SUPERSEDES PREVIOUS ISSUES.

Client
LANDREX INC.

Note:

ISSUED FOR DEVELOPMENT PERMIT

August 13, 2021

EAST PINE

Project Address:
4607 30 AVENUE
BEAUMONT, ALBERTA

Issued:
01 - 03/16/2020 - ISSUED FOR DP
02 - 05/20/2020 - REISSUED FOR DP
03 - 10/26/2020 - ISSUED FOR DP
04 - 05/12/2021 - REISSUED FOR DP

Project No. Version:
EG1434 V3

Date
07/29/2021

Overall Site Plan

Drawing No.

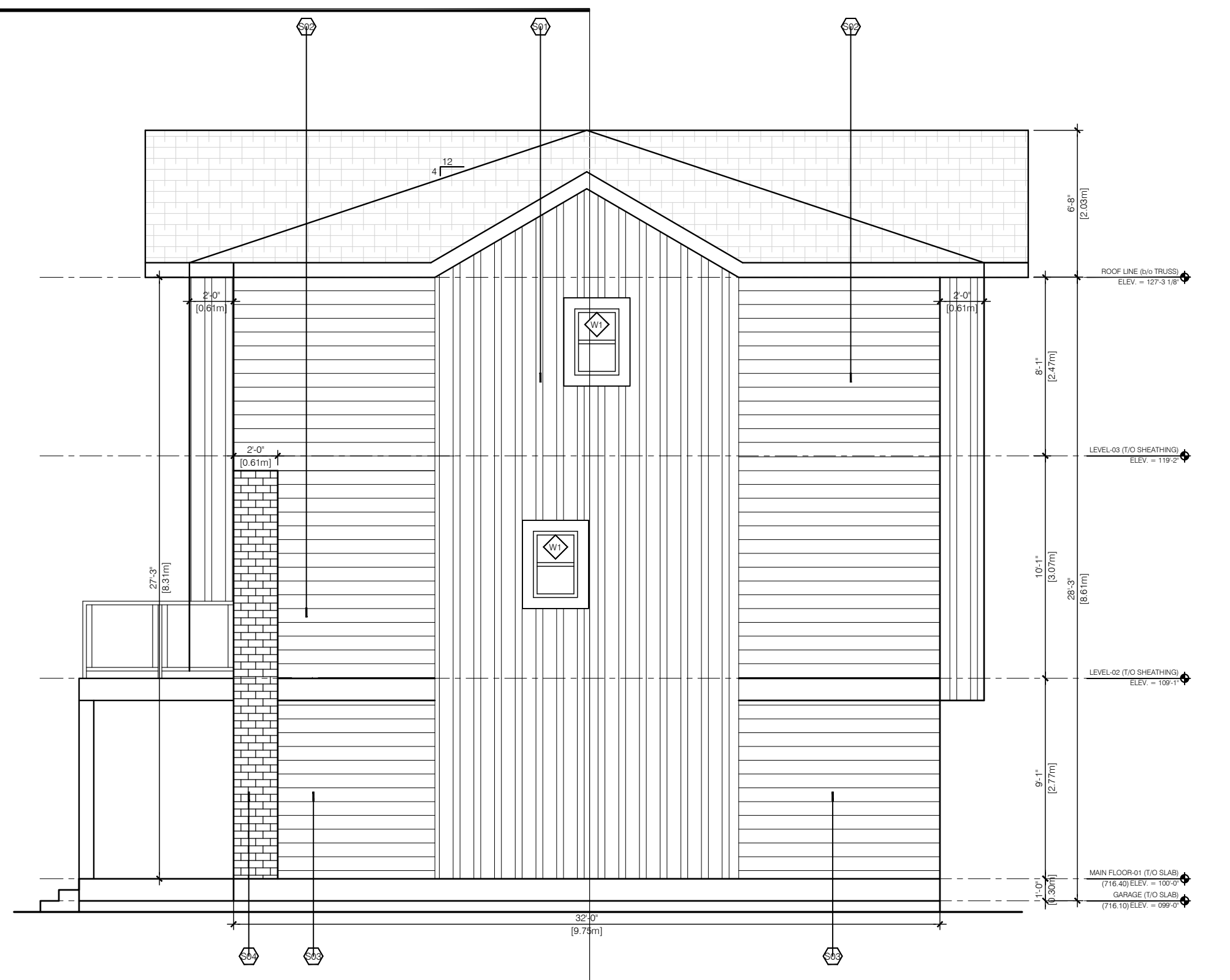
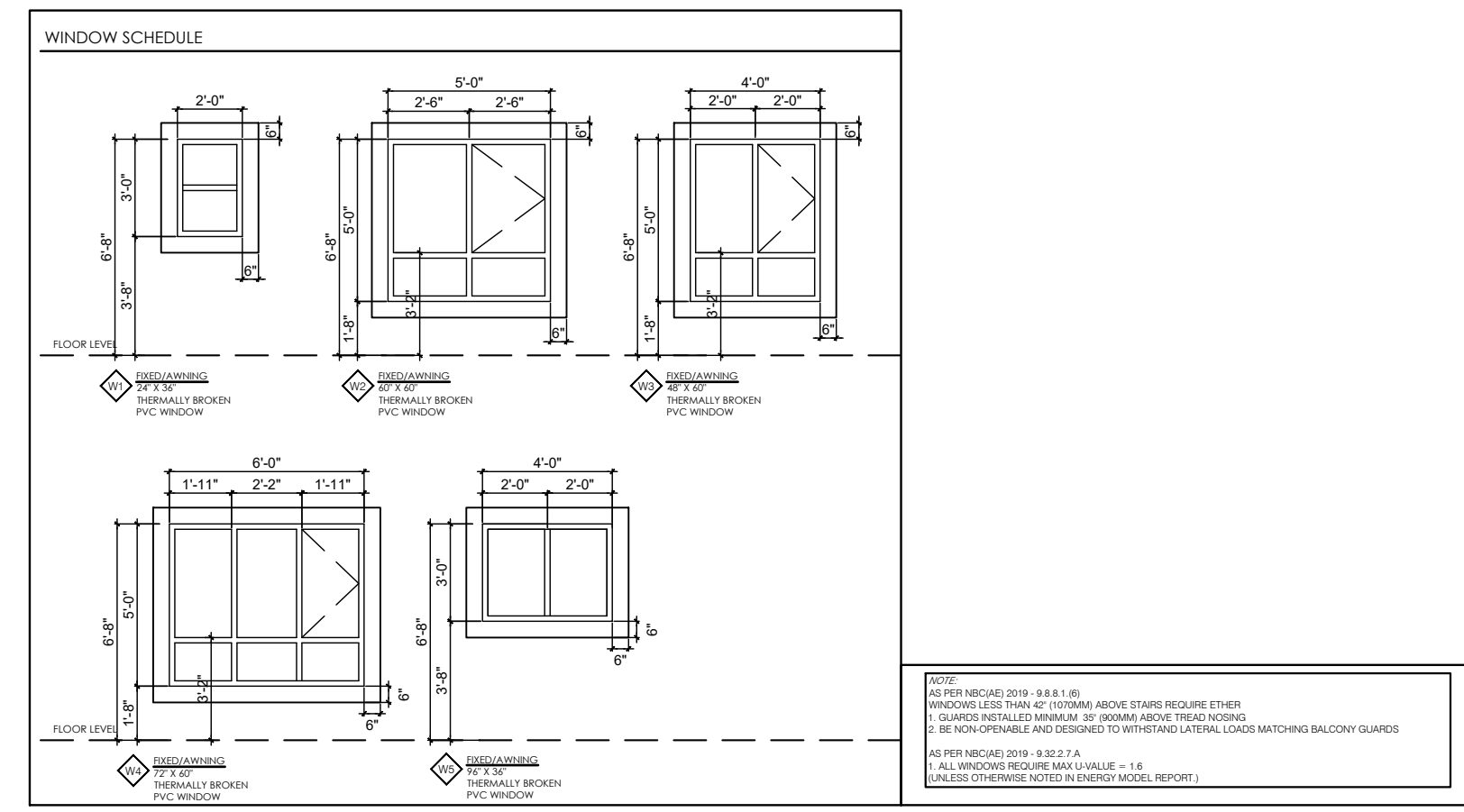
A1.0



1 SOUTH ELEVATION (PROPOSED)
A4.0 3/16" = 1'-0"

EXPOSED BUILDING FACE:	SOUTH ELEVATION (UNIT T1)
-LIMITING DISTANCE:	16.65m (CENTER OF LANE)
-EXTERIOR WALL FACE:	6.13m x 8.31m = 50.94m ²
(9.10.15.4)	
-PERMITTED GLAZING %:	100%
-TOTAL GLAZED OPENINGS:	11.24m ² (=22.06%)
(9.10.15.4)	
-REQ. FIRE RATING:	NONE (45 MIN PROVIDED)
-REQ. WALL CONSTRUCTION:	COMBUSTIBLE / NON COMBUSTIBLE
-REQ. CLADDING TYPE:	COMBUSTIBLE / NON COMBUSTIBLE

EXTERIOR FINISH SCHEDULE	
1	HARDE BOARD VERTICAL SIDING - COLOR: ARCTIC WHITE
2	HORIZONTAL VINYL SIDING - COLOR: IRON GREY
3	HORIZONTAL HARDE BOARD SIDING - COLOR: ARCTIC WHITE
4	XL INTERSTATE BRICK SYSTEM - COLOR: ARCTIC WHITE
5	VINYL BOARD AND BATTEN VERTICAL SIDING - COLOR: ARCTIC WHITE
6	HORIZONTAL VINYL SIDING - COLOR: ARCTIC WHITE
SCHEDULE NOTES	
1	HANDLE STORE, INSTALL OR APPLY, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND STANDARDS.
2	PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOW, LOUVER, VENT, ETC.).
3	PREFINISHED METAL FLASHING SHALL EXTEND AT LEAST 2" UPWARDS, HAVE A MINIMUM 1% POSITIVE SLOPE, HAVE END CHAMFERS NOT LESS THAN 1" HIGH, AND A MINIMUM ROOF 10" VERTICALLY OVER THE BUILDING ELEMENT BELOW AND TERMINATE WITH A DRIP THAT EXTENDS AT LEAST 1/4" OUT FROM THE FACE OF THE BUILDING ELEMENT.
4	PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS WITH DISSIMILAR EXTERIOR FINISH MATERIALS.
5	USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTABLES AND LIGHTING LOCATIONS.
6	ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.
7	ALL WINDOWS ARE CONSIDERED TO BE GLAZED AND MUST COMPLY NBC-53194E.

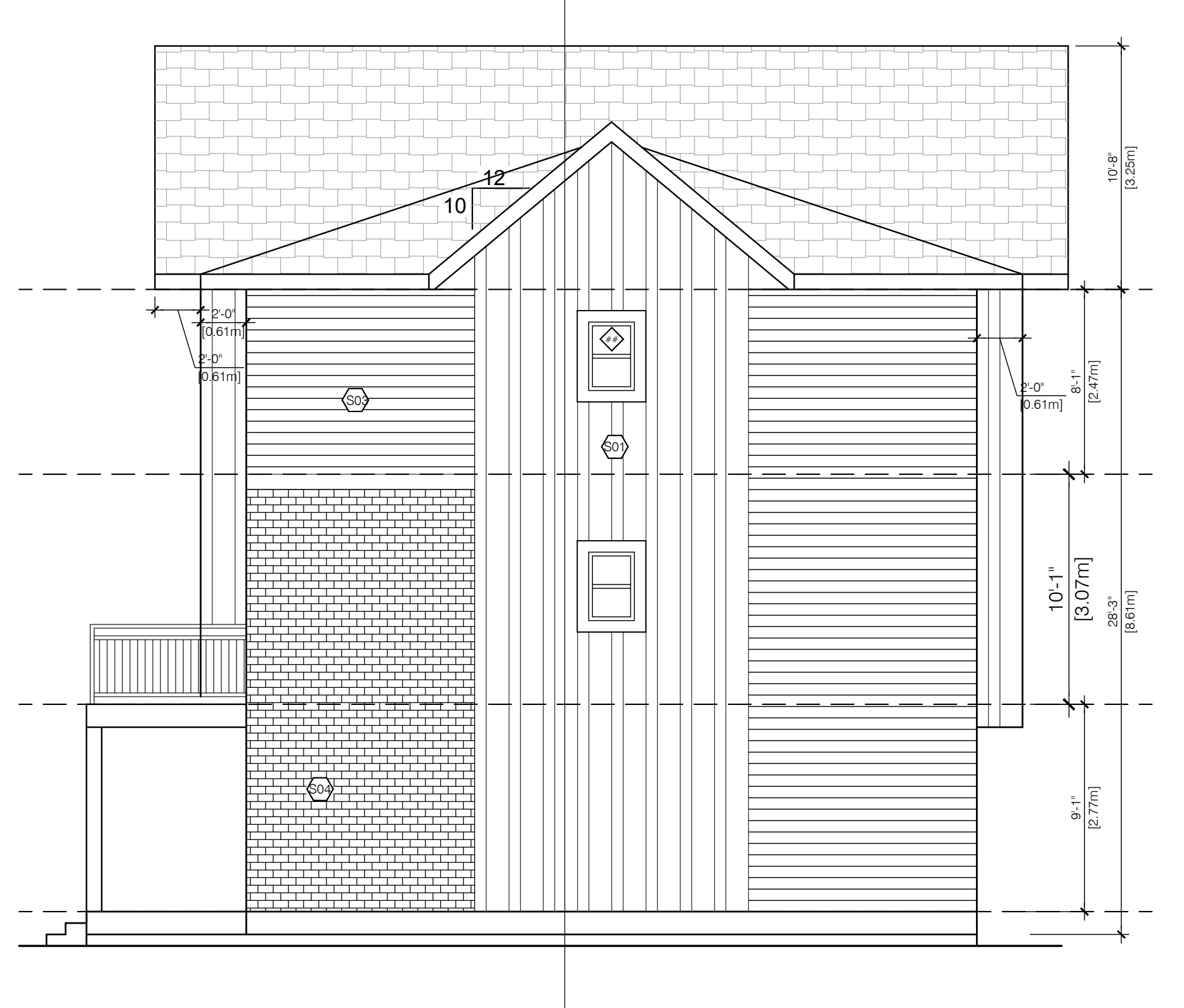


2 EAST ELEVATION (PROPOSED)
A4.0 3/16" = 1'-0"

EXPOSED BUILDING FACE:	EAST ELEVATION (UNIT T1)
-LIMITING DISTANCE:	13.87m (BETWEEN BUILDINGS)
-EXTERIOR WALL FACE:	9.75m x 8.31m = 81.02m ²
(9.10.15.4)	
-PERMITTED GLAZING %:	100%
-TOTAL GLAZED OPENINGS:	1.12m ² (=1.38%)
(9.10.15.4)	
-REQ. FIRE RATING:	NONE (45 MIN PROVIDED)
-REQ. WALL CONSTRUCTION:	COMBUSTIBLE / NON COMBUSTIBLE
-REQ. CLADDING TYPE:	COMBUSTIBLE / NON COMBUSTIBLE



3 SOUTH ELEVATION (APPROVED)
A4.0 3/16" = 1'-0"



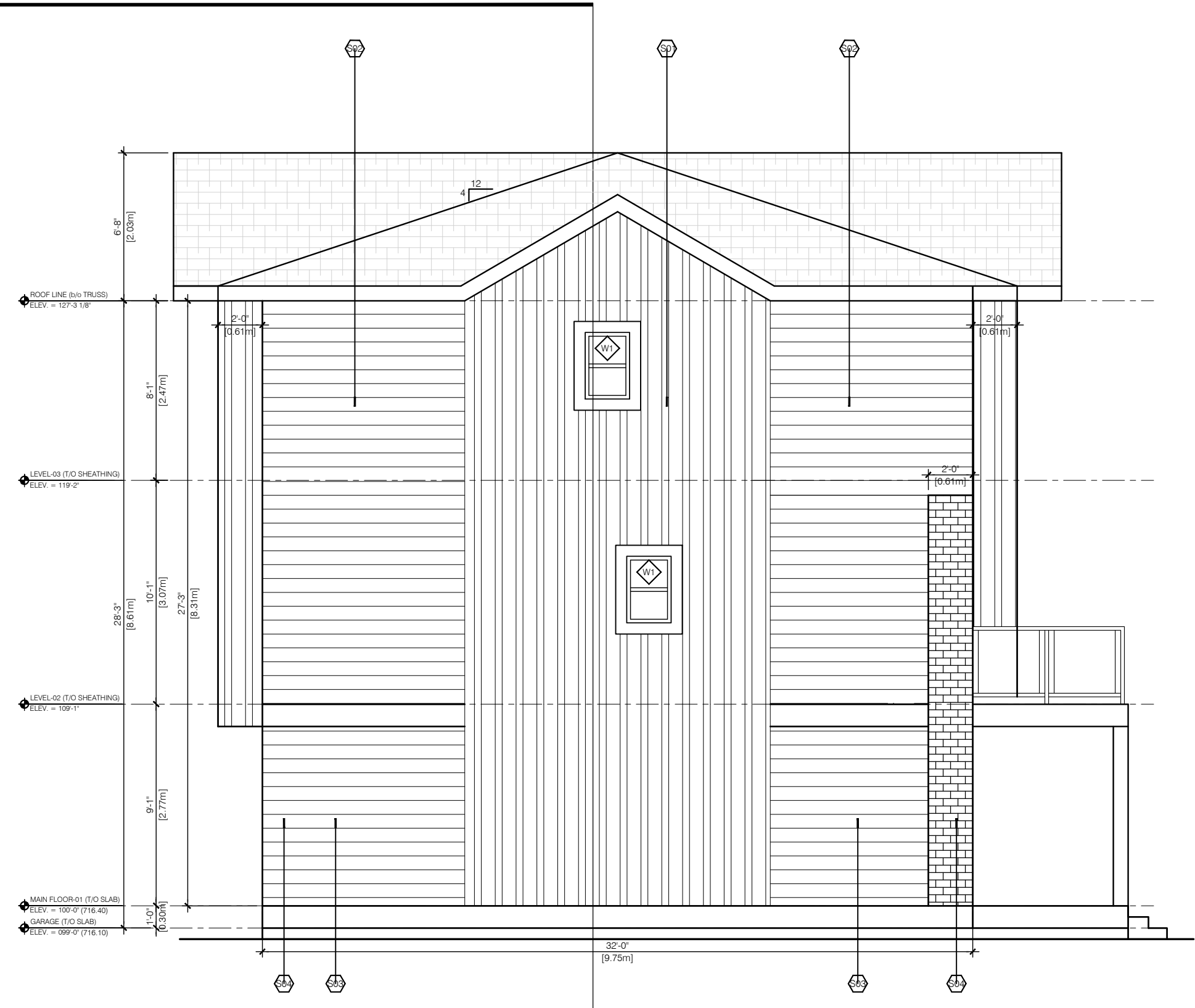
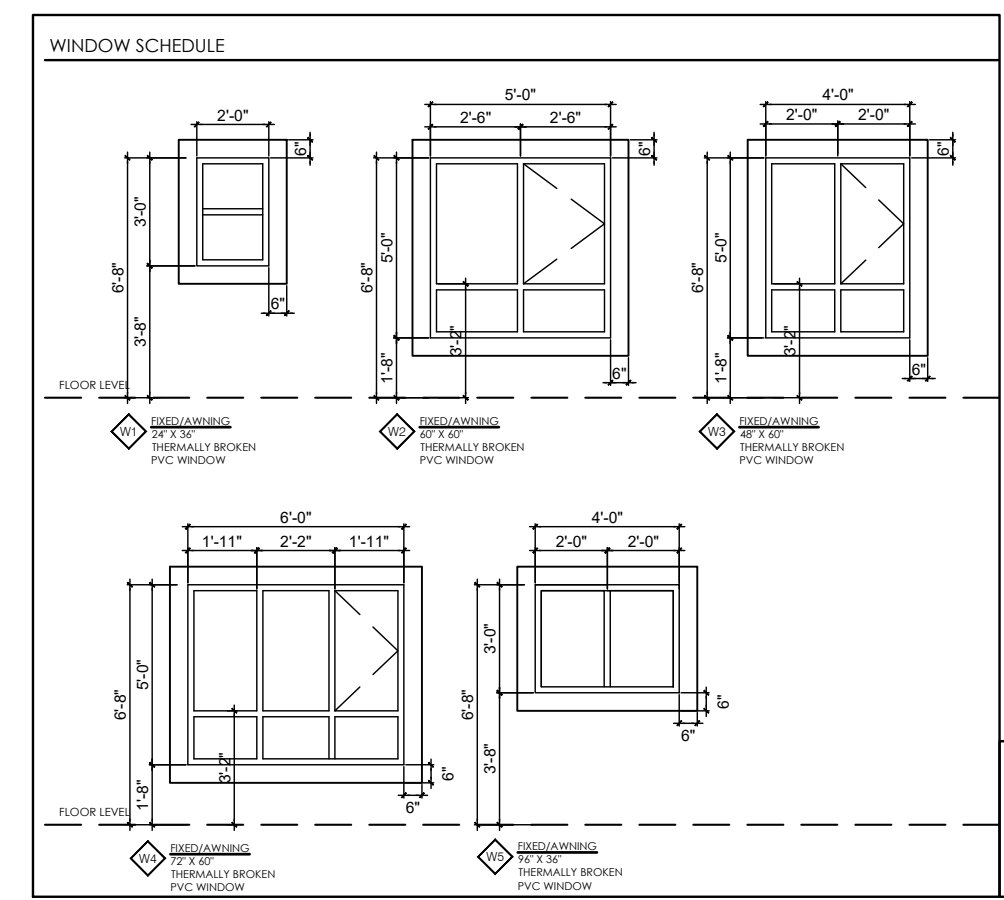
4 EAST ELEVATION (APPROVED)
A4.0 3/16" = 1'-0"



