



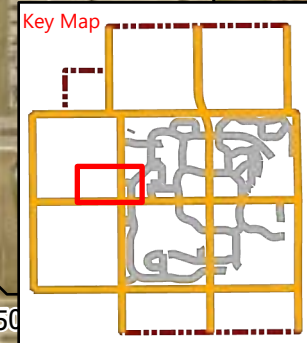
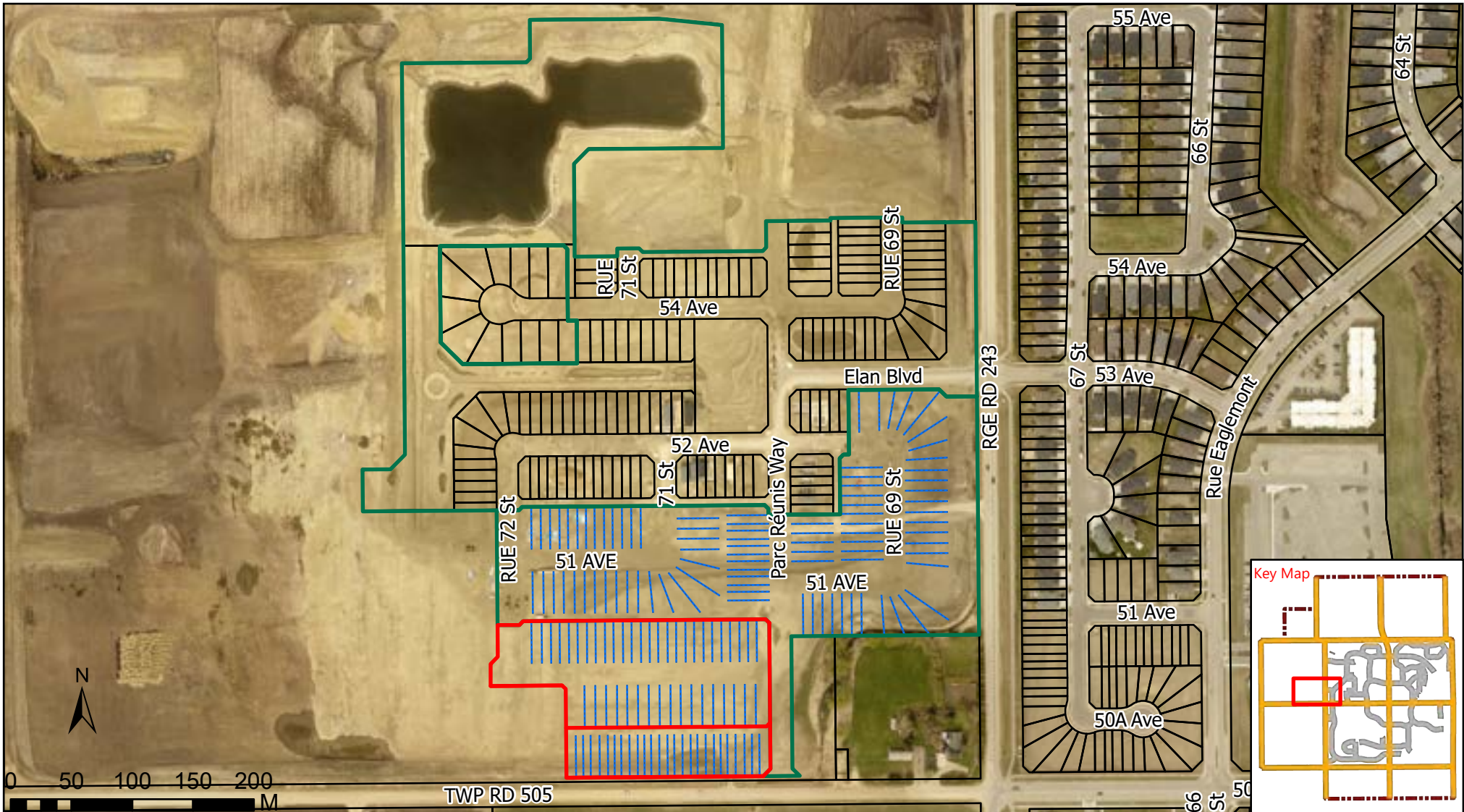
**Subdivision Authority Agenda
Wednesday, January 8th, 2025 at 1:00pm**

- 1. The Subdivision Authority will review the following proposed Subdivision on January 8, 2025:**
 - a. SDA-23-05 Elan Phase 3 (Time Extension)**

Tentative Plan of subdivision to create 45 single detached residential lots and 36 medium density row housing residential lots from a portion of Plan N.E 1/4 Sec.33-50-24-4

 - *Attachments: Location Map and Tentative Subdivision Plan*
 - 2. The Subdivision Authority's decision will be posted on January 10th, 2025**
-

Contact the File Planner at planning@beaumont.ab.ca or 780-929-8782 for more information.