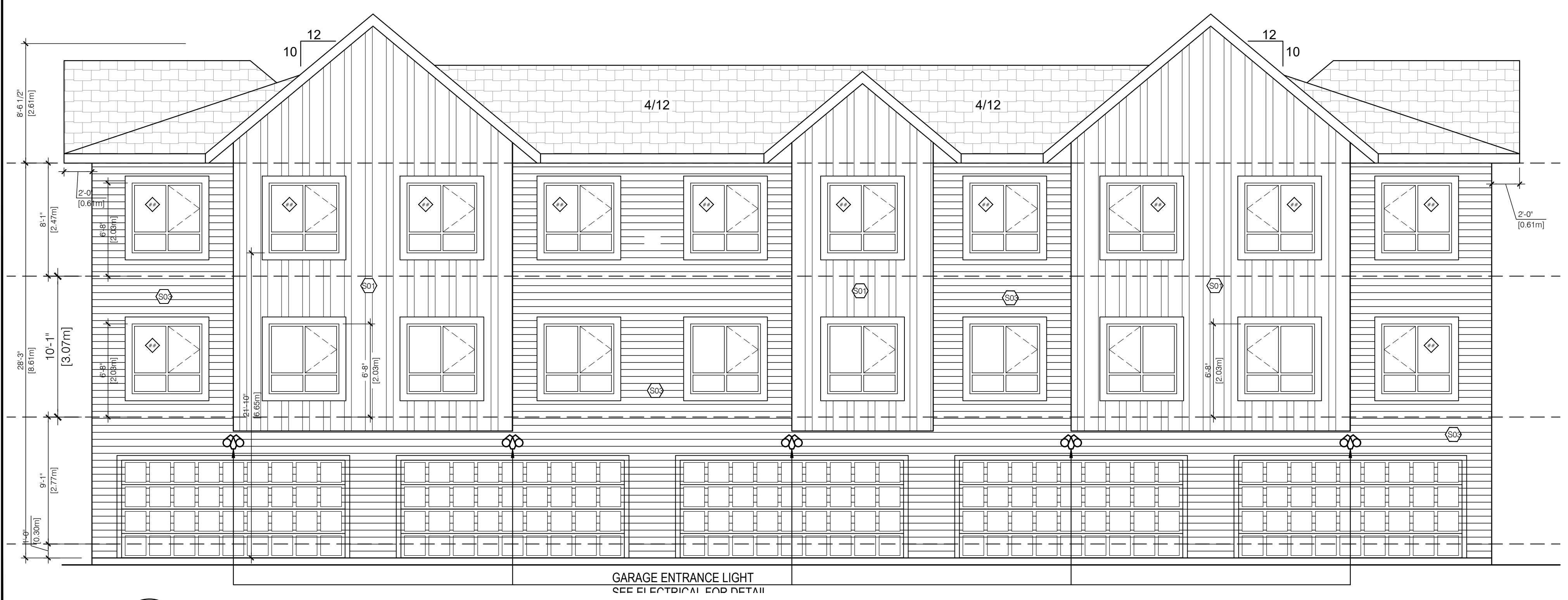
1 NORTH ELEVATION (PROPOSED)
A4.1 3/16" = 1'-0"

EXPOSED BUILDING FACE:	NORTH ELEVATION (LIMIT 1)
LIMITING DISTANCE:	4.08m (BETWEEN BUILDINGS)
EXTERIOR WALL FACE:	6.13m x 8.61m = 52.78m ²
(B.10.15.4.)	
PERMITTED GLAZING %:	18%
TOTAL GLAZED OPENINGS:	9.29m ² (=17.60%)
(B.10.15.4.)	
RED FIRE RATING:	NONE (45 MIN PROVIDED)
RED WALL CONSTRUCTION:	COMBUSTIBLE / NON COMBUSTIBLE
RED GLAZING TYPE:	COMBUSTIBLE / NON COMBUSTIBLE

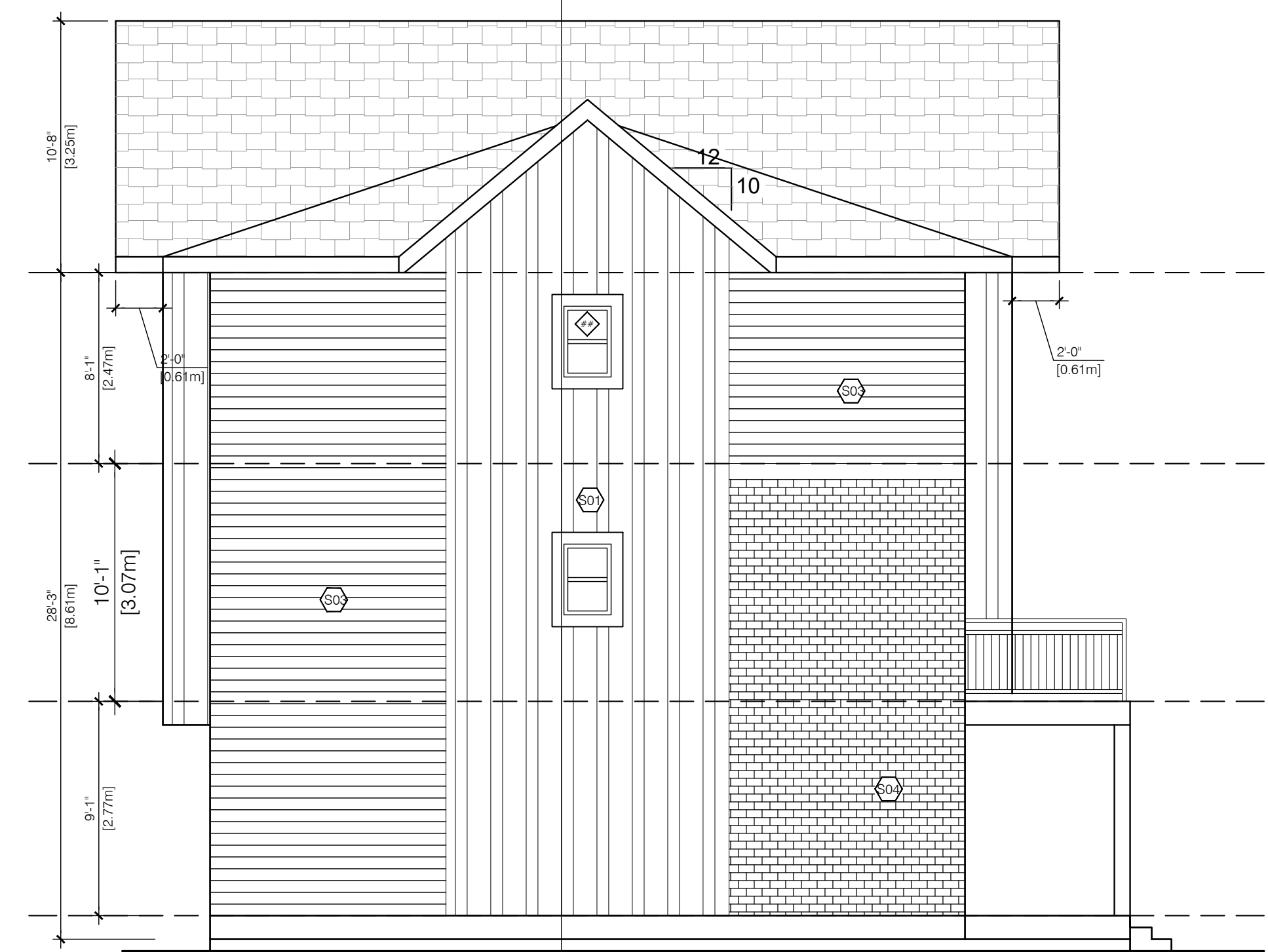
EXTERIOR FINISH SCHEDULE	
1	HARDE BOARD VERTICAL SIDING - COLOR: ARCTIC WHITE
2	HORIZONTAL VINYL SIDING - COLOR: IRON GREY
3	HORIZONTAL HARDE BOARD SIDING - COLOR: ARCTIC WHITE
4	AL INTERPERATE BRICK SYSTEM - COLOR: ARCTIC WHITE
5	WYLL SIDING AND BATTERY VERTICAL SIDING - COLOR: ARCTIC WHITE
6	HORIZONTAL VINYL SIDING - COLOR: ARCTIC WHITE
ROOF/FASCIA/RVL/ROOFMART 200 FIBROSTONE	
7	ROOFINGS - ASPHALT SHINGLES: CAMBRIDGE DUAL BLACK
8	BALKINGS - PREFINISHED BLACK ALUM. RIDGES WITH GUTTERS
9	BALCONY FASCIA - PREFINISHED BLACK ALUM.
10	WINDOWS - VINYL WHITE
11	METAL EXT. DOORS - COLOR: MATCH WALL COLOR
SCHEDULE NOTES	
1	HANDLE, STORE, INSTALL OR APPLY, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS AND STANDARDS.
2	PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOW, EAVES, VENT, ETC.).
3	PREFINISHED METAL FLASHING SHALL EXTEND AT LEAST 2" UPWARDS WITH A MINIMUM 10% OVERLAP. WHERE SIDING IS NOT LESS THAN 1" HIGH LAP A MINIMUM OF 1/2" VERTICALLY OVER THE BUILDING ELEMENT BELOW AND TERMINATE WITH A LAP THAT EXTENDS AT LEAST 1/4" OUT FROM THE FACE OF THE BUILDING ELEMENT.
4	PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS WITH DISSIMILAR EXTERIOR FINISH MATERIALS.
5	USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECESSES AND LIGHTING LOCATIONS.
6	ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.
7	ALL WINDOWS ARE CONSIDERED TO BE GLAZED AND MUST COMPLY NBC-2010-504E.



2 WEST ELEVATION (PROPOSED)
A4.1 3/16" = 1'-0"



3 NORTH ELEVATION (APPROVED)
A4.1 3/16" = 1'-0"



4 WEST ELEVATION (APPROVED)
A4.1 3/16" = 1'-0"



1 EAST ELEVATION (PROPOSED)
A4.0 3/16" = 1'-0"

2 SOUTH ELEVATION (PROPOSED)
A4.0 3/16" = 1'-0"

EXPOSED BUILDING FACE: EAST ELEVATION (UNIT T3)
 -LIMITING DISTANCE: 13.6m (BETWEEN BUILDINGS)
 -EXTERIOR WALL FACE: 10.97m x 8.31m = 91.16m²
 (9.10.15.4)
 -PERMITTED GLAZING %: 100%
 -TOTAL GLAZED OPENINGS: 2.87m² (=3.15%)
 (9.10.15.4)
 -REQ. FIRE RATING: NONE (45 MIN PROVIDED)
 -REQ. WALL CONSTRUCTION: COMBUSTIBLE / NON COMBUSTIBLE
 -REQ. CLADDING TYPE: COMBUSTIBLE / NON COMBUSTIBLE

EXPOSED BUILDING FACE: SOUTH ELEVATION (UNIT T3)
 -LIMITING DISTANCE: 4.8m (BETWEEN BUILDINGS)
 -EXTERIOR WALL FACE: 4.51m x 8.61m = 38.83m²
 (9.10.15.4)
 -PERMITTED GLAZING %: 32%
 -TOTAL GLAZED OPENINGS: 6.78m² (=17.46%)
 (9.10.15.4)
 -REQ. FIRE RATING: NONE (45 MIN PROVIDED)
 -REQ. WALL CONSTRUCTION: COMBUSTIBLE / NON COMBUSTIBLE
 -REQ. CLADDING TYPE: COMBUSTIBLE / NON COMBUSTIBLE

EXPOSED BUILDING FACE: SOUTH ELEVATION (UNIT T2)
 -LIMITING DISTANCE: 4.8m (BETWEEN BUILDINGS)
 -EXTERIOR WALL FACE: 4.47m x 8.61m = 38.49m²
 (9.10.15.4)
 -PERMITTED GLAZING %: 32%
 -TOTAL GLAZED OPENINGS: 6.78m² (=17.61%)
 (9.10.15.4)
 -REQ. FIRE RATING: NONE (45 MIN PROVIDED)
 -REQ. WALL CONSTRUCTION: COMBUSTIBLE / NON COMBUSTIBLE
 -REQ. CLADDING TYPE: COMBUSTIBLE / NON COMBUSTIBLE

EXPOSED BUILDING FACE: SOUTH ELEVATION (UNIT T1)
 -LIMITING DISTANCE: 4.8m (BETWEEN BUILDINGS)
 -EXTERIOR WALL FACE: 6.10m x 8.61m = 52.52m²
 (9.10.15.4)
 -PERMITTED GLAZING %: 18%
 -TOTAL GLAZED OPENINGS: 9.29m² (=17.68%)
 (9.10.15.4)
 -REQ. FIRE RATING: NONE (45 MIN PROVIDED)
 -REQ. WALL CONSTRUCTION: COMBUSTIBLE / NON COMBUSTIBLE
 -REQ. CLADDING TYPE: COMBUSTIBLE / NON COMBUSTIBLE

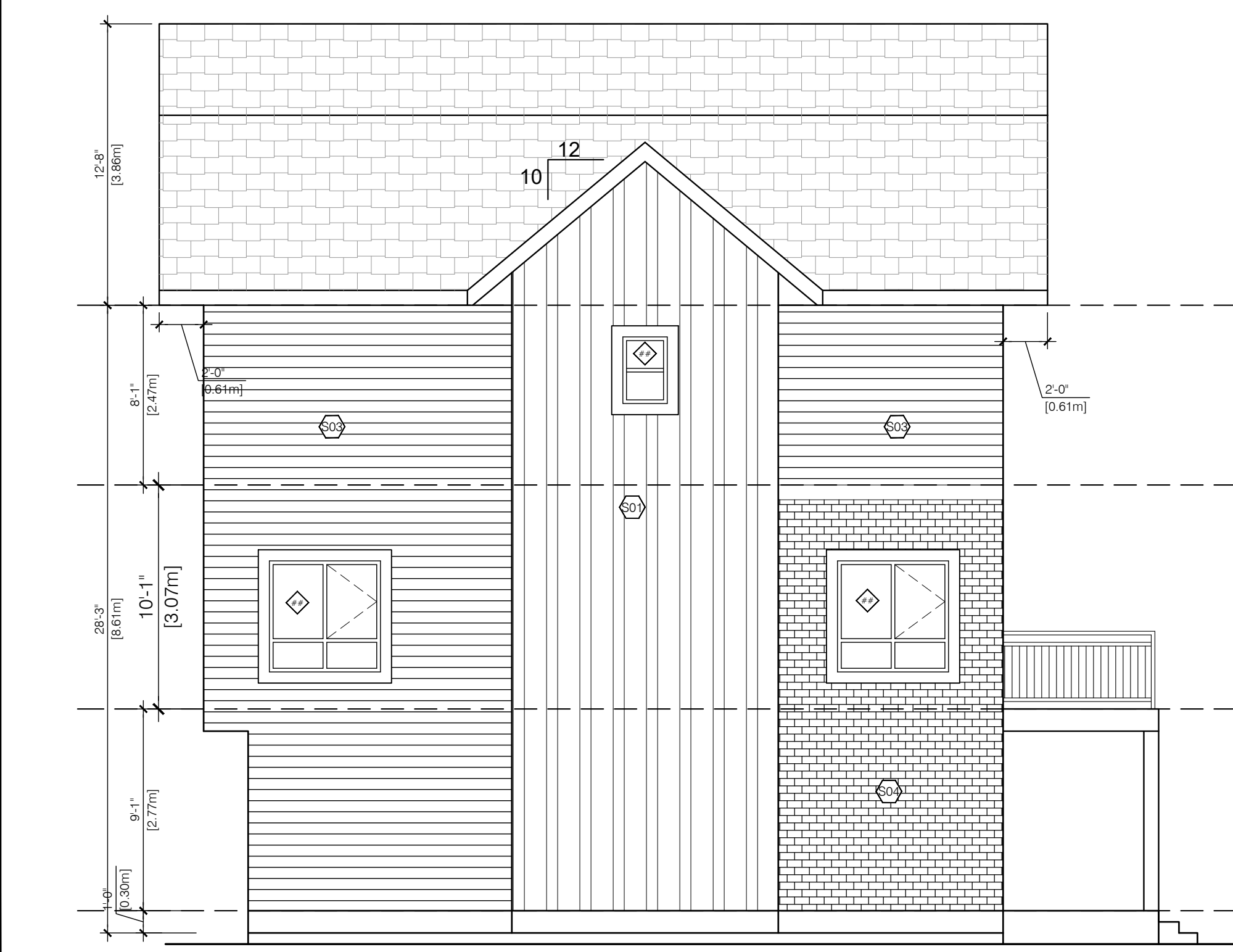
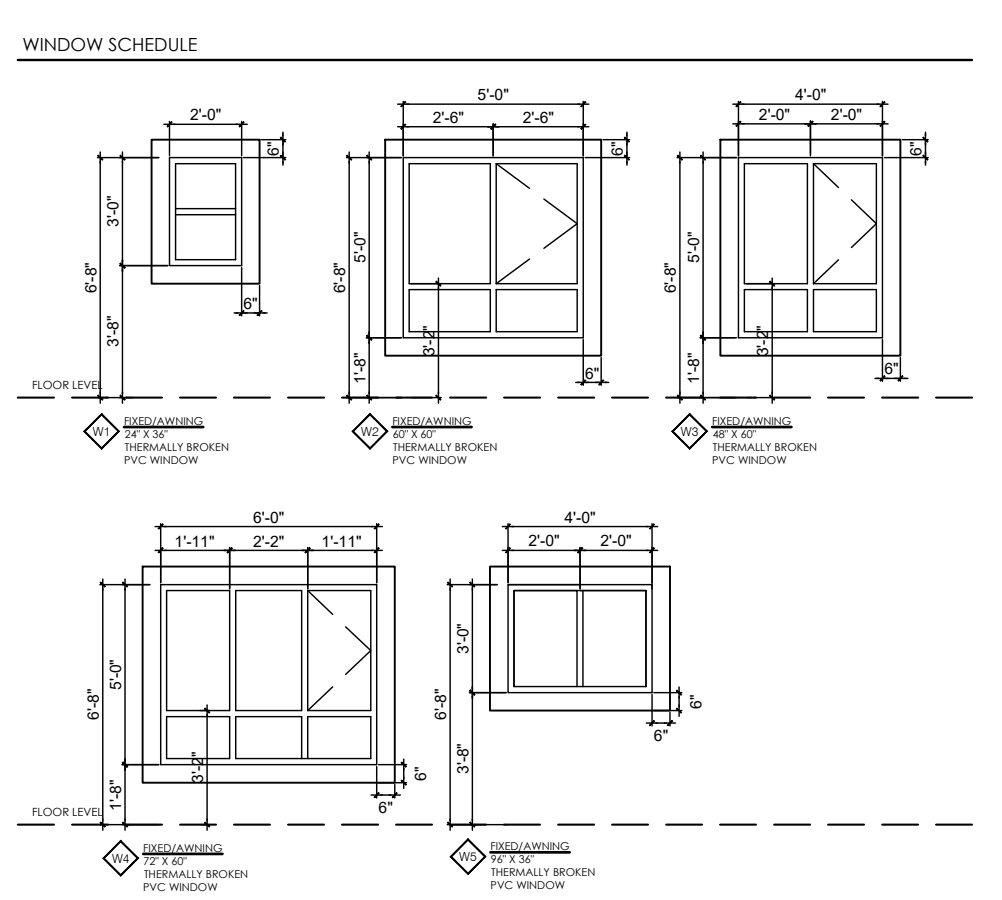
EXTERIOR FINISH SCHEDULE

- 1 HORIZONTAL WOOD BOARD VERTICAL SIDING - COLOR: ARCTIC WHITE
- 2 HORIZONTAL VINYL SIDING - COLOR: IRONLUREY
- 3 HORIZONTAL WOOD BOARD SIDING - COLOR: ARCTIC WHITE
- 4 XL INTERSTATE BRICK SYSTEM - COLOR: ARCTIC WHITE
- 5 VINYL BOARD AND BATTEN VERTICAL SIDING - COLOR: ARCTIC WHITE
- 6 HORIZONTAL VINYL SIDING - COLOR: ARCTIC WHITE

ROOFING ASPHALT SHINGLES, CAMBERSE DUAL, BLACK PAVERINGS - PREFINISHED BLACK ALUM. INSERT WITH GLASS BRUSHY FIBER - PREFINISHED BLACK ALUM.
WINDOWS - VINYL, WHITE
METAL EXIT DOORS - COLOR: MATCH WALL COLOR

SCHEDULE NOTES

1. FINISHES TO BE METAL OR W/VEY CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS. RECOMMENDATIONS AND ORDINANCES.
2. PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOWS, LOUVERS, VENTS, ETC).
3. PREFINISHED METAL FLASHING SHALL EXTEND OUT 150MM (6") UPWARDS, HAVE A MINIMUM 4% POSITIVE SLOPE, HAVE END-CAPMS NOT LESS THAN 150MM (6") HIGH. DO NOT CUT OFFICALLY. USE THE BUILDING ELEMENT BELOW AND TERMINATE WITH A Drip THAT EXTENDS AT LEAST 4" OUT FROM THE FACE OF THE BUILDING ELEMENT.
4. PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS BETWEEN EXTERIOR FINISH MATERIALS.
5. USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTACLES AND LIGHTING LOCATIONS.
6. ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNERS PRIOR TO ORDERING.
7. ALL WINDOWS ARE CONSIDERED TO BE GUARDS AND MUST COMPLY WITH CODES.



3 EAST ELEVATION (APPROVED)
A4.0 3/16" = 1'-0"



4 SOUTH ELEVATION (APPROVED)
A4.0 3/16" = 1'-0"

GARAGE ENTRANCE LIGHT
SEE ELECTRICAL FOR DETAIL



1 WEST ELEVATION (PROPOSED)
A4.1 3/16"=1'-0"

2 NORTH ELEVATION (PROPOSED)
A4.1 3/16"=1'-0"

EXPOSED BUILDING FACE - WEST ELEVATION (UNIT T3)

-LIMITING DISTANCE: 2.4m (PROPERTY LINE)
-EXTERIOR WALL FACE: 10.97m x 8.31m = 91.16m²

(9.10.15.4)
-PERMITTED GLAZING %: 9%
-TOTAL GLAZED OPENINGS: 2.87m² (=3.15%)

(9.10.15.4)
-REQ. FIRE RATING: NONE (45 MIN PROVIDED)
-REQ. WALL CONSTRUCTION: COMBUSTIBLE / NON COMBUSTIBLE
-REQ. CLADDING TYPE: COMBUSTIBLE / NON COMBUSTIBLE

EXPOSED BUILDING FACE - NORTH ELEVATION (UNIT T3)

-LIMITING DISTANCE: 7.0m (BETWEEN BUILDINGS)
-EXTERIOR WALL FACE: 4.51m x 8.31m = 37.48m²

(9.10.15.4)
-PERMITTED GLAZING %: 69%
-TOTAL GLAZED OPENINGS: 5.85m² (=15.61%)

(9.10.15.4)
-REQ. FIRE RATING: NONE (45 MIN PROVIDED)
-REQ. WALL CONSTRUCTION: COMBUSTIBLE / NON COMBUSTIBLE
-REQ. CLADDING TYPE: COMBUSTIBLE / NON COMBUSTIBLE

EXPOSED BUILDING FACE - NORTH ELEVATION (UNIT T2)

-LIMITING DISTANCE: 7.0m (BETWEEN BUILDINGS)
-EXTERIOR WALL FACE: 4.47m x 8.31m = 37.15m²

(9.10.15.4)
-PERMITTED GLAZING %: 69%
-TOTAL GLAZED OPENINGS: 5.29m² (=14.24%)

(9.10.15.4)
-REQ. FIRE RATING: NONE (45 MIN PROVIDED)
-REQ. WALL CONSTRUCTION: COMBUSTIBLE / NON COMBUSTIBLE
-REQ. CLADDING TYPE: COMBUSTIBLE / NON COMBUSTIBLE

EXPOSED BUILDING FACE - NORTH ELEVATION (UNIT T1)

-LIMITING DISTANCE: 7.0m (BETWEEN BUILDINGS)
-EXTERIOR WALL FACE: 6.10m x 8.31m = 50.69m²

(9.10.15.4)
-PERMITTED GLAZING %: 34%
-TOTAL GLAZED OPENINGS: 11.24m² (=22.17%)

(9.10.15.4)
-REQ. FIRE RATING: NONE (45 MIN PROVIDED)
-REQ. WALL CONSTRUCTION: COMBUSTIBLE / NON COMBUSTIBLE
-REQ. CLADDING TYPE: COMBUSTIBLE / NON COMBUSTIBLE

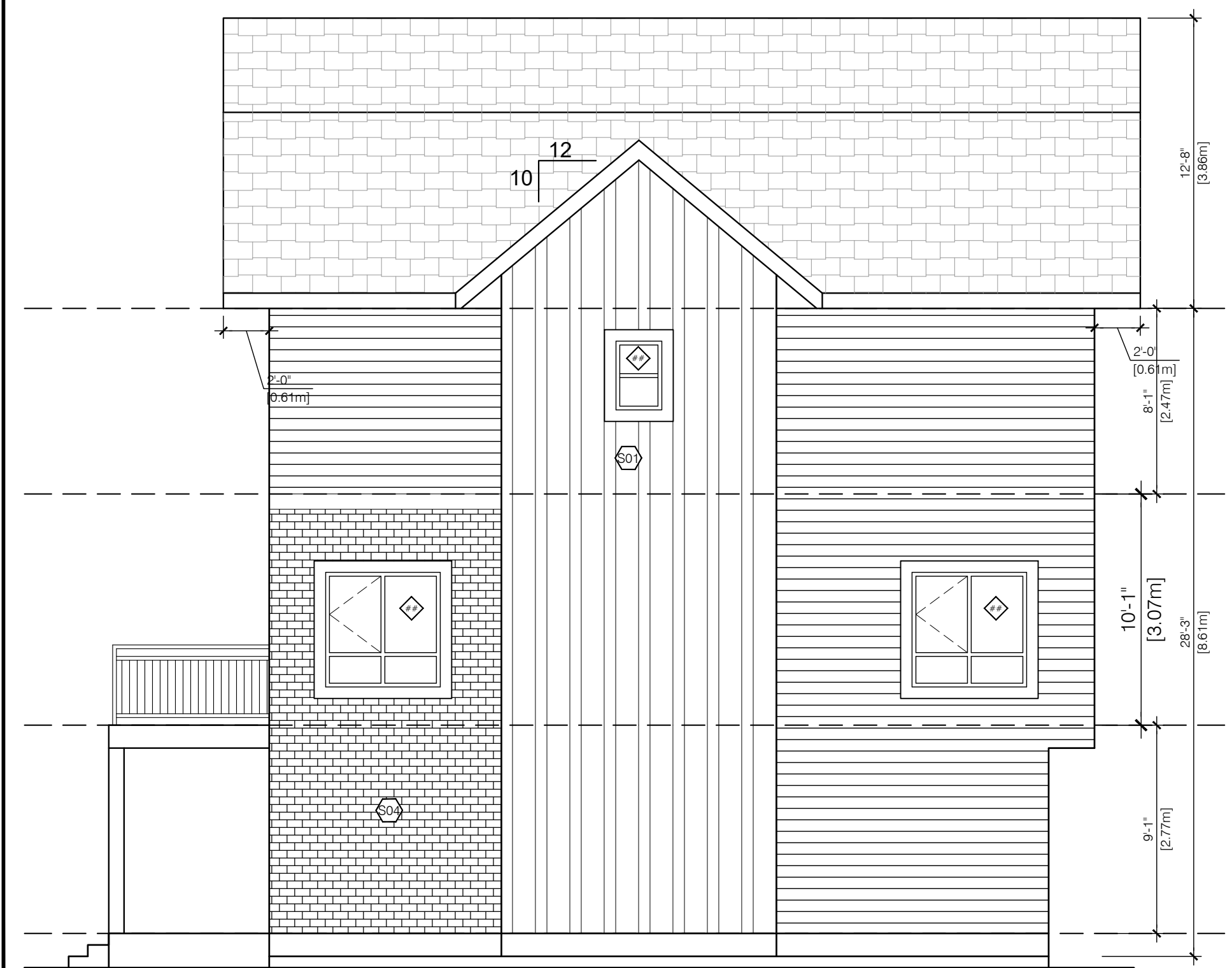
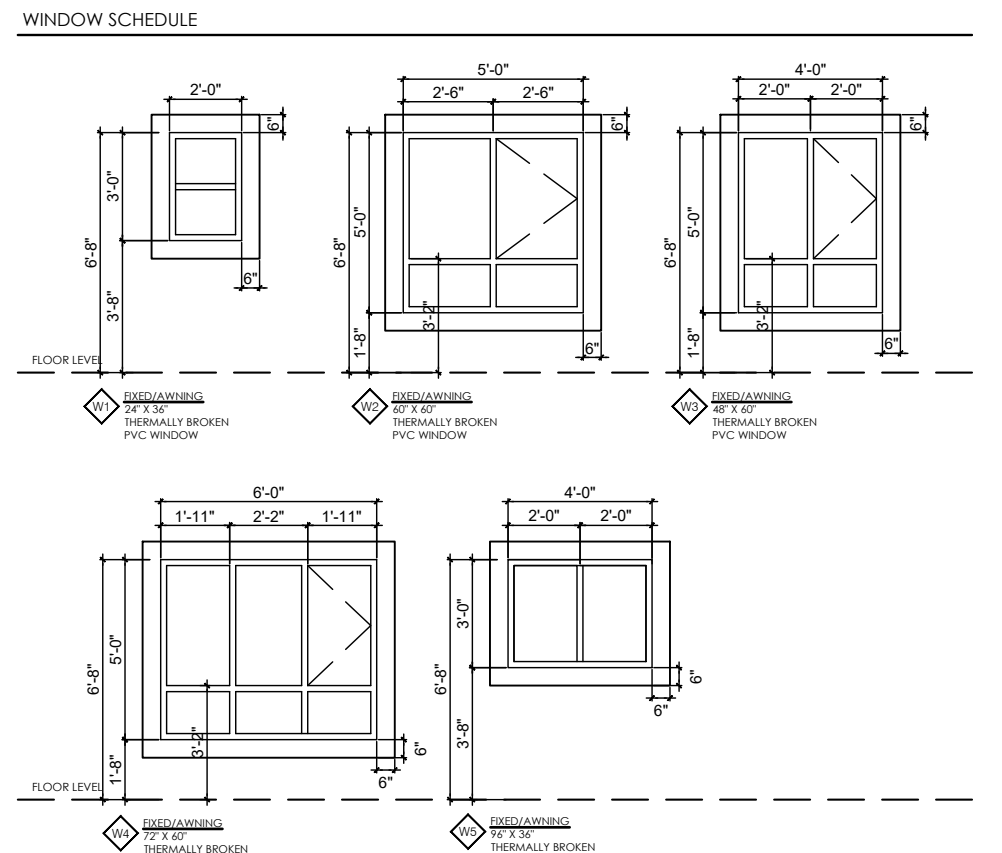
EXTERIOR FINISH SCHEDULE

1. HARDIE BOARD VERTICAL SIDING - COLOR: ARCTIC WHITE
2. HORIZONTAL VINYL SIDING - COLOR: IRON GREY
3. HORIZONTAL HARDIE BOARD SIDING - COLOR: ARCTIC WHITE
4. XL INTERSTATE BRICK SYSTEM - COLOR: ARCTIC WHITE
5. VINYL BOARD AND BATTEN VERTICAL SIDING - COLOR: ARCTIC WHITE
6. HORIZONTAL VINYL SIDING - COLOR: ARCTIC WHITE

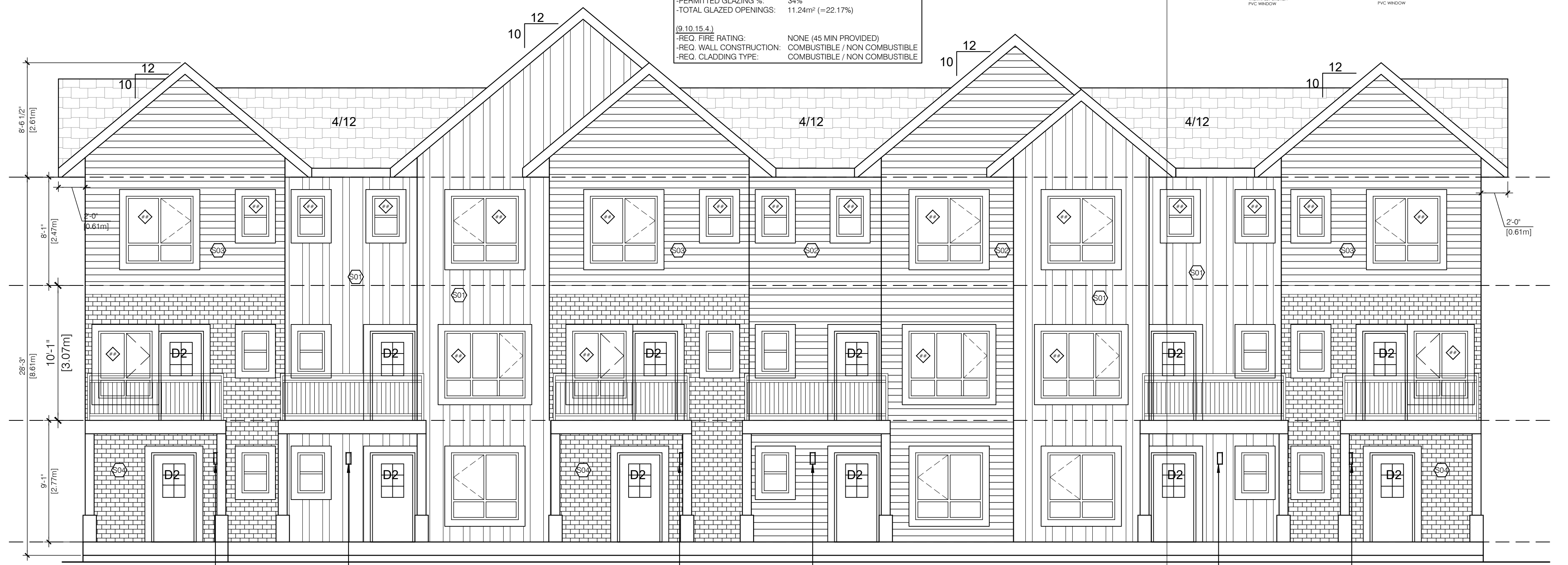
ROOF FABRIC: REAL ROOMMATE 200 IRONSTONE
ROOFING: ASPHALT SHINGLES, CAMBERED DUAL BLACK PAWLINGS - PREFINISHED BLACK ALUM. INSERT WITH GLASS BALCONY FLESH - PREFINISHED BLACK ALUM.
WINDOWS - VINYL, WHITE
METAL EXIT DOORS - COLOR: MATCH WALL COLOR

SCHEDULE NOTES

1. PROVIDE DRAINAGE METALS, CRAPES, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS, RECOMMENDING RES. CHIMNEYS.
2. PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOWS, LOUVERS, VENTS, ETC).
3. PREFINISHED METAL FLASHING SHALL EXTEND AT LEAST 2" UPWARDS, HAVE A MINIMUM 6% POSITIVE SLOPE, HAVE END-CAPES NOT LESS THAN 1/2" HIGH UP A MINIMUM 5/8" OR VERTICALLY OVER THE BUILDING ELEMENT SIDE ON AND TERMINATE WITH A Drip That EXTENDS AT LEAST 1/2" OUT FROM THE FACE OF THE BUILDING ELEMENT.
4. PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS BETWEEN EXTERIOR FINISH MATERIALS.
5. USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTACLES AND LIGHTING LOCATIONS.
6. ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNERS PRIOR TO ORDERING.
7. ALL WINDOWS ARE CONSIDERED TO BE GUARDS AND MUST COMPLY REQUIREMENTS.

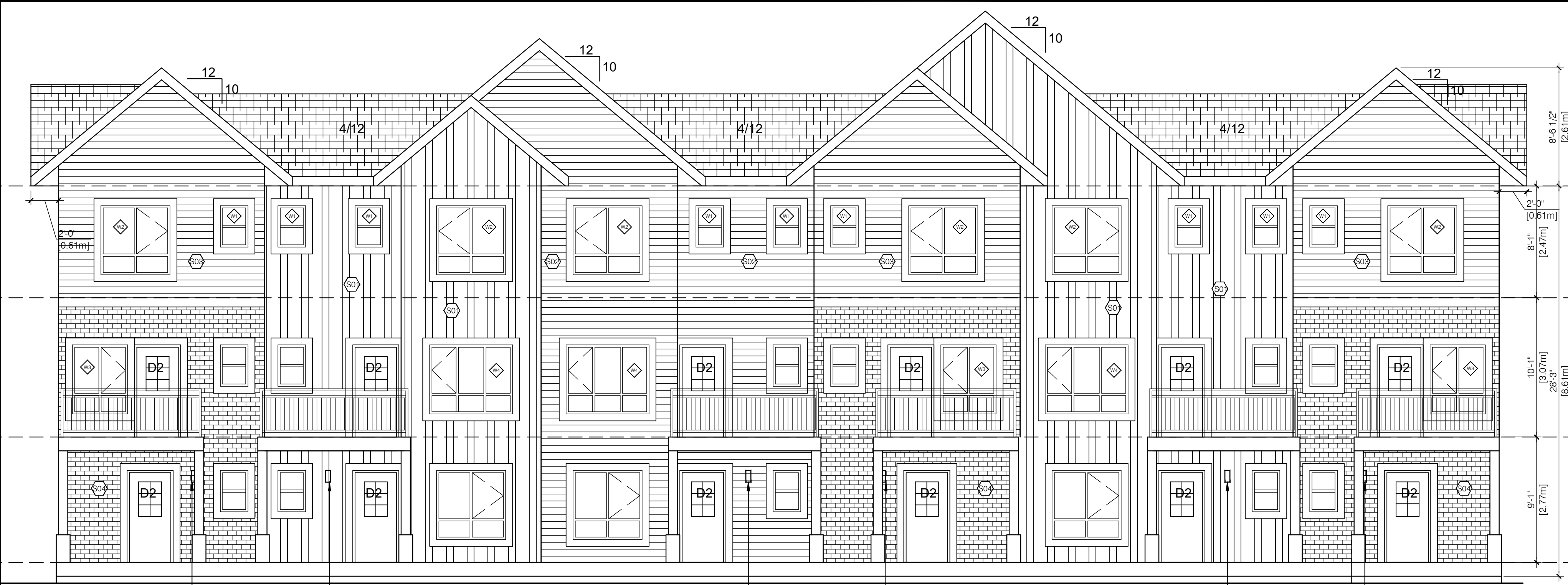


3 WEST ELEVATION (APPROVED)
A4.1 3/16"=1'-0"



4 NORTH ELEVATION (APPROVED)
A4.1 3/16"=1'-0"

ENTRANCE LIGHT
SEE ELECTRICAL FOR DETAIL

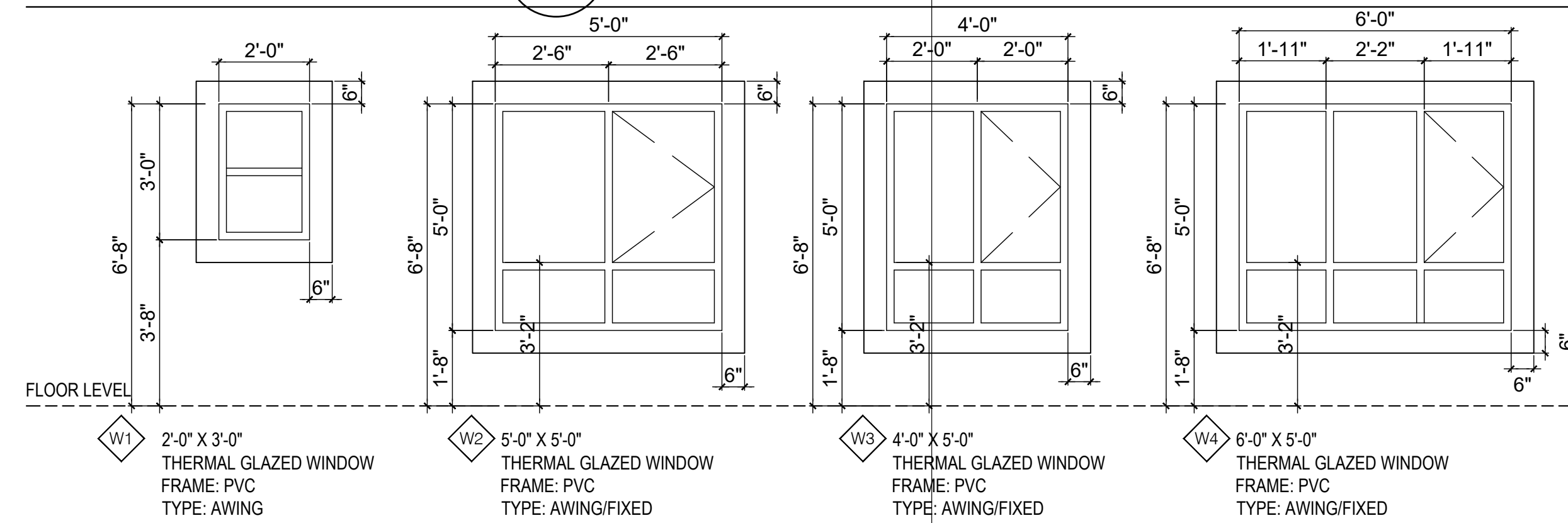


1 FRONT ELEVATION
A4.0 3/16" = 1'-0"

ENTRANCE LIGHT
SEE ELECTRICAL FOR DETAIL

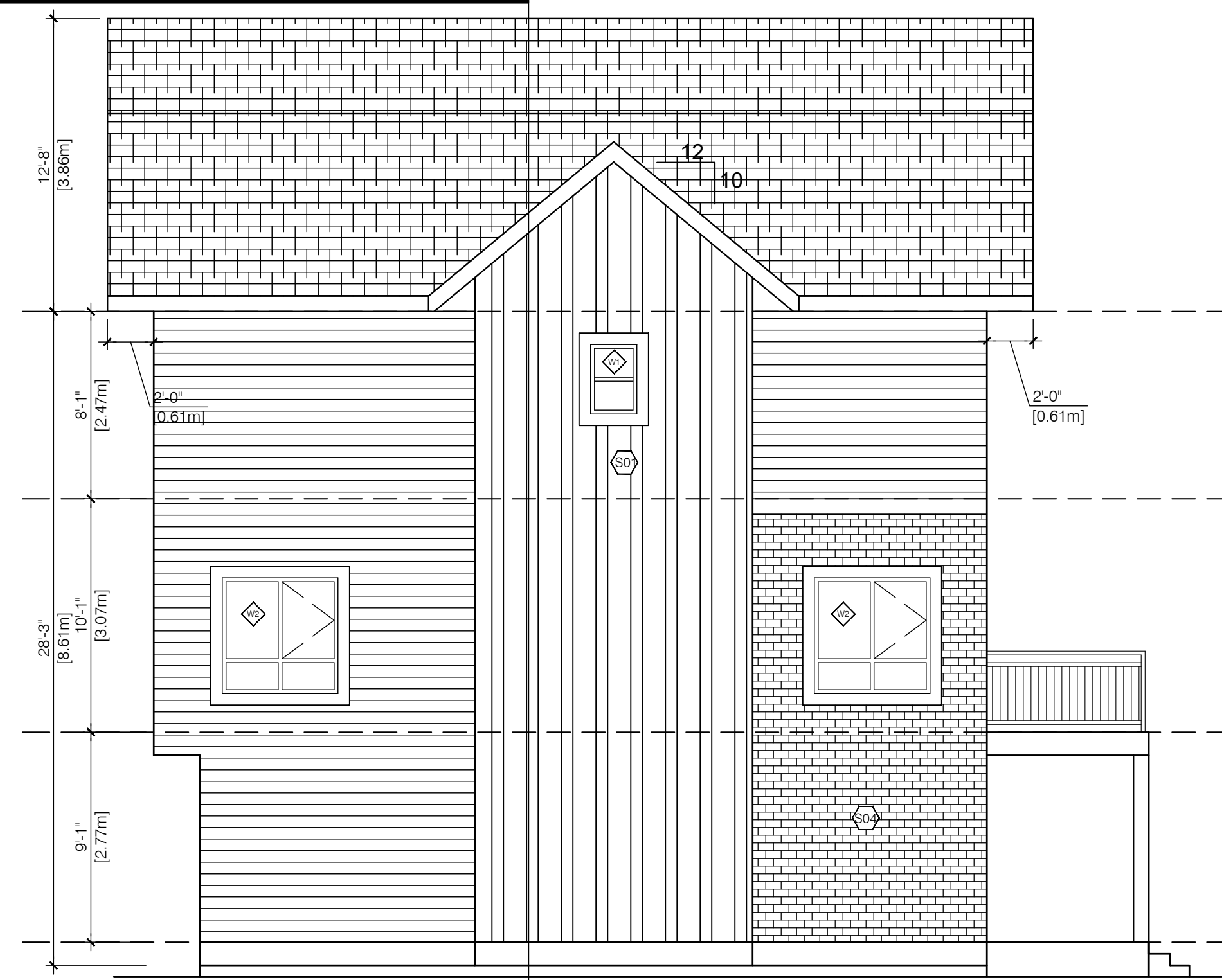
EXTERIOR FINISH SCHEDULE	
S01	JAMES HARDIE BOARD AND BATTEN SIDING - ARCTIC WHITE
S02	HORIZONTAL VINYL SIDING - IRON GREY
S03	HORIZONTAL VINYL SIDING - ARCTIC WHITE
S04	IXL INTERSTATE BRICK - ARCTIC WHITE
METAL TRIM, SOFFIT & RAINGOODS - ROOFMART 290 IRONSTONE RAILINGS - SINGLE RAIL - METAL MCLAN - BLACK	
WINDOWS - WHITE VINYL, DOUBLE INSULATED GLAZING	
METAL EXIT ENTRY DOORS - INSULATED DOOR COLOUR TO MATCH ROOF - ASPHALT SHINGLES CAMBRIDGE DUAL BLACK	
SCHEDULE NOTES	
1. HANDLE, STORE, INSTALL OR APPLY, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND STANDARDS.	
2. PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOWS, LOUVERS, VENTS ETC).	
3. PREFINISHED METAL FLASHING SHALL: EXTEND AT LEAST 2" UPWARDS, HAVE A MINIMUM 6% POSITIVE SLOPE, HAVE END DAMS NOT LESS THAN 1" HIGH, LAP A MINIMUM OF 1/2" VERTICALLY OVER THE BUILDING ELEMENT BELOW AND TERMINATE WITH A DRIP THAT EXTENDS AT LEAST 1/4" OUT FROM THE FACE OF THE BUILDING ELEMENT.	
4. PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS WITH DISSIMILAR EXTERIOR FINISH MATERIALS.	
5. USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTACLES AND LIGHTING LOCATIONS.	
6. ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.	
7. ALL WINDOWS ARE CONSIDERED TO BE GUARDS AND MUST COMPLY NBC-2019AE	