Location Map - SDA-23-05 Elan Phase 3



City of Beaumont
5600 49 Street
Beaumont, AB
T4X 1A1

Numeric Scale:		Date - mm\dd\yyr		Mapped by:	
1:4,500		09\08\2023		Uche.D	
Projected Coordinate System:			Checked by:		
CANADA NAD 83-3TM-114			Coralie.V		

Disclaimer:
ALL RIGHTS RESERVED. NO PART OF THIS MAP MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF THE CITY OF BEAUMONT. THE CITY OF BEAUMONT PROVIDED THIS INFORMATION IN GOOD FAITH, BUT PROVIDES NO WARRANTY NOR ACCEPTS ANY LIABILITY ARISING FROM INCORRECT, INCOMPLETE OR MISLEADING INFORMATION OR ITS IMPROPER USE. INFORMATION IS MAINTAINED ON A REGULAR BASIS. DO NOT REPRODUCE WITHOUT PERMISSION. 2022 AERIAL IMAGERY
City of Beaumont 5600 49 Street Beaumont Alberta T4X 1A1 Telephone: 780-929-8782 Web: www.beaumont.ab.ca

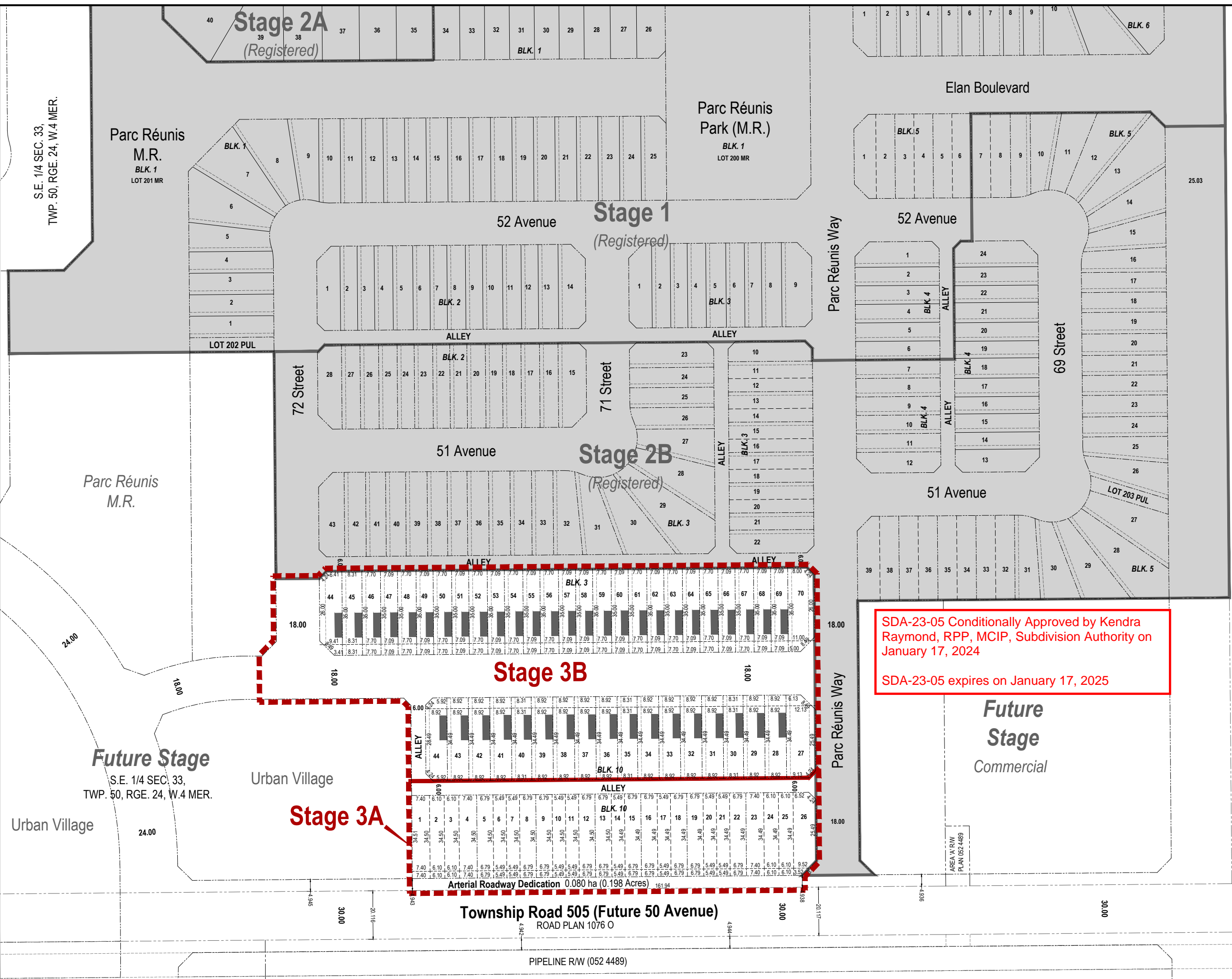
Legend

— Boundary No: SDA-23-05

Attachment 1



Government Road Allowance (Range Road 243)



SDA-23-05 Conditionally Approved by Kendra Raymond, RPP, MCIP, Subdivision Authority on January 17, 2024

SDA-23-05 expires on January 17, 2025

LEGEND:

- Elan Stage 3 Subdivision Boundary
- Elan Stage 1 & 2B Subdivision Boundary
- Zero Lot Line Location

NOTES:

- All distances are shown in metres and decimals thereof.
 - Distances on the curved boundaries are arc lengths.
- Area dealt with by this plan shown bounded thus contains: **2.529 ha**, including **45 single residential lots** and **26 medium density rowhousing lots**.

THIS IS A CONCEPT PLAN ONLY. SUBJECT TO CHANGE.

DATE: NOVEMBER 8, 2023

PROJECT MANAGER: STEPHANIE_FOSSEN
CLIENT: DREAM UNLIMITED CORP.

PROJECT: ELAN NEIGHBOURHOOD - STAGE 3
 S.E. 1/4 SEC. 33-50-24-4

DRAWING TITLE: TENTATIVE PLAN OF SUBDIVISION

SCALE: 0 15 30 45 60 75
 1:1500

PROJECT NO/ DRAWING NO: 2023035-001

Invistec Consulting Ltd.

Suite 1700, 10130 - 103 Street NW
 Edmonton, Alberta, T5J 3N9
 (780) 293 - 7373
 www.invistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.

THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INVISTEC CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY INVISTEC CONSULTING LTD. IS PROHIBITED.