WINDOW SCHEDULE

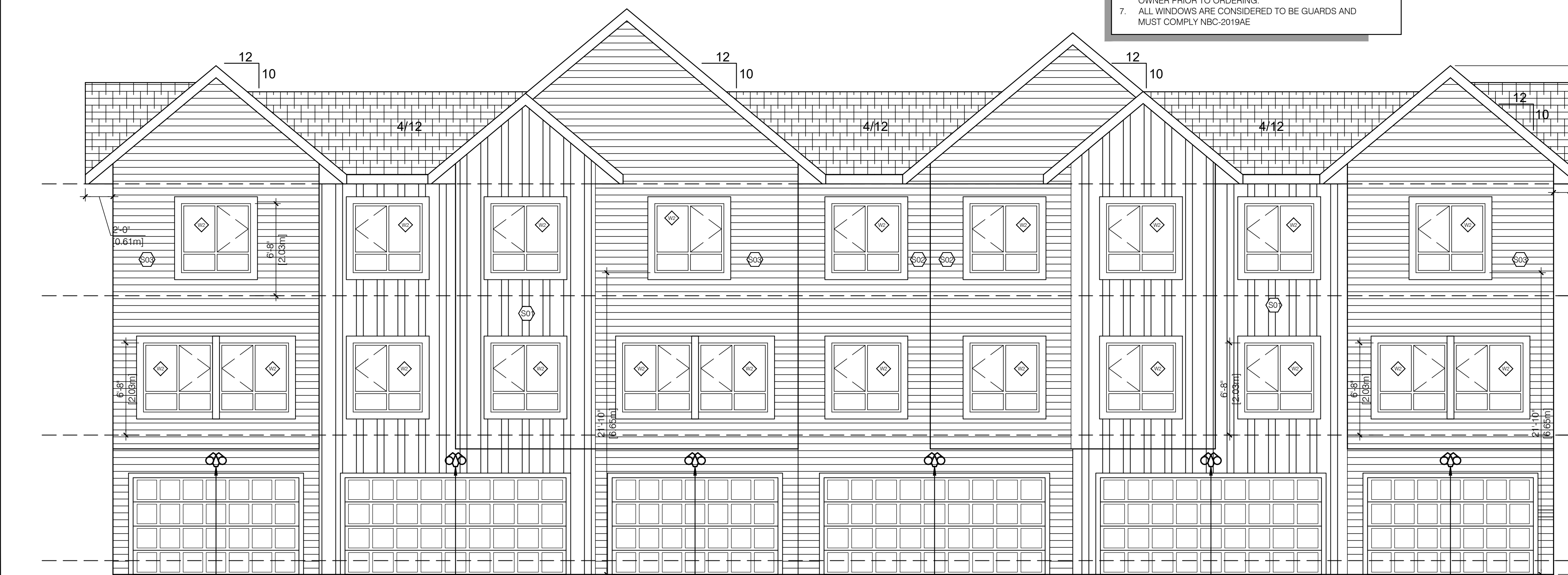


SCHEDULE NOTES:
1. ALL WINDOWS TO HAVE A MAX OR EQUAL U-VALUE OF 1.60
2. INSTALL WINDOWS PER SUPPLIER RECOMMENDATIONS AND REQUIREMENTS

NOTE!
DRAWINGS TO BE USED IN CONJUNCTION WITH THE ENERGY MODEL REPORT.

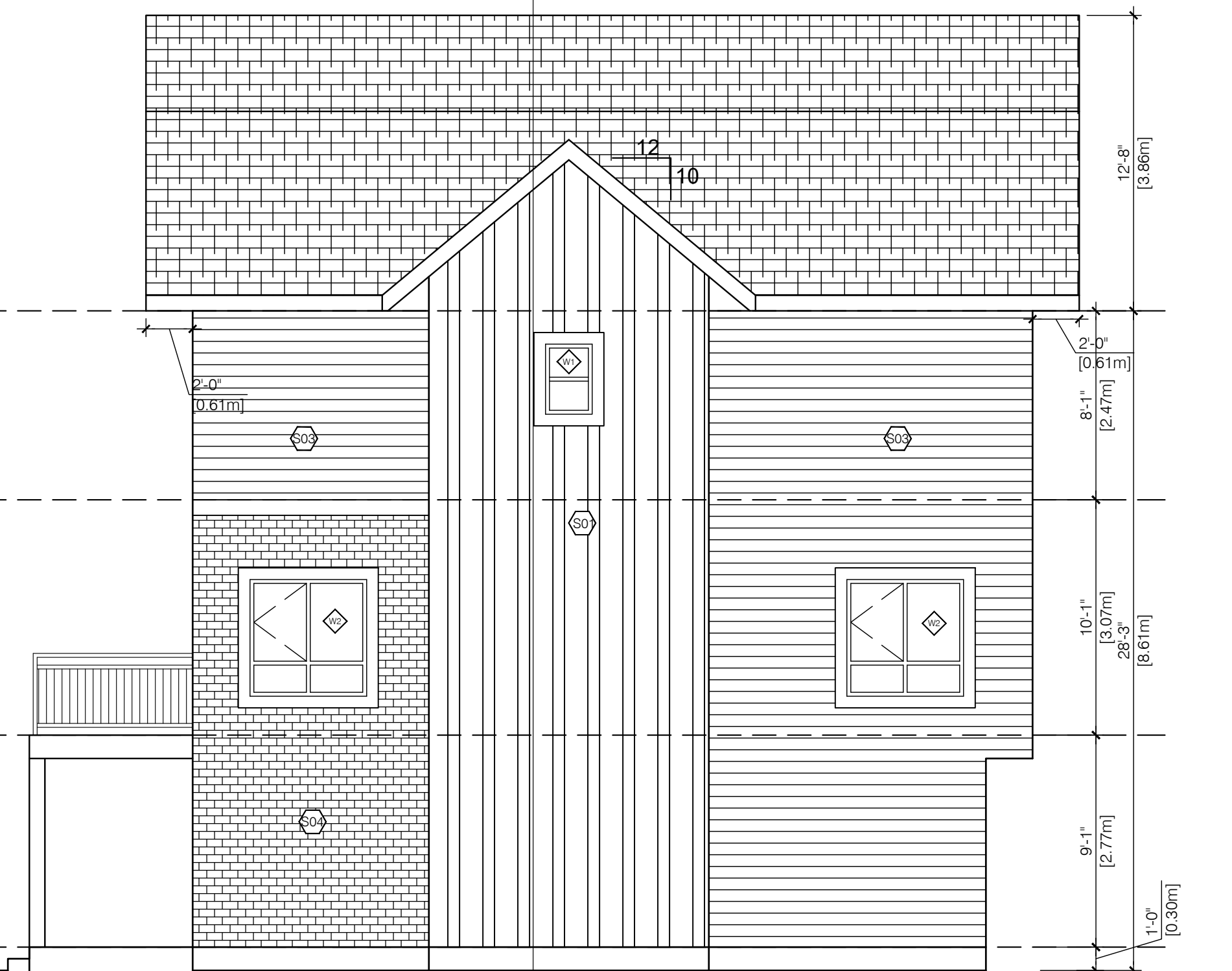


2 SIDE ELEVATION
A4.0 3/16" = 1'-0"

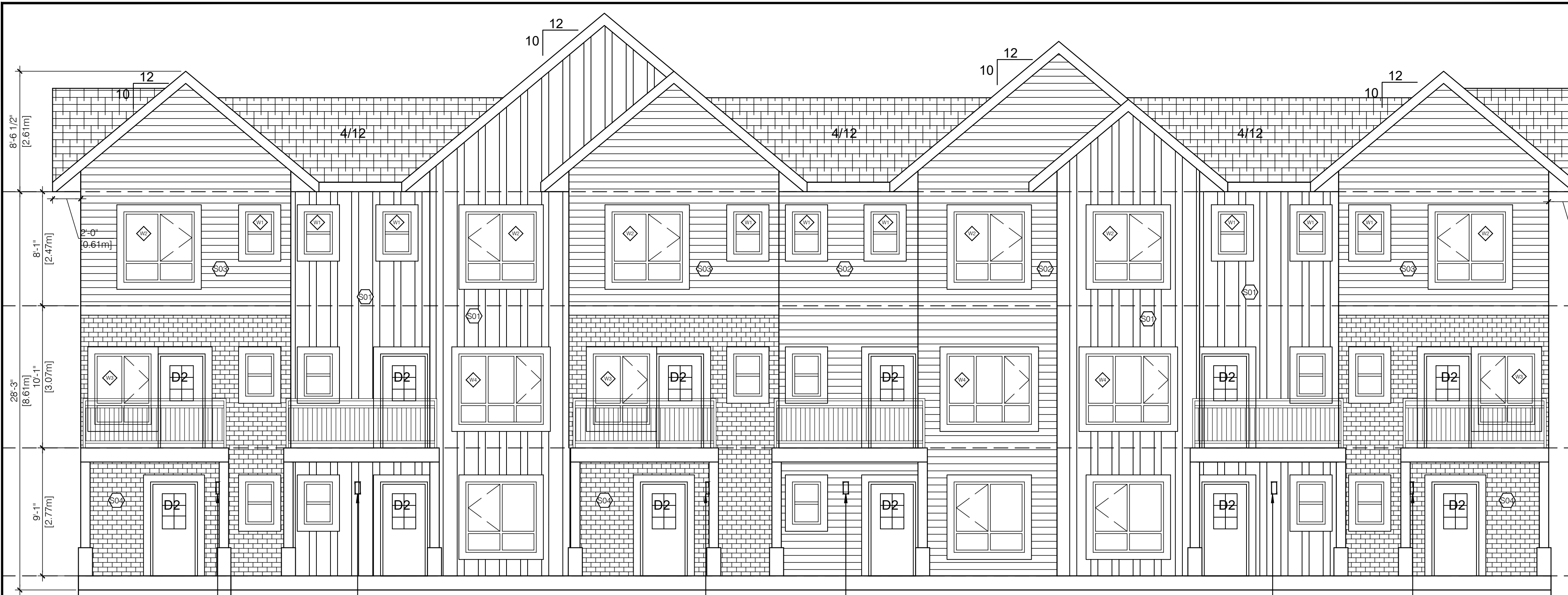


3 REAR ELEVATION
A4.0 3/16" = 1'-0"

GARAGE ENTRANCE LIGHT
SEE ELECTRICAL FOR DETAIL



4 SIDE ELEVATION
A4.0 3/16" = 1'-0"



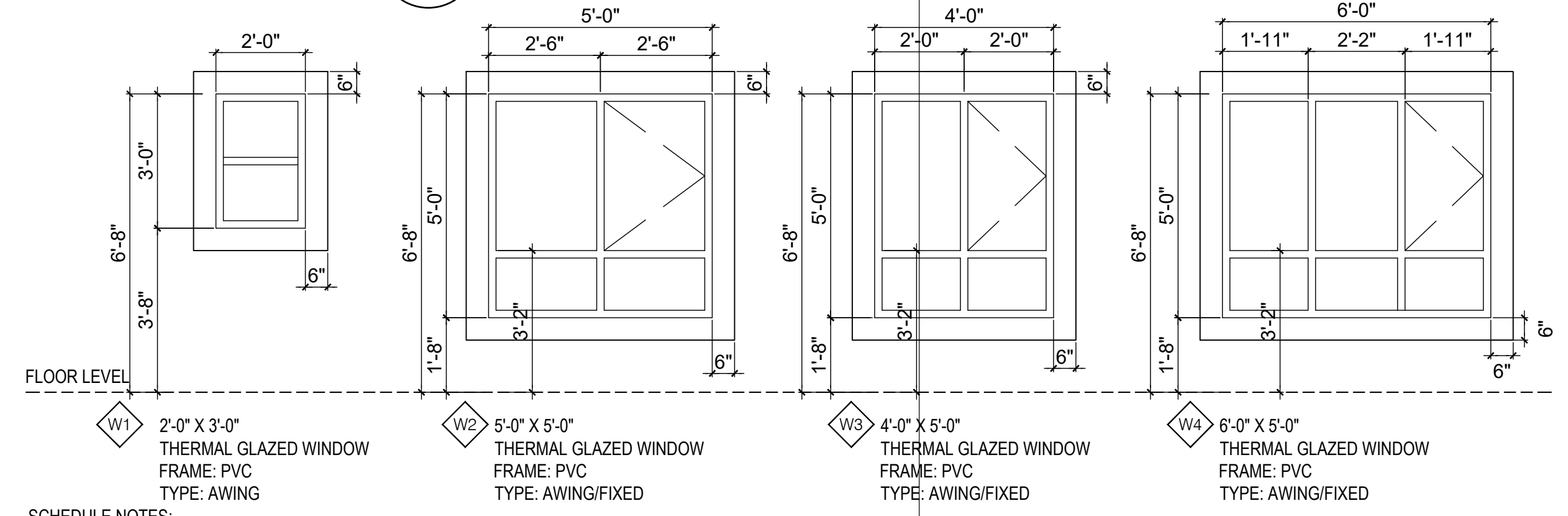
1 FRONT ELEVATION
A4.0 3/16" = 1'-0"

ENTRANCE LIGHT
SEE ELECTRICAL FOR DETAIL

EXTERIOR FINISH SCHEDULE	
S01	JAMES HARDIE BOARD AND BATTEN SIDING - ARCTIC WHITE
S02	HORIZONTAL VINYL SIDING - IRON GREY
S03	HORIZONTAL VINYL SIDING - ARCTIC WHITE
S04	IXL INTERSTATE BRICK - ARCTIC WHITE
METAL TRIM, SOFFIT & RAINGOODS - ROOFMART 290 IRONSTONE RAILINGS - SINGLE RAIL - METAL MCLAN - BLACK	
WINDOWS - WHITE VINYL, DOUBLE INSULATED GLAZING	
METAL EXIT ENTRY DOORS - INSULATED DOOR COLOUR TO MATCH ROOF - ASPHALT SHINGLES CAMBRIDGE DUAL BLACK	
SCHEDULE NOTES	
1.	HANDLE, STORE, INSTALL OR APPLY, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND STANDARDS.
2.	PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOWS, LOUVERS, VENTS ETC).
3.	PREFINISHED METAL FLASHING SHALL: EXTEND AT LEAST 2" UPWARDS, HAVE A MINIMUM 6% POSITIVE SLOPE, HAVE END DAMS NOT LESS THAN 1" HIGH, LAP A MINIMUM OF 1/2" VERTICALLY OVER THE BUILDING ELEMENT BELOW AND TERMINATE WITH A DRIP THAT EXTENDS AT LEAST 1/4" OUT FROM THE FACE OF THE BUILDING ELEMENT.
4.	PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS WITH DISSIMILAR EXTERIOR FINISH MATERIALS.
5.	USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTACLES AND LIGHTING LOCATIONS.
6.	ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.
7.	ALL WINDOWS ARE CONSIDERED TO BE GUARDS AND MUST COMPLY NBC-2019AE

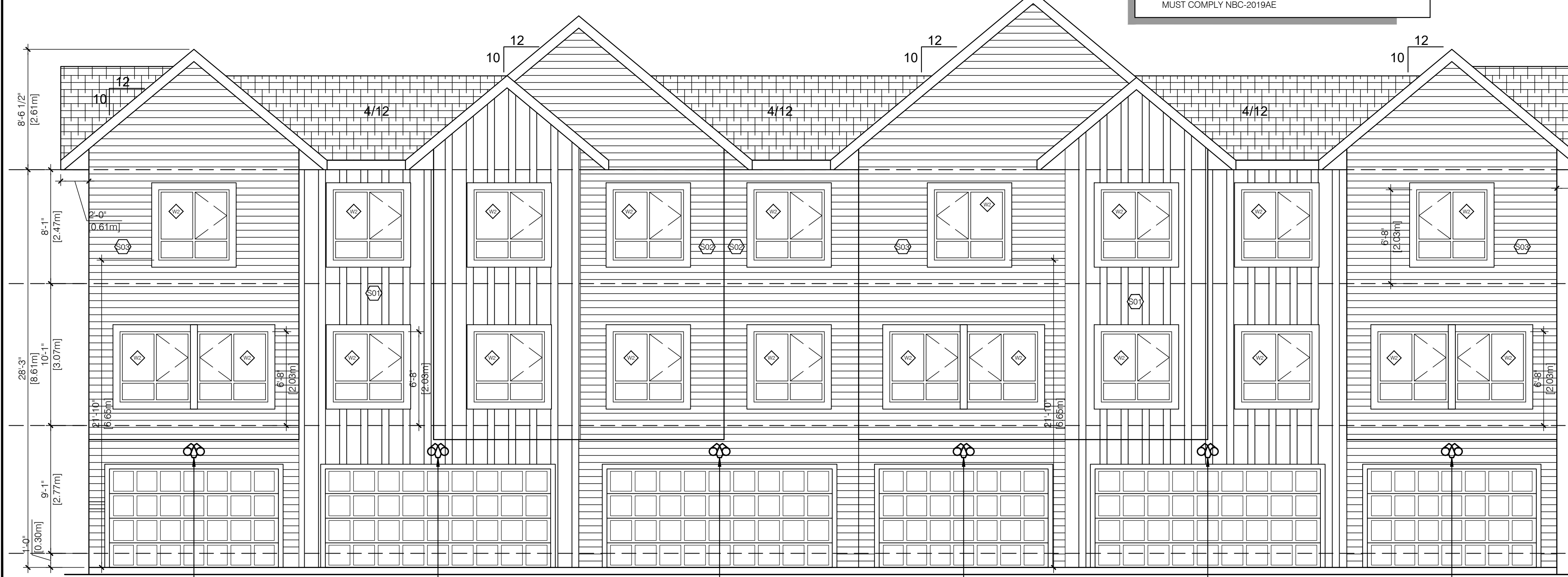
2 SIDE ELEVATION
A4.0 3/16" = 1'-0"

WINDOW SCHEDULE



SCHEDULE NOTES:
1. ALL WINDOWS TO HAVE A MAX OR EQUAL U-VALUE OF 1.60
2. INSTALL WINDOWS PER SUPPLIER RECOMMENDATIONS AND REQUIREMENTS

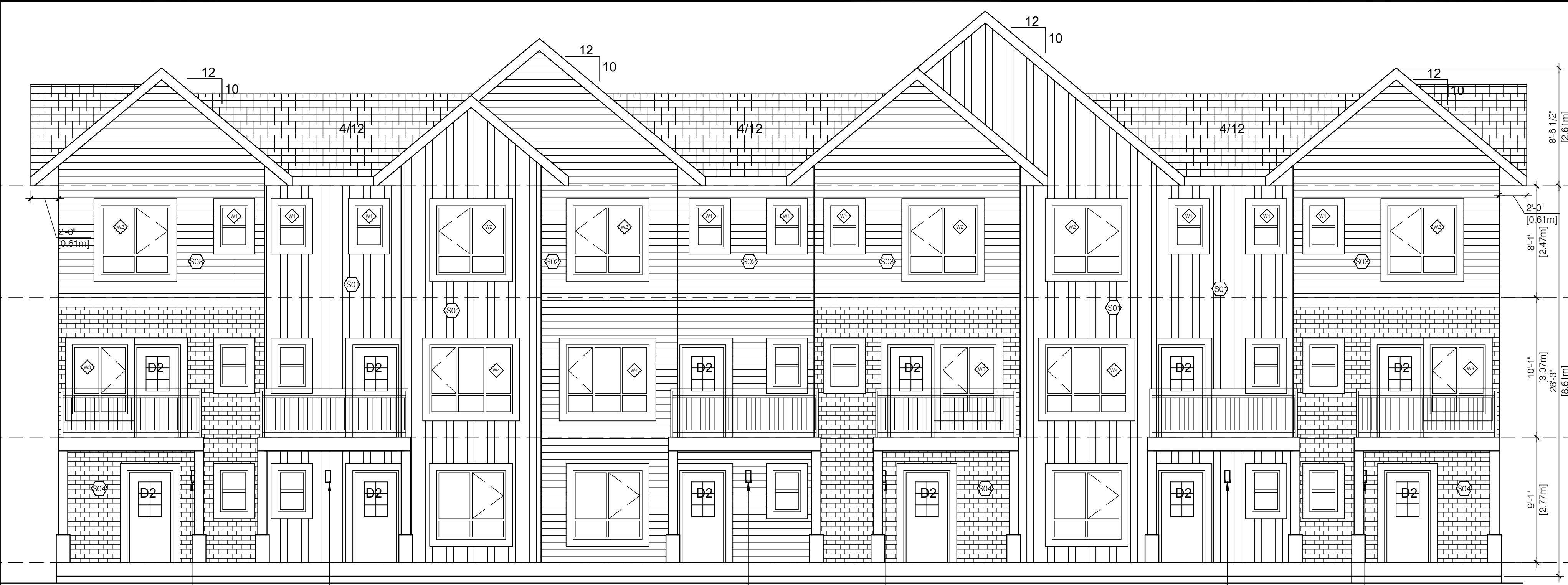
NOTE!
DRAWINGS TO BE USED IN CONJUNCTION WITH THE ENERGY MODEL REPORT.



3 REAR ELEVATION
A4.0 3/16" = 1'-0"

GARAGE ENTRANCE LIGHT
SEE ELECTRICAL FOR DETAIL

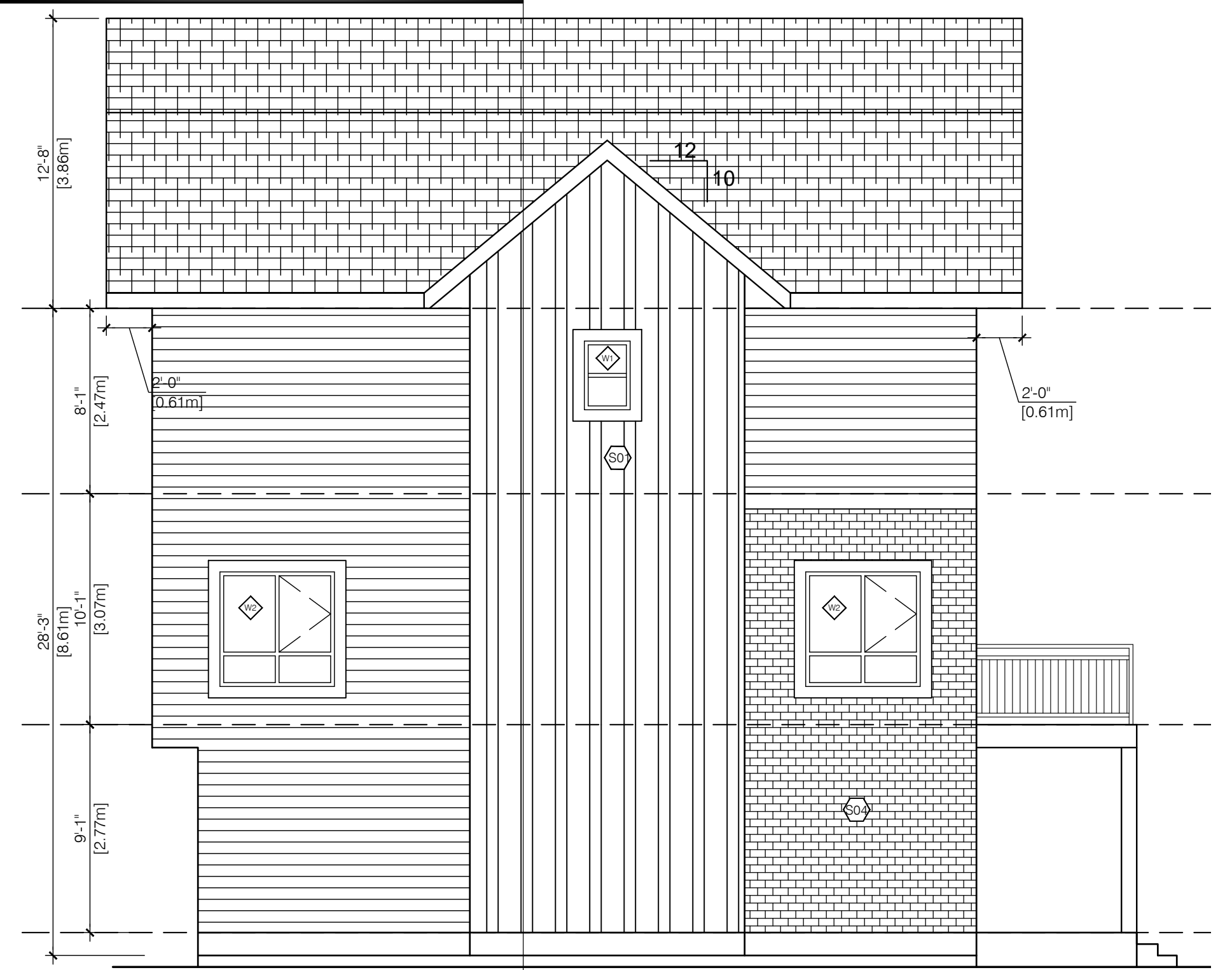
4 SIDE ELEVATION
A4.0 3/16" = 1'-0"



1 FRONT ELEVATION
A4.0 3/16" = 1'-0"

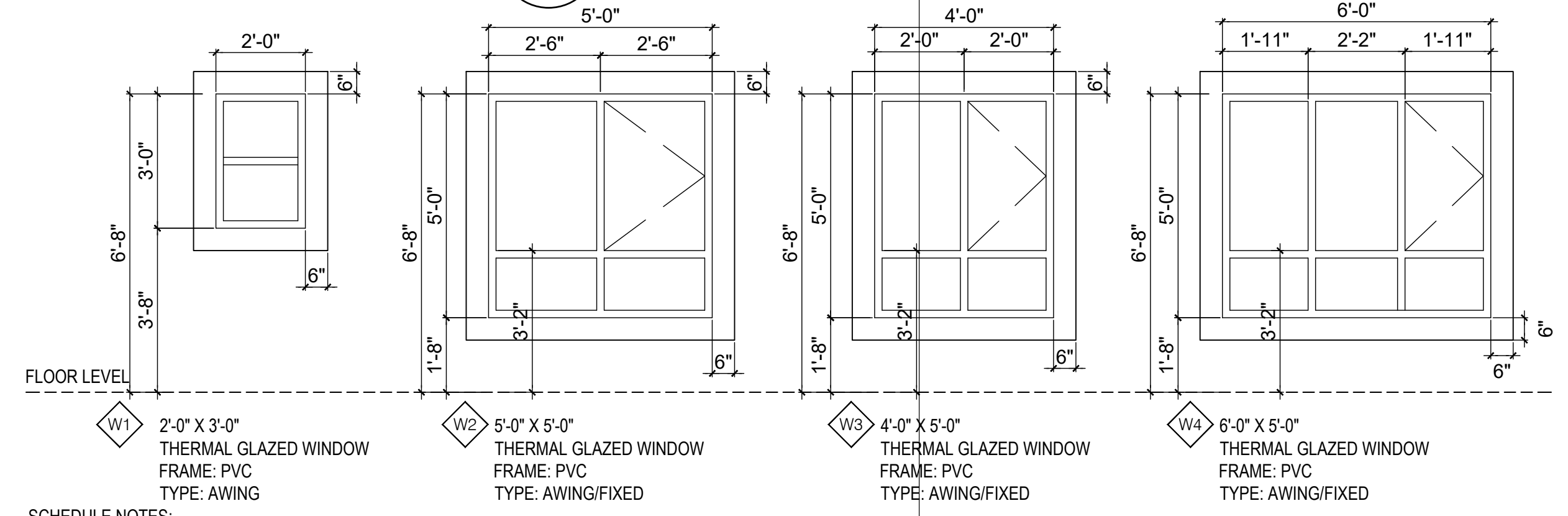
ENTRANCE LIGHT
SEE ELECTRICAL FOR DETAIL

EXTERIOR FINISH SCHEDULE	
S01	JAMES HARDIE BOARD AND BATTEN SIDING - ARCTIC WHITE
S02	HORIZONTAL VINYL SIDING - IRON GREY
S03	HORIZONTAL VINYL SIDING - ARCTIC WHITE
S04	XL INTERSTATE BRICK - ARCTIC WHITE
METAL TRIM, SOFFIT & RAINGOODS - ROOFMART 290 IRONSTONE RAILINGS - SINGLE RAIL - METAL MCLAN - BLACK	
WINDOWS - WHITE VINYL, DOUBLE INSULATED GLAZING	
METAL EXIT ENTRY DOORS - INSULATED DOOR COLOUR TO MATCH ROOF - ASPHALT SHINGLES CAMBRIDGE DUAL BLACK	
SCHEDULE NOTES	
1.	HANDLE, STORE, INSTALL OR APPLY, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND STANDARDS.
2.	PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOWS, LOUVERS, VENTS ETC).
3.	PREFINISHED METAL FLASHING SHALL: EXTEND AT LEAST 2" UPWARDS, HAVE A MINIMUM 6% POSITIVE SLOPE, HAVE END DAMS NOT LESS THAN 1" HIGH, LAP A MINIMUM OF 1/2" VERTICALLY OVER THE BUILDING ELEMENT BELOW AND TERMINATE WITH A DRIP THAT EXTENDS AT LEAST 1/4" OUT FROM THE FACE OF THE BUILDING ELEMENT.
4.	PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS WITH DISSIMILAR EXTERIOR FINISH MATERIALS.
5.	USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTACLES AND LIGHTING LOCATIONS.
6.	ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.
7.	ALL WINDOWS ARE CONSIDERED TO BE GUARDS AND MUST COMPLY NBC-2019AE



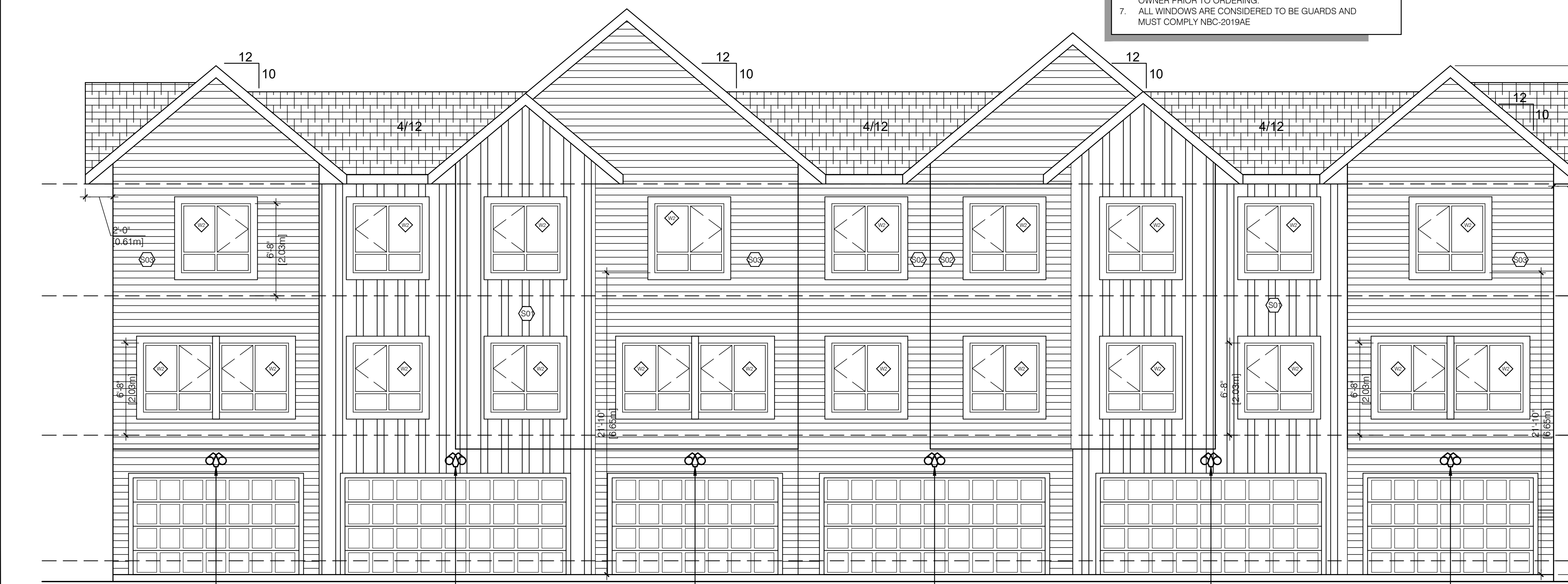
2 SIDE ELEVATION
A4.0 3/16" = 1'-0"

WINDOW SCHEDULE



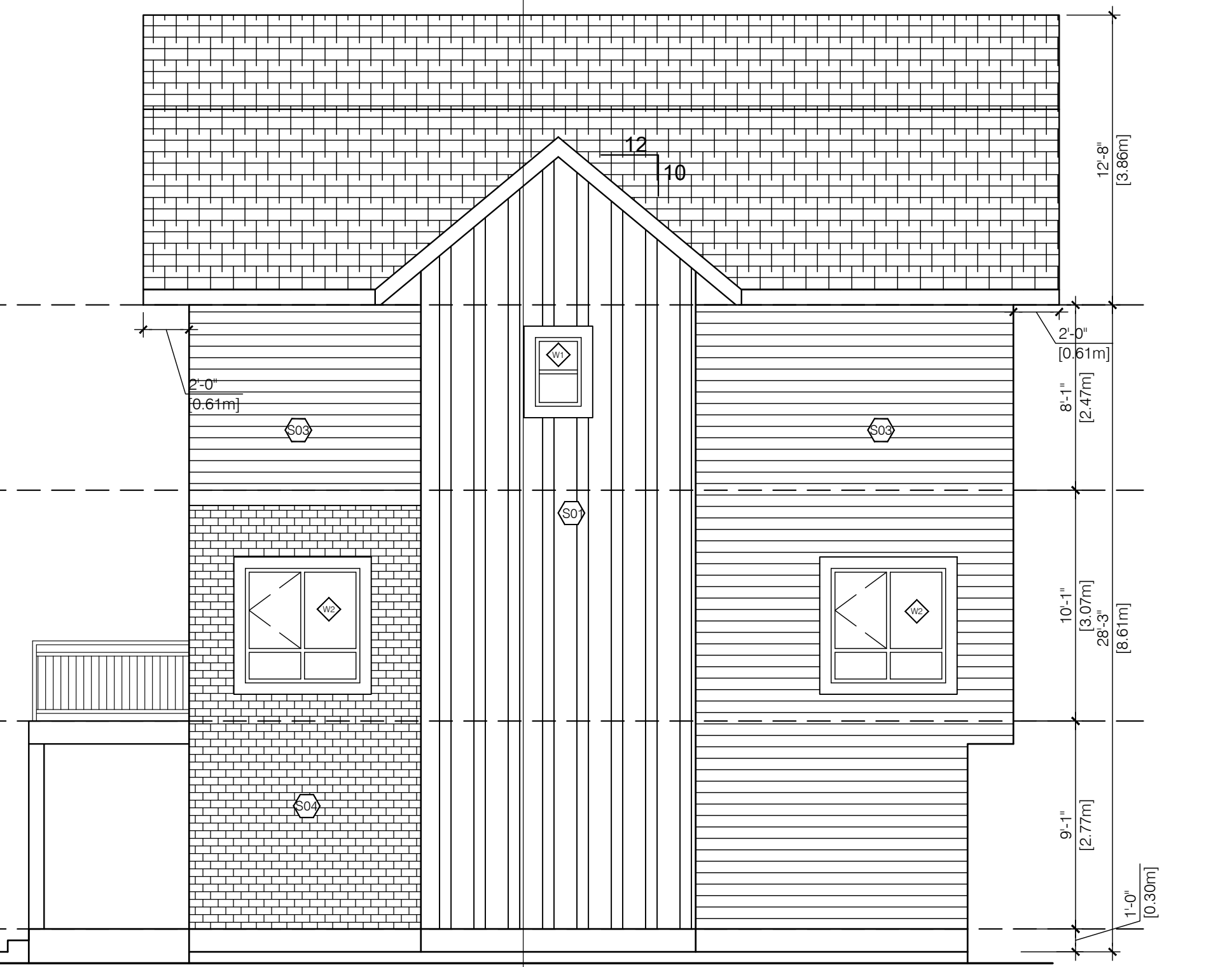
SCHEDULE NOTES:
1. ALL WINDOWS TO HAVE A MAX OR EQUAL U-VALUE OF 1.60
2. INSTALL WINDOWS PER SUPPLIER RECOMMENDATIONS AND REQUIREMENTS

NOTE!
DRAWINGS TO BE USED IN CONJUNCTION WITH THE ENERGY MODEL REPORT.

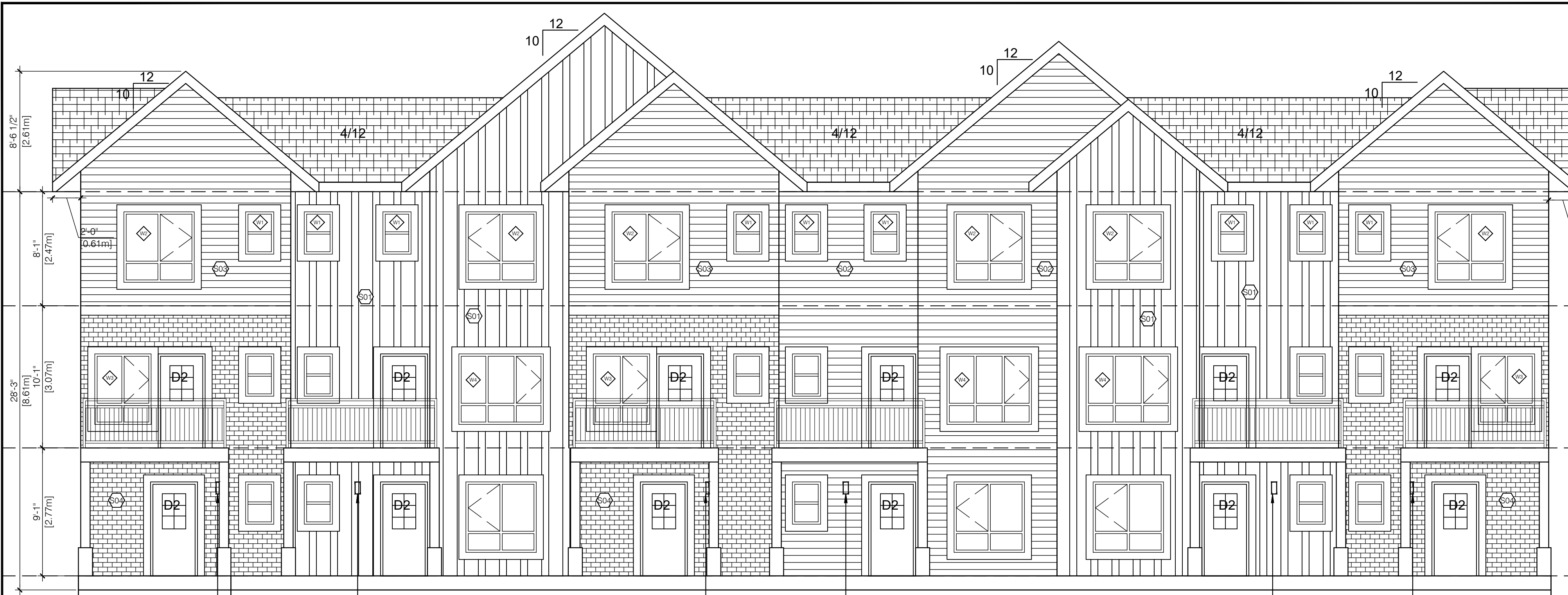


3 REAR ELEVATION
A4.0 3/16" = 1'-0"

GARAGE ENTRANCE LIGHT
SEE ELECTRICAL FOR DETAIL



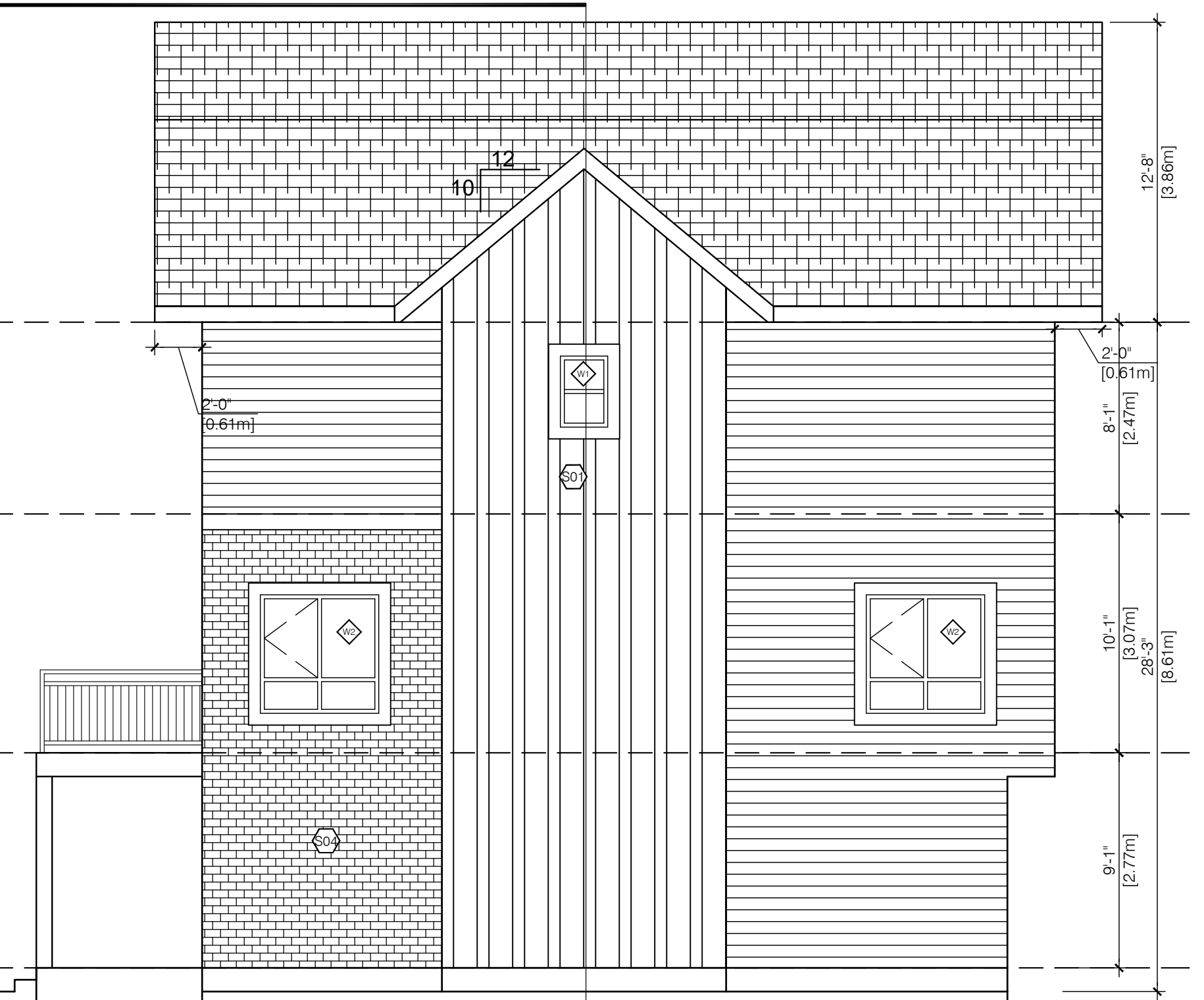
4 SIDE ELEVATION
A4.0 3/16" = 1'-0"



1 FRONT ELEVATION
A4.0 3/16" = 1'-0"

ENTRANCE LIGHT
SEE ELECTRICAL FOR DETAIL

2 SIDE ELEVATION
A4.0 3/16" = 1'-0"



EXTERIOR FINISH SCHEDULE

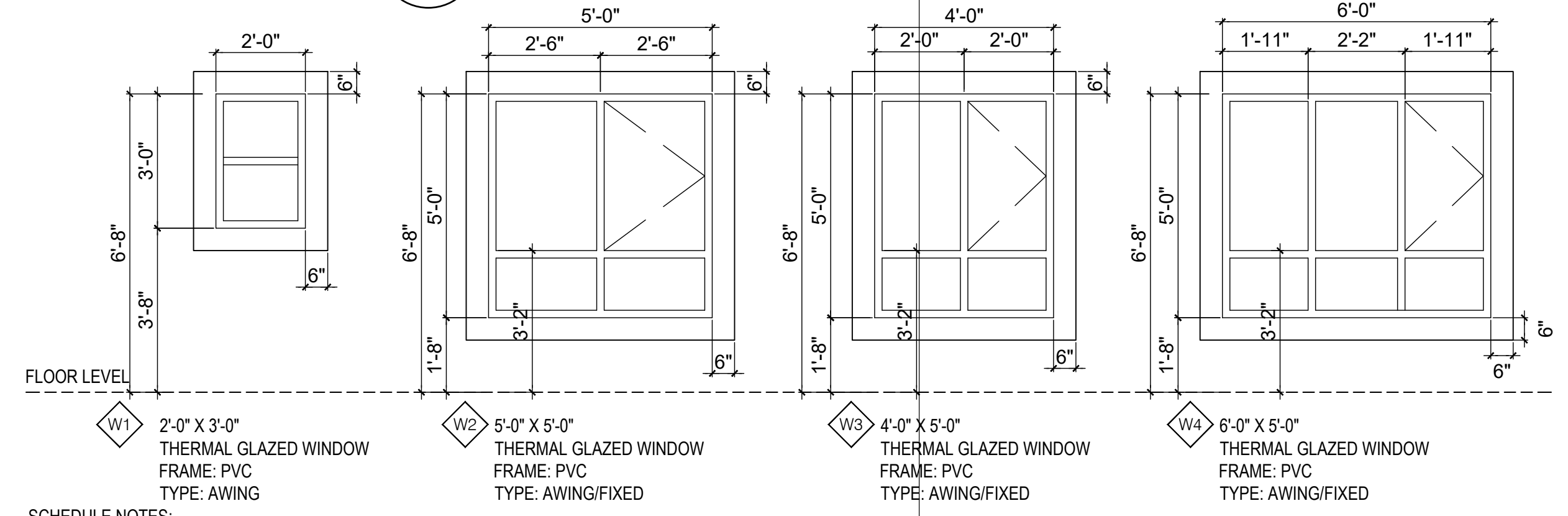
S01	JAMES HARDIE BOARD AND BATTEN SIDING - ARCTIC WHITE
S02	HORIZONTAL VINYL SIDING - IRON GREY
S03	HORIZONTAL VINYL SIDING - ARCTIC WHITE
S04	IXL INTERSTATE BRICK - ARCTIC WHITE

METAL TRIM, SOFFIT & RAINGOODS - ROOFMART 290 IRONSTONE RAILINGS - SINGLE RAIL - METAL MCLAN - BLACK
 WINDOWS - WHITE VINYL, DOUBLE INSULATED GLAZING
 METAL EXIT ENTRY DOORS - INSULATED DOOR COLOUR TO MATCH ROOF - ASPHALT SHINGLES CAMBRIDGE DUAL BLACK

SCHEDULE NOTES

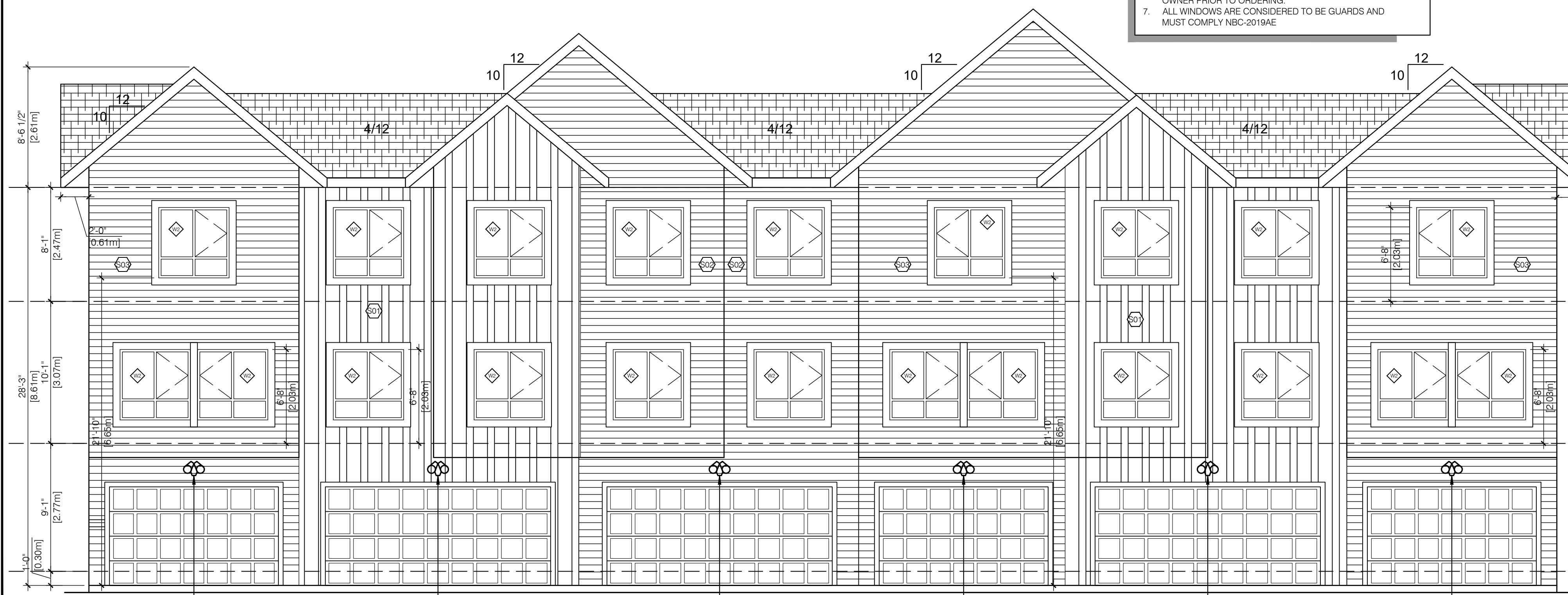
- HANDLE, STORE, INSTALL OR APPLY, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND STANDARDS.
- PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOWS, LOUVERS, VENTS ETC).
- PREFINISHED METAL FLASHING SHALL: EXTEND AT LEAST 2" UPWARDS, HAVE A MINIMUM 6% POSITIVE SLOPE, HAVE END DAMS NOT LESS THAN 1" HIGH, LAP A MINIMUM OF 1/2" VERTICALLY OVER THE BUILDING ELEMENT BELOW AND TERMINATE WITH A DRIP THAT EXTENDS AT LEAST 1/4" OUT FROM THE FACE OF THE BUILDING ELEMENT.
- PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS WITH DISSIMILAR EXTERIOR FINISH MATERIALS.
- USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTACLES AND LIGHTING LOCATIONS.
- ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.
- ALL WINDOWS ARE CONSIDERED TO BE GUARDS AND MUST COMPLY NBC-2019AE

WINDOW SCHEDULE



SCHEDULE NOTES:
 1. ALL WINDOWS TO HAVE A MAX OR EQUAL U-VALUE OF 1.60
 2. INSTALL WINDOWS PER SUPPLIER RECOMMENDATIONS AND REQUIREMENTS

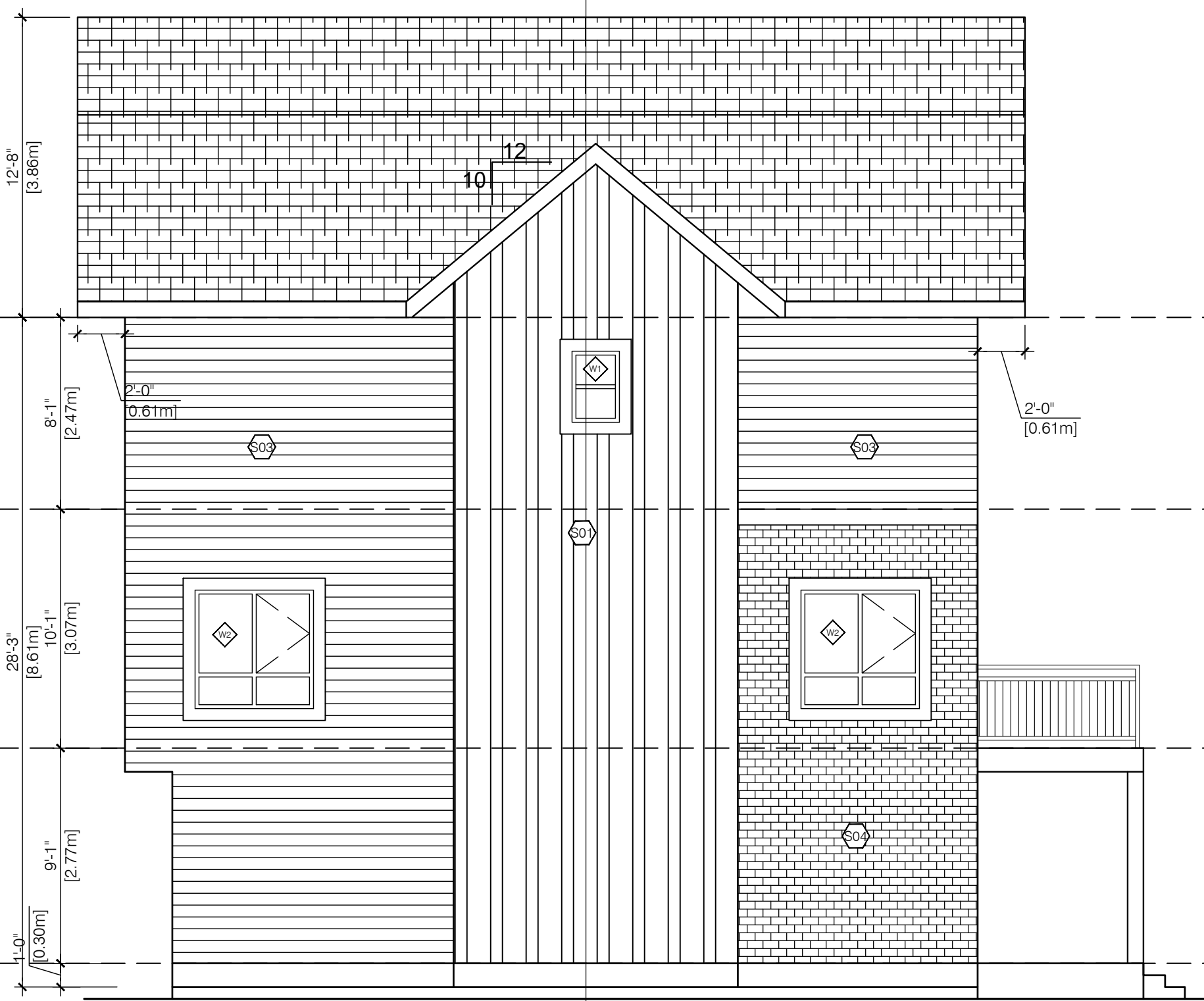
NOTE!
 DRAWINGS TO BE USED IN CONJUNCTION WITH THE ENERGY MODEL REPORT.



3 REAR ELEVATION
A4.0 3/16" = 1'-0"

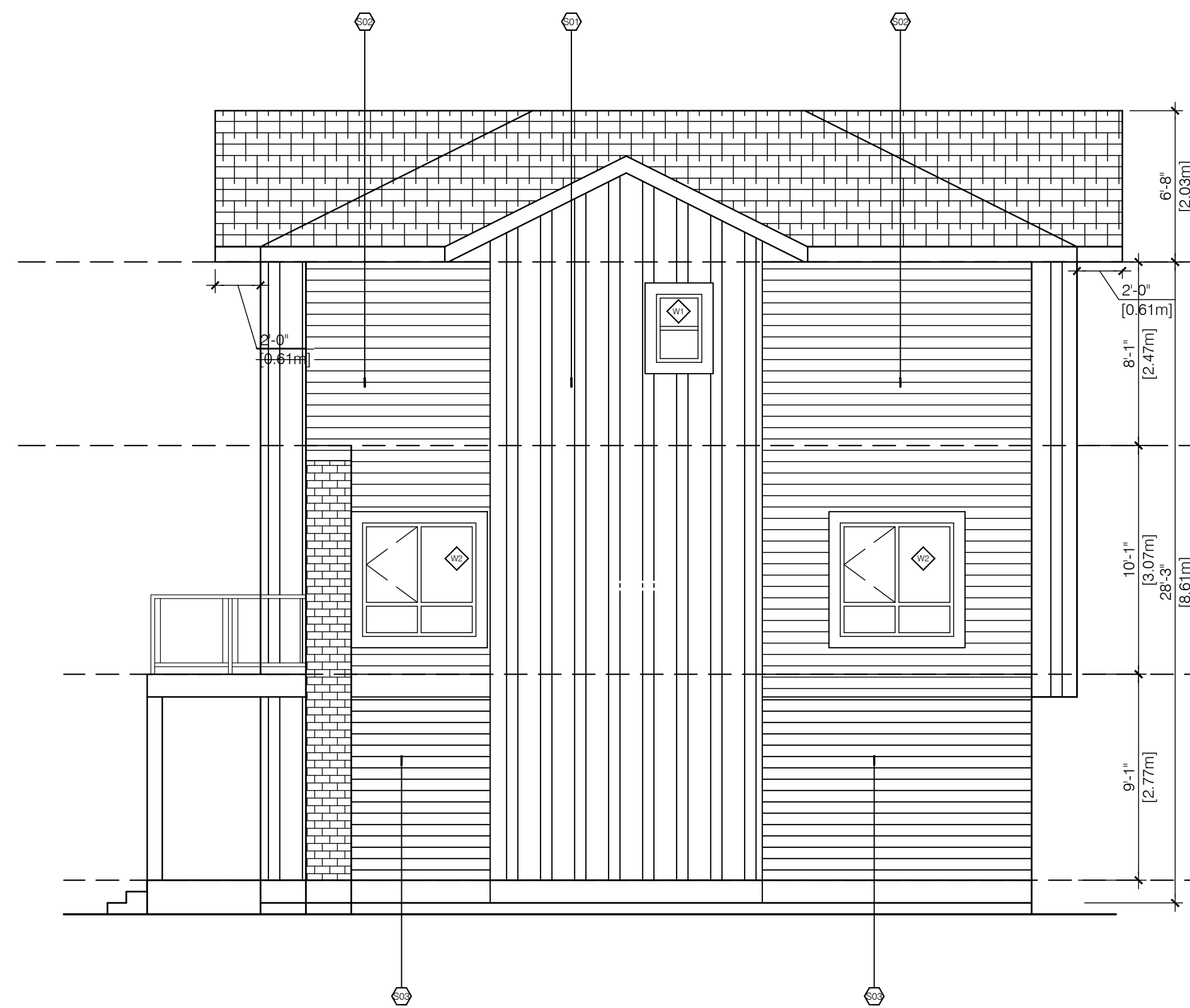
GARAGE ENTRANCE LIGHT
SEE ELECTRICAL FOR DETAIL

4 SIDE ELEVATION
A4.0 3/16" = 1'-0"

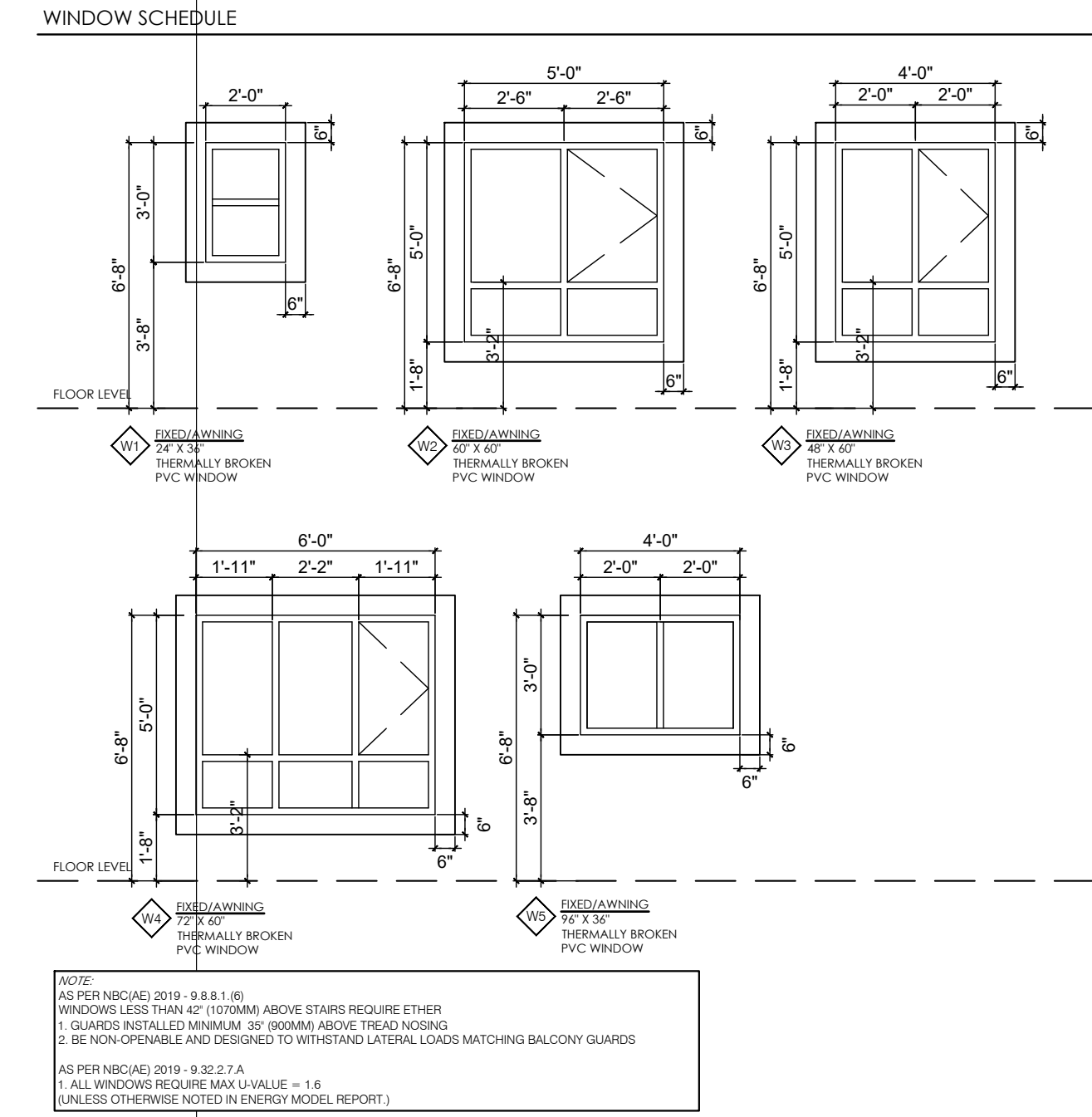




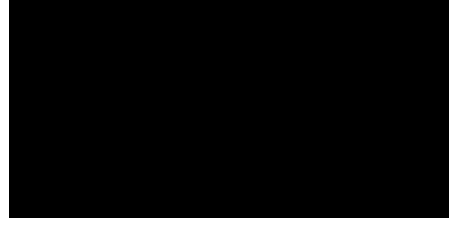
1 FRONT ELEVATION (PROPOSED)
A4.0 3/16" = 1'-0"



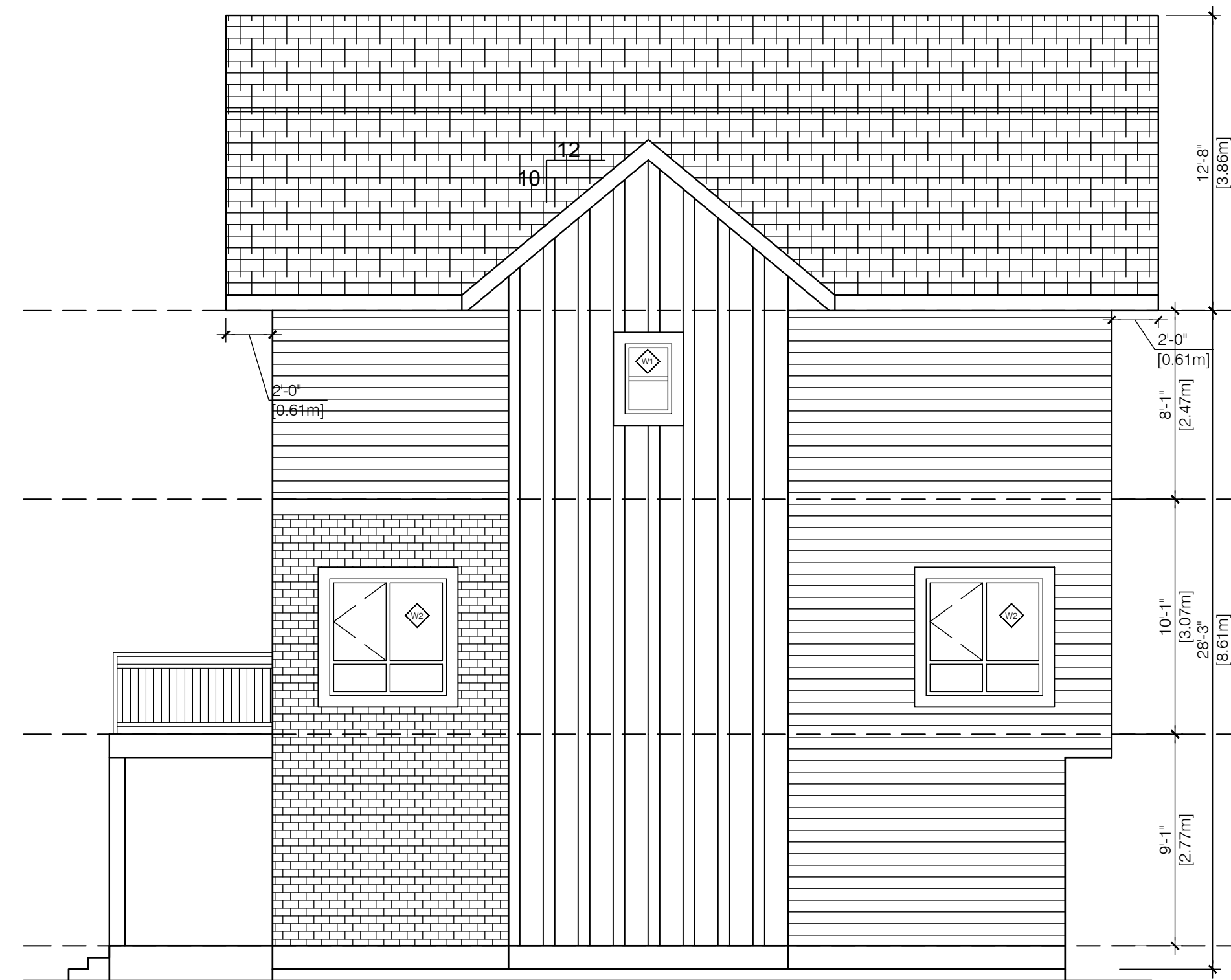
2 SIDE ELEVATION (PROPOSED)
A4.0 3/16" = 1'-0"



EXTERIOR FINISH SCHEDULE	
(1)	HARDE BOARD VERTICAL SIDING - COLOR ARCTIC WHITE
(2)	HORIZONTAL VINYL SIDING - COLOR IRON GREY
(3)	HORIZONTAL HARDE BOARD SIDING - COLOR ARCTIC WHITE
(4)	XL INTERSTATE BRICK SYSTEM - COLOR ARCTIC WHITE
(5)	VINYL BOARD AND BATTEN VERTICAL SIDING - COLOR ARCTIC WHITE
(6)	HORIZONTAL VINYL SIDING - COLOR ARCTIC WHITE
ROOF FASCIA FIN. - ROOFWART 300 IRONSTONE	
ROOFING - ASPHALT SHINGLES, CAMBRIDGE DUAL, BLACK	
RAILING - PREFINISHED BLACK ALUM. RABBIT WITH GLASS	
BALCONY FASCIA - PREFINISHED BLACK ALUM.	
WINDOWS - VINYL WHITE	
METAL FLOT DOORS - COLOR MATCH WALL COLOR	
SCHEDULE NOTES	
1.	HANDLE STORE, INSTALL OR APPLY, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND STANDARDS.
2.	PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOW, LEAKERS, VENTS, ETC.).
3.	PREFINISHED METAL FLASHING SHALL EXTEND AT LEAST 2" UPWARDS, HAVE A MINIMUM 6% POSITIVE SLOPE, HAVE END CAPS NOT LESS THAN 1" HIGH, AND A MINIMUM 6/16" VERTICALLY OVER THE BUILDING ELEMENT BELOW AND TERMINATE WITH A COP THAT EXTENDS AT LEAST 1/4" OUT FROM THE FACE OF THE BUILDING ELEMENT.
4.	PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS WITH DISSIMILAR EXTERIOR FINISH MATERIALS.
5.	USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTACLES AND LIGHTING LOCATIONS.
6.	ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.
7.	ALL WINDOWS ARE CONSIDERED TO BE GLAZED AND MUST COMPLY NBC/307/10E.



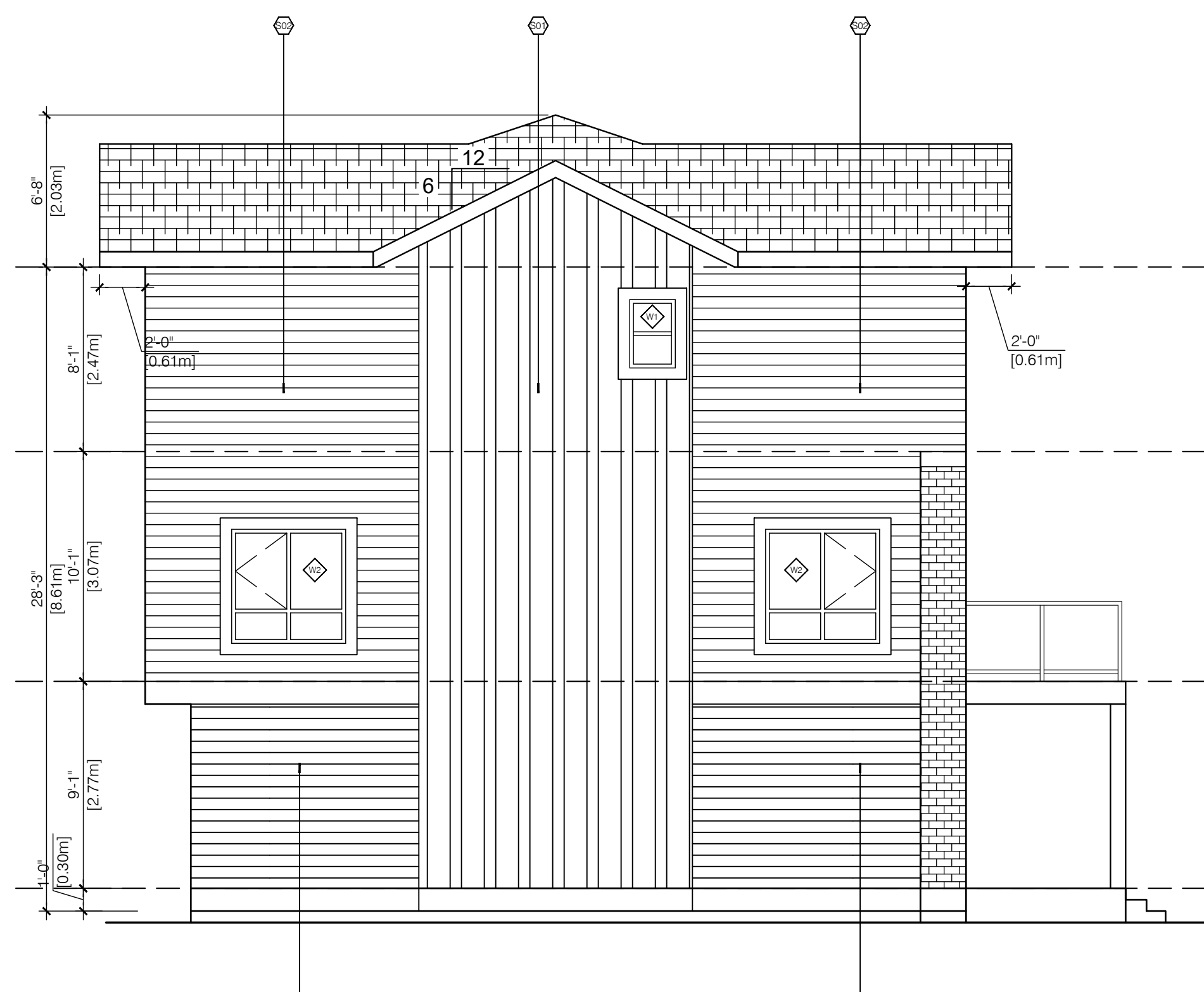
3 FRONT ELEVATION (APPROVED)
A4.0 3/16" = 1'-0"



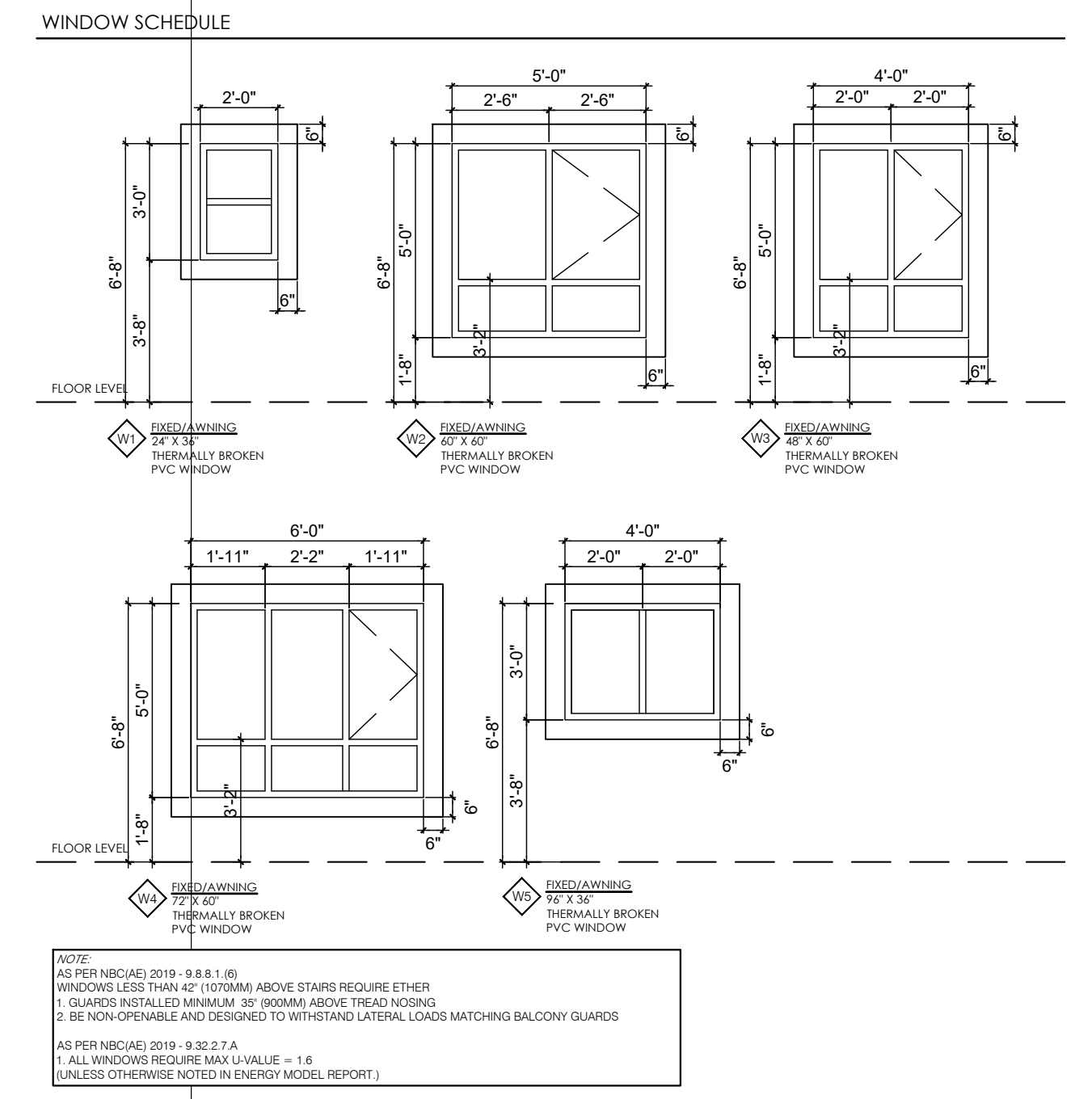
4 SIDE ELEVATION (APPROVED)
A4.0 3/16" = 1'-0"



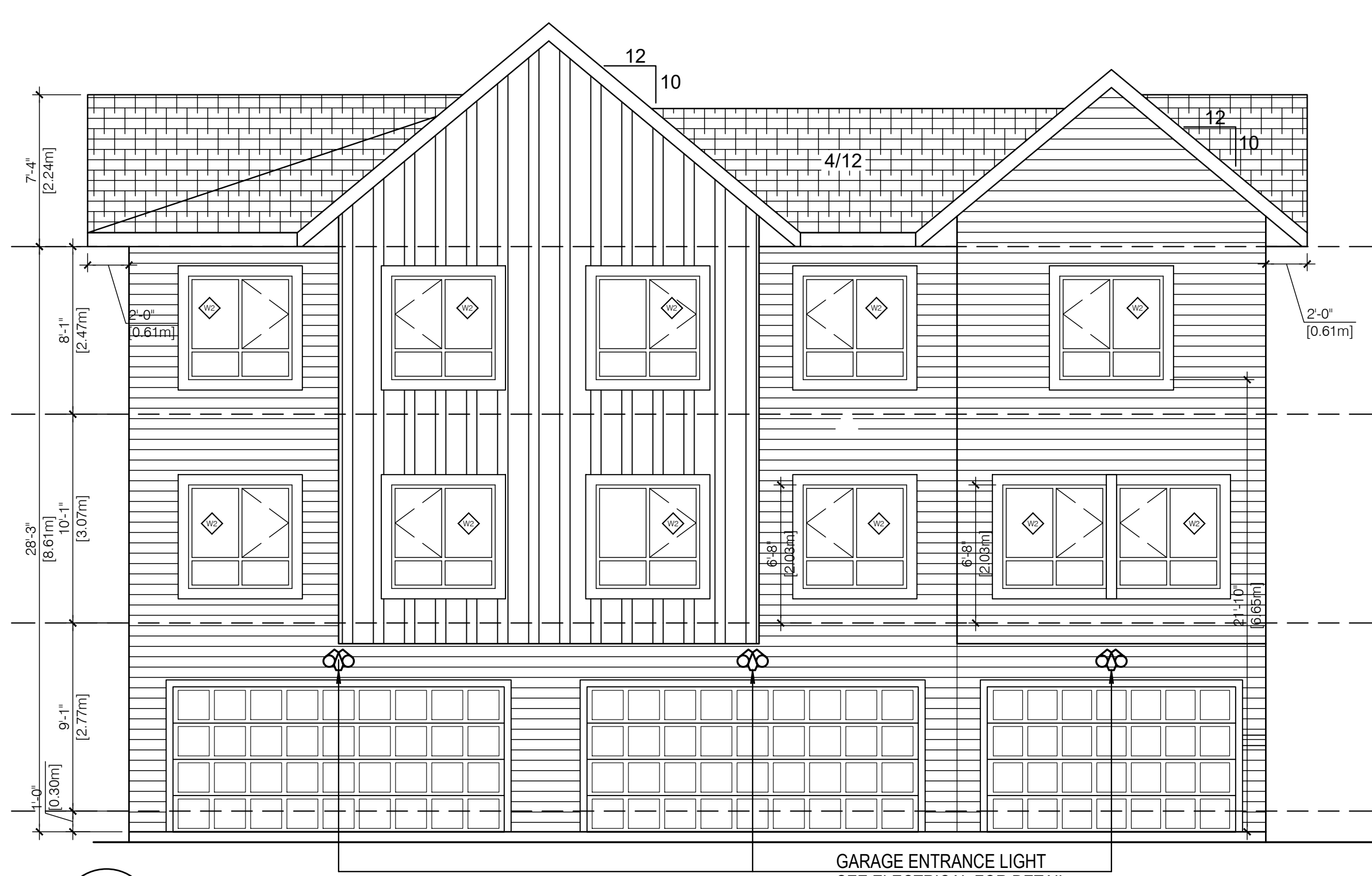
1 REAR ELEVATION (PROPOSED)
A4.1 3/16" = 1'-0"



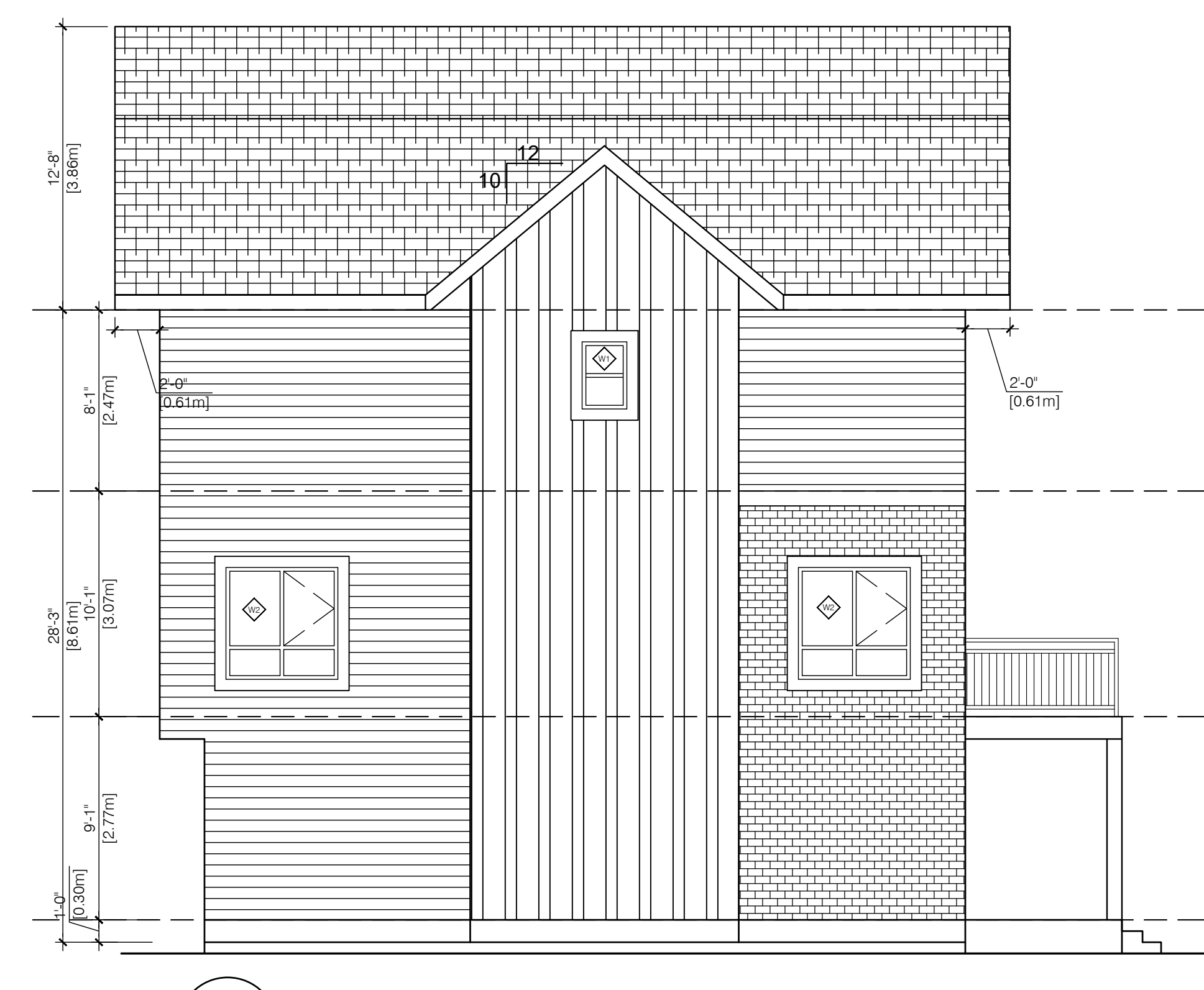
2 SIDE ELEVATION (PROPOSED)
A4.1 3/16" = 1'-0"



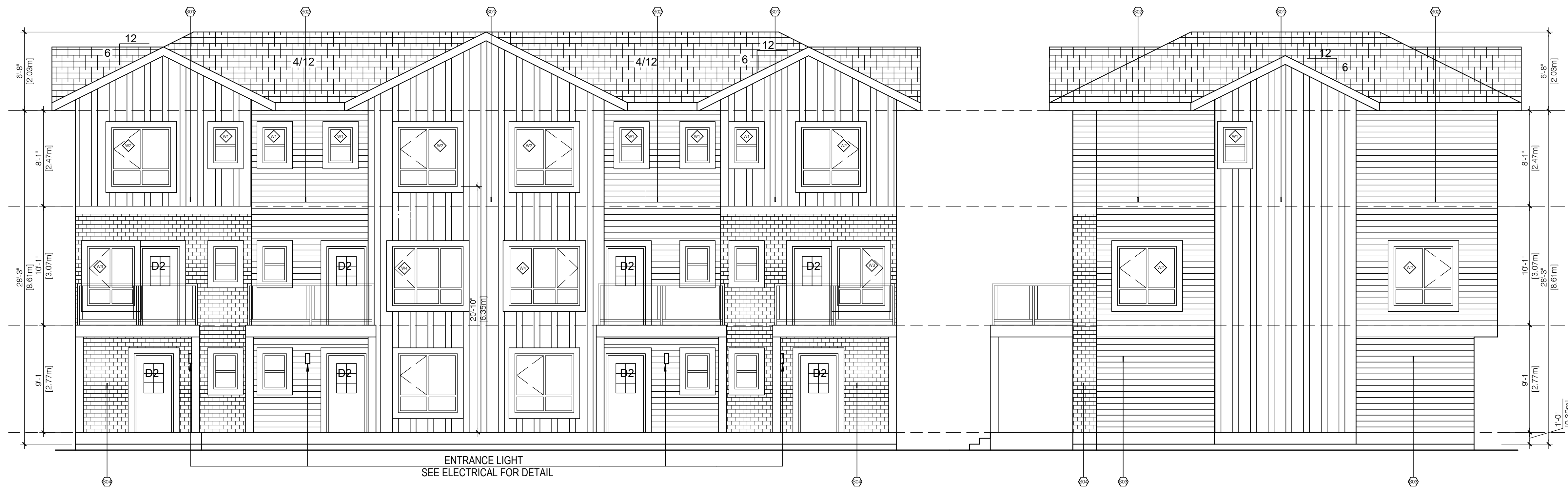
EXTERIOR FINISH SCHEDULE	
(1)	HARDE BOARD VERTICAL SIDING - COLOR ARCTIC WHITE
(2)	HORIZONTAL VINYL SIDING - COLOR IRON GREY
(3)	HORIZONTAL HARDE BOARD SIDING - COLOR ARCTIC WHITE
(4)	SL INTERSTATE BRICK SYSTEM - COLOR ARCTIC WHITE
(5)	VINYL BOARD AND BATTEN VERTICAL SIDING - COLOR ARCTIC WHITE
(6)	HORIZONTAL VINYL SIDING - COLOR ARCTIC WHITE
ROOF FASCIA FIN. ROOFWART 300 IRONSTONE	
ROOFING - ASPHALT SHINGLES, CAMBRIDGE DUAL, BLACK	
RAILING - PREFINISHED BLACK ALUM. RABBIT WITH GLASS	
BALCONY FASCIA - PREFINISHED BLACK ALUM.	
WINDOWS - VINYL, WHITE	
METAL FLOT DOORS - COLOR MATCH WALL COLOR	
SCHEDULE NOTES	
1. HANDLE, STORE, INSTALL OR APPLY, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND STANDARDS.	
2. PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOW, VENTS, ETC.).	
3. PREFINISHED METAL FLASHING SHALL EXTEND AT LEAST 2" UPWARDS, HAVE A MINIMUM 6% POSITIVE SLOPE, HAVE END CAPS NOT LESS THAN 1" HIGH, BE A MINIMUM 1/4" THICKLY OVER THE BUILDING ELEMENT BELOW AND TERMINATE WITH A COPING THAT EXTENDS AT LEAST 1/4" OUT FROM THE FACE OF THE BUILDING ELEMENT.	
4. PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS WITH DISSIMILAR EXTERIOR FINISH MATERIALS.	
5. USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTACLES AND LIGHTING LOCATIONS.	
6. ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.	
7. ALL WINDOWS ARE CONSIDERED TO BE GUARDED AND MUST COMPLY NBC 307016.	



3 REAR ELEVATION (APPROVED)
A4.1 3/16" = 1'-0"

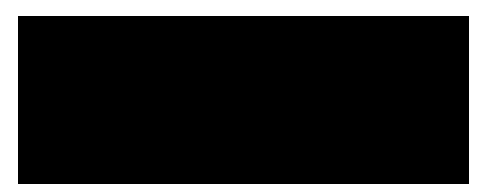


4 SIDE ELEVATION (APPROVED)
A4.1 3/16" = 1'-0"



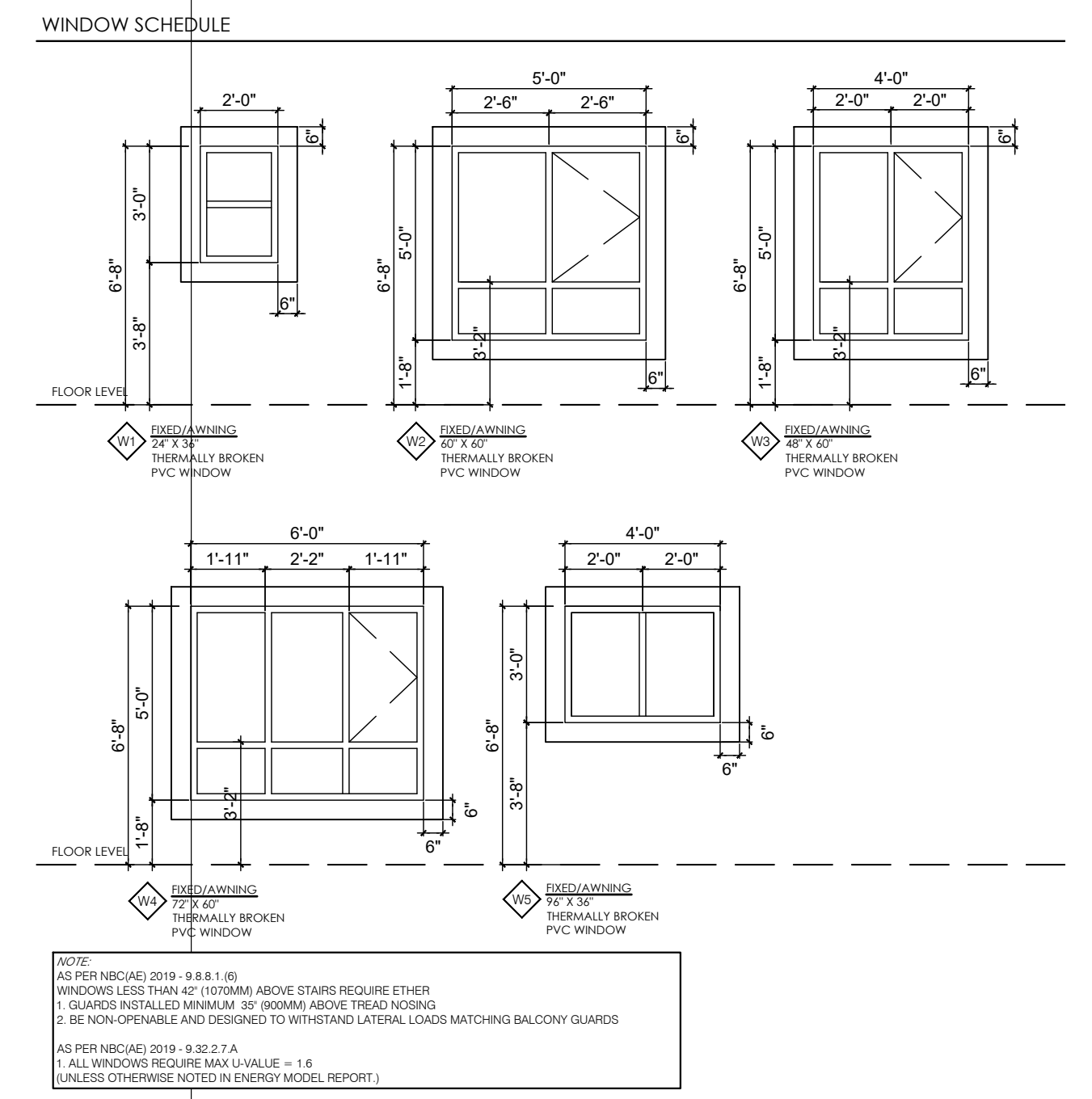
1 FRONT ELEVATION (PROPOSED)
A4.0 3/16" = 1'-0"

2 SIDE ELEVATION (PROPOSED)
A4.0 3/16" = 1'-0"

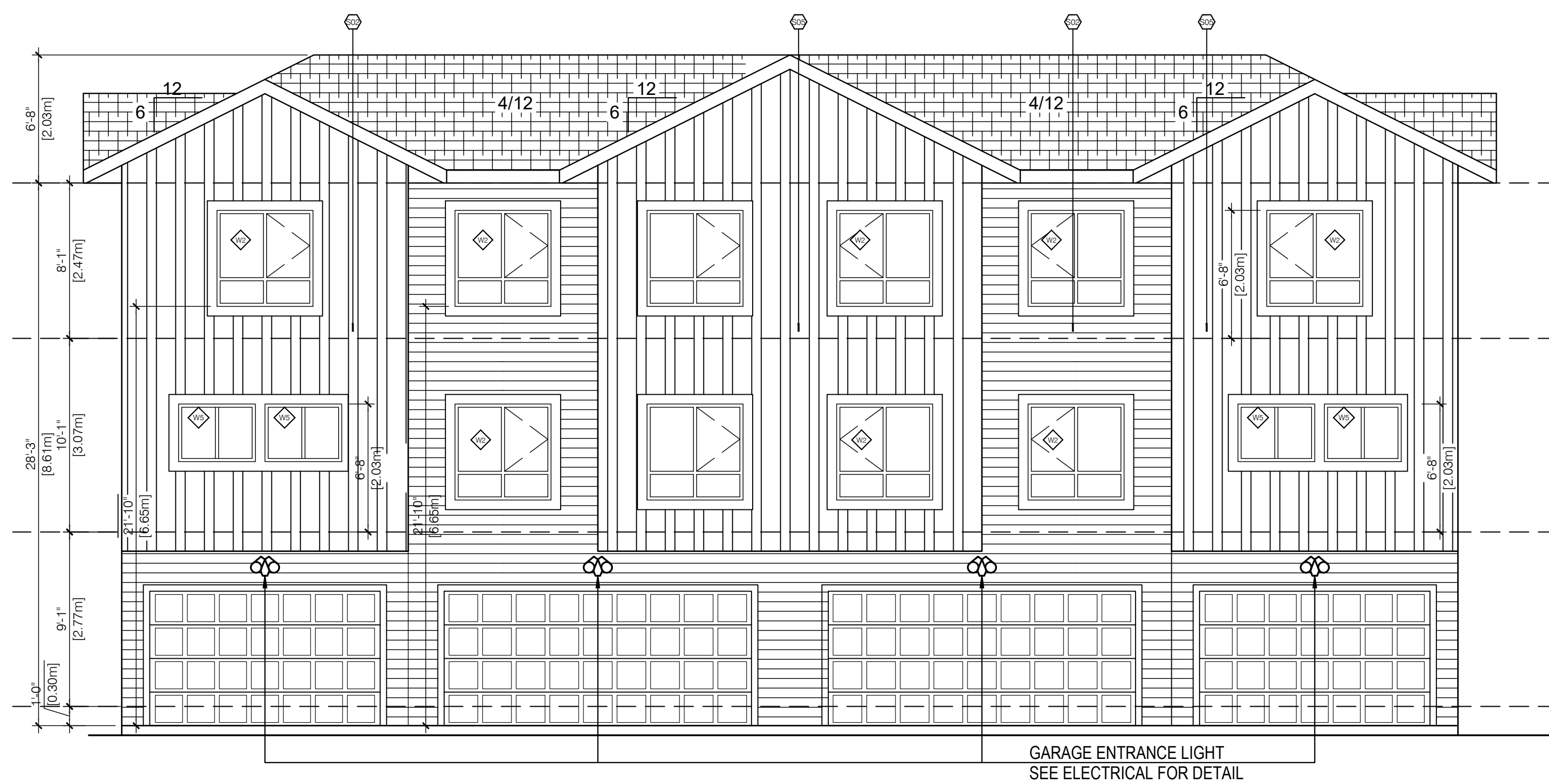


3 FRONT ELEVATION (APPROVED)
A4.0 3/16" = 1'-0"

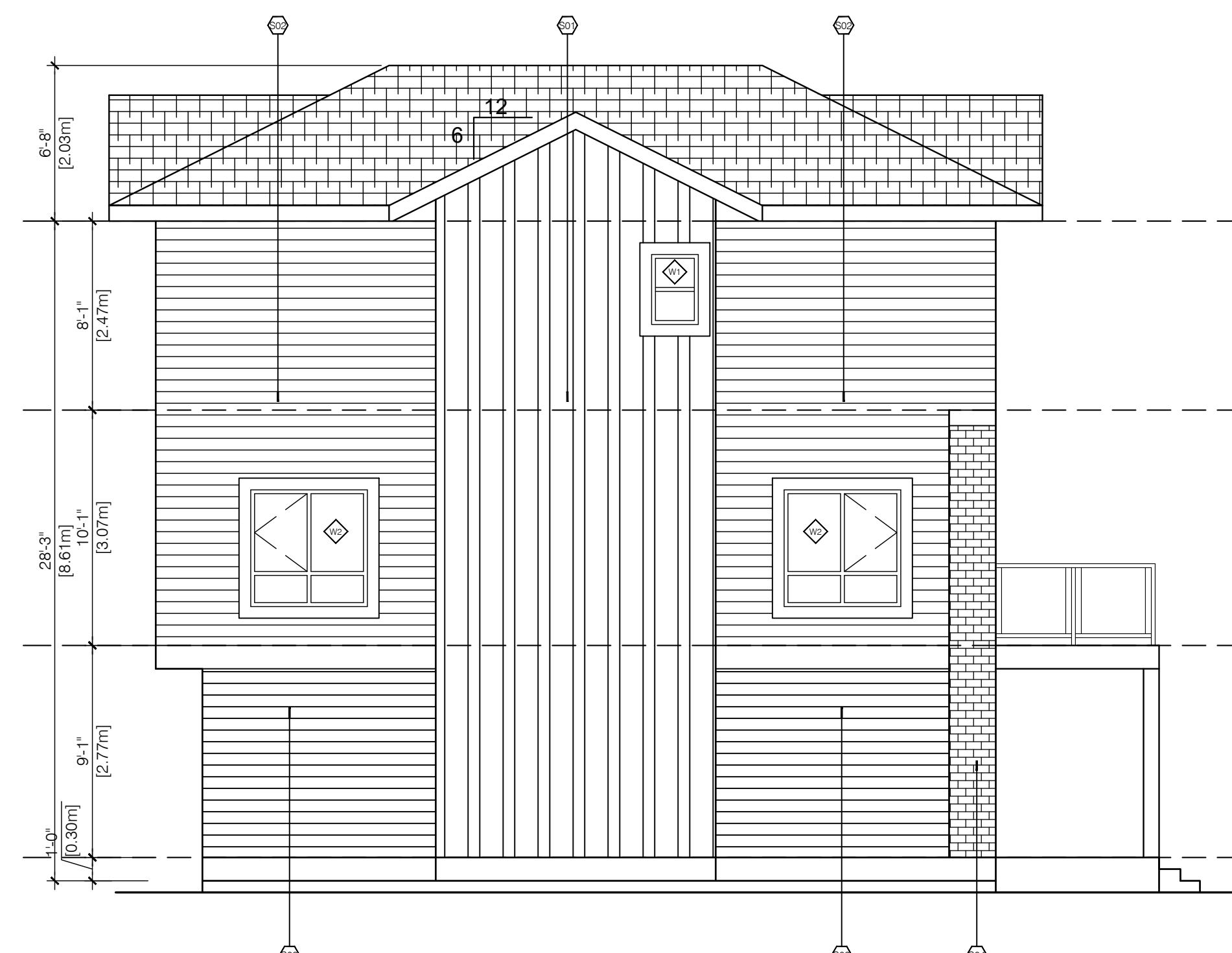
4 SIDE ELEVATION (APPROVED)
A4.0 3/16" = 1'-0"



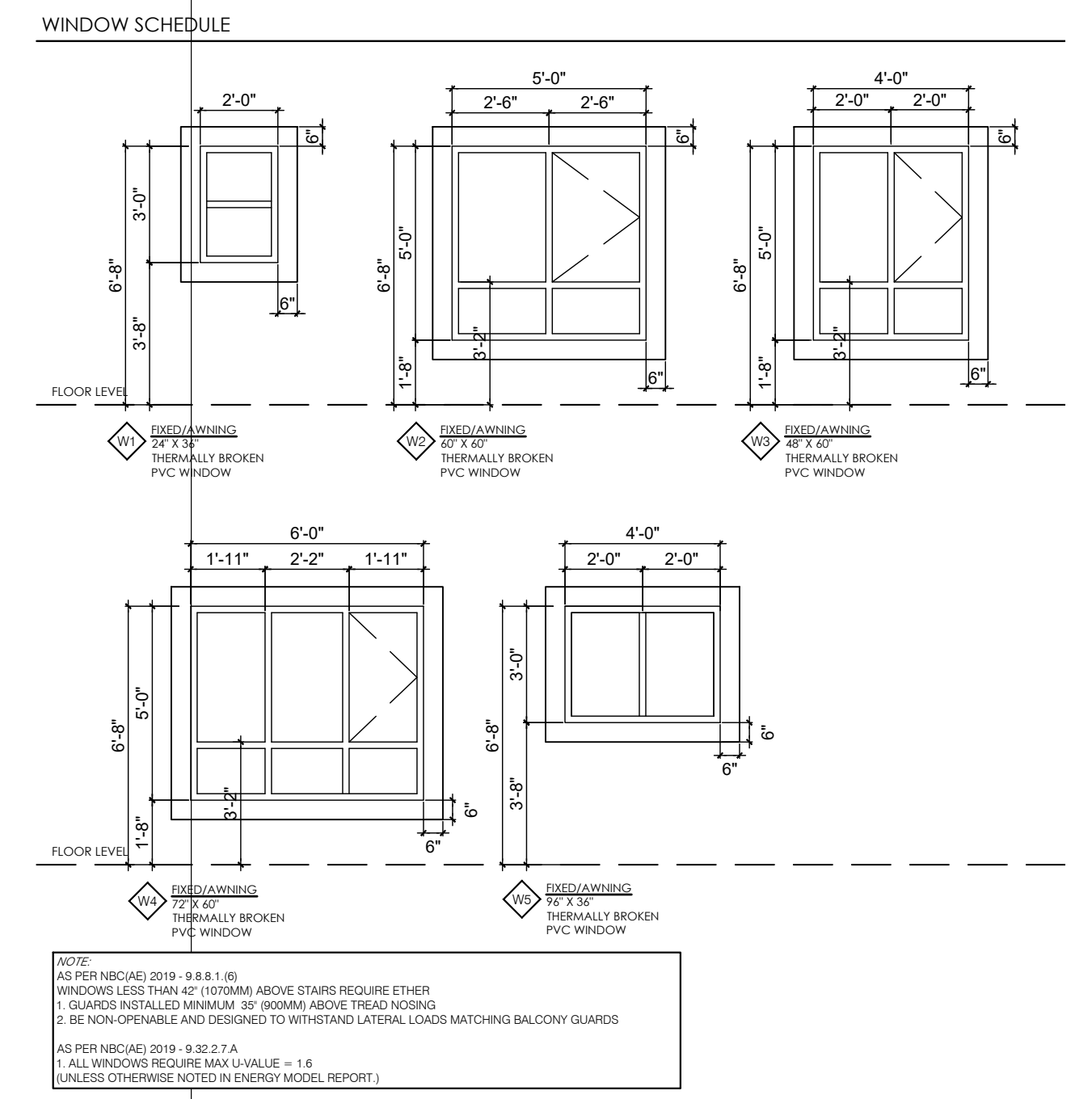
EXTERIOR FINISH SCHEDULE	
(1)	HARDE BOARD VERTICAL SIDING - COLOR: ARCTIC WHITE
(2)	HORIZONTAL VINYL SIDING - COLOR: IRON GREY
(3)	HORIZONTAL HARDE BOARD SIDING - COLOR: ARCTIC WHITE
(4)	ALL INTERIORS BRICK SYSTEM - COLOR: ARCTIC WHITE
(5)	VINYL SIDING AND BUTTER VERTICAL SIDING - COLOR: ARCTIC WHITE
(6)	HORIZONTAL VINYL SIDING - COLOR: ARCTIC WHITE
ROOF FASCIA FINISH: ROOFMART 200 IRONSTONE	
ROOFING: ASPHALT/SHINGLES, CAMBRIDGE DUAL BLACK	
RAILINGS: PREFINISHED BLACK ALUM. INSERT WITH GLASS	
BALCONY FASCIA: PREFINISHED BLACK ALUM.	
WINDOWS: VINYL, WHITE	
METAL DRIP DOORS: COLOR: MATCH WALL COLOR	
SCHEDULE NOTES	
1. HANDLE, STORE, INSTALL OR APPLY, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND STANDARDS.	
2. PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOW, LOUVER, VENT, ETC.).	
3. PREFINISHED METAL FLASHING SHALL EXTEND AT LEAST 2" UPWARDS, HAS A MINIMUM 10% SLOPE, WITH END-CAP NOT LESS THAN 1" HIGH, LAP A MINIMUM OF 1" VERTICALLY OVER THE SUBSTRATE AND TERMINATE WITH A GYP THAT EXTENDS AT LEAST 1/4" OUT FROM THE FACE OF THE BUILDING ELEMENT.	
4. PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS WITH OVERLAP OF 2" FOR HIGH MATERIALS.	
5. USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTACLES AND LIGHTING LOCATIONS.	
6. ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.	
7. ALL WINDOWS ARE CONSIDERED TO BE GLAZED AND MUST COMPLY NBC-5019E.	



1 REAR ELEVATION (PROPOSED)
A4.1 3/16" = 1'-0"



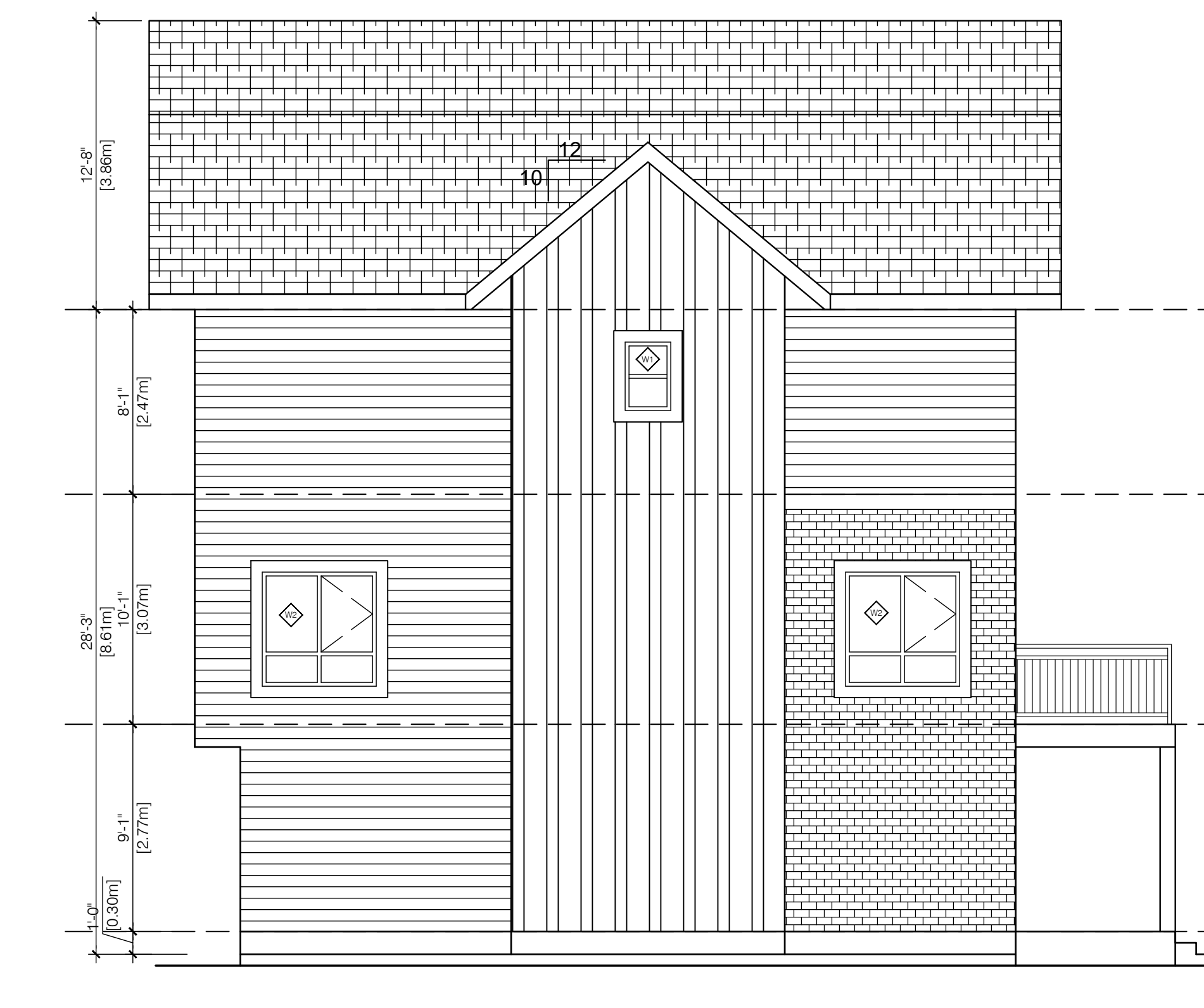
2 SIDE ELEVATION (PROPOSED)
A4.1 3/16" = 1'-0"



EXTERIOR FINISH SCHEDULE	
(1)	HARDE BOARD VERTICAL SIDING - COLOR: ARCTIC WHITE
(2)	HORIZONTAL VINYL SIDING - COLOR: RICH GREY
(3)	HORIZONTAL HARDE BOARD SIDING - COLOR: ARCTIC WHITE
(4)	TR INTERPINE BRICK SYSTEM - COLOR: ARCTIC WHITE
(5)	VINYL SIDING AND SHUTTER VERTICAL SIDING - COLOR: ARCTIC WHITE
(6)	HORIZONTAL VINYL SIDING - COLOR: ARCTIC WHITE
ROOF FASCIA FINISH: ROOFMART 200 PINKSTONE	
ROOFING: ASPHALT/SHINGLES, CAMBRIDGE DUAL BLACK	
RAILINGS: PREFINISHED BLACK ALUM. INSERT WITH GLASS	
BALCONY FASCIA: PREFINISHED BLACK ALUM.	
WINDOWS: VINYL, WHITE	
METAL DOOR: COLOR: MATCH WALL COLOR	
SCHEDULE NOTES	
1. HANDLE, STORE, INSTALL OR APPLY, CLEAN AND PROTECT PRODUCTS AS PER MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND STANDARDS.	
2. PROVIDE AND INSTALL PREFINISHED METAL FLASHING ABOVE ALL OPENINGS (DOOR, WINDOWS, LOUVERS, VENTS ETC).	
3. PREFINISHED METAL FLASHING SHALL EXTEND AT LEAST 2\"/>	
4. PROVIDE AND INSTALL PREFINISHED METAL FLASHING AT ALL HORIZONTAL JOINTS WITH OVERLAP OF EXTERIOR FINISH MATERIALS.	
5. USE ARCHITECTURAL TRIM ACCESSORIES AT ALL RECEPTACLES AND LIGHTING LOCATIONS.	
6. ALL COLORS AND FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.	
7. ALL WINDOWS ARE CONSIDERED TO BE GLAZED AND MUST COMPLY NBC-9016E.	



3 REAR ELEVATION (APPROVED)
A4.1 *****



4 SIDE ELEVATION (APPROVED)
A4.1 *